

NBRS+PARTNERS
ARCHITECTURE-HERITAGE-INTERIORS-PLANNING

FENWICK'S STONE BUILDING
2-8 WESTON STREET
BALMAIN NSW 2041



CONSERVATION MANAGEMENT PLAN

JANUARY 2009

NOEL BELL RIDLEY SMITH & PARTNERS PTY LTD
2 McManus Street, McMahons Point NSW 2060. Telephone 9922 2344 Facsimile 9922 1308

ABN 16 002 247 565

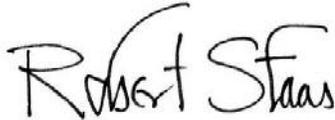
1.0 EXECUTIVE SUMMARY

This is a Conservation Management Plan (CMP) for the State Heritage Register listed *Fenwick 1880s Stone Building*. It contains a 'heritage assessment' and outlines what heritage values the place has. A summary of why the place is important is set out in the 'statement of significance' on page 38. These reasons affect what changes can be made.

From page 40, are policy recommendations arising from that significance and other requirements for conservation and development. These put forward the general approach to looking after the place and its heritage values. In short, the removal of intrusive works carried out when the place was redeveloped in 1963, together with conservation works with a view to the adaptive reuse of the building is recommended.

An archaeological assessment and Historical Archaeological Conservation Management Plan was carried out by Cosmos Archaeology Pty Ltd concurrently and should be read in tandem with the CMP.

NBRS+PARTNERS

A handwritten signature in black ink that reads "Robert Staas". The signature is written in a cursive, slightly slanted style.

ROBERT STAAS
Director/Heritage Consultant

**FENWICK'S STONE BUILDING
2 - 8 WESTON STREET
BALMAIN NSW 2040**

CONSERVATION MANAGEMENT PLAN

2.0 TABLE OF CONTENTS

1.0	EXECUTIVE SUMMARY.....	3
2.0	TABLE OF CONTENTS.....	4
3.0	LIST OF FIGURES.....	6
4.0	INTRODUCTION.....	10
4.1	Objectives	10
4.2	Study Area and Location	10
4.3	Methodology	12
4.3.1	Limitations	12
4.3.2	Identification of Authors & Sources	12
4.3.3	Acknowledgments	12
4.3.4	Copyright	12
5.0	UNDERSTANDING THE PLACE (HERITAGE ASSESSMENT).....	13
5.1	Historical Summary	13
5.2	Demolished Buildings on the Site and Surrounds	17
5.3	Description of the Place	19
5.3.1	The Site	19
5.3.2	Setting of Fenwick's Stone Building	19
5.3.3	Retaining Walls	19
5.3.4	Fenwick's Stone Building - Exterior Generally	21
5.3.5	Exterior - Eastern Facade	22
5.3.6	Exterior - Northern Facade	24
5.3.7	Exterior - Western Facade	26
5.3.8	Exterior - Southern Facade	29
5.3.9	Interior - Ground Floor	31
5.3.10	Interior - First Floor	33
5.4	Assessment Criteria	36
5.5	Statement of Significance	38
5.5.1	Degree of Significance	39
6.0	CONSERVATION POLICY.....	40
6.1	Constraints and Opportunities	40
6.1.1	Constraints & Opportunities Arising from the Statement of Significance	40
6.1.2	Constraints & Opportunities Arising from the Owners' Requirements	40
6.1.3	Constraints & Opportunities Arising from the Physical Condition of <i>Fenwick's Stone Building</i>	40

6.1.4	Constraints & Opportunities arising from Statutory Heritage Listings	41
6.2	Method of Approach	42
6.2.1	Management and Conservation Processes	42
6.2.2	Statements of Heritage Impact	42
6.2.3	Access & Security	43
6.2.4	Consultation and Development Consents	43
6.2.5	Adaptive Reuse	43
6.2.6	Maintenance and Repair	44
6.3	Recording Change	44
6.4	Research, Training & Resources	45
6.5	Interpretation & Promotion	45
6.6	Setting and New Development	46
6.7	Fire and Building Code Regulations	46
6.8	Disabled Access	46
6.9	Services	46
6.10	The Seawall	47
6.11	The North-Western Stone Wall	47
6.12	The Eastern Facade	47
6.13	The Northern Facade	48
6.14	The Western and Southern Walls	48
6.15	Interior	49
6.16	The Roof	49
6.17	Excavation, Disturbance & Unforeseen Discovery	50
7.0	IMPLEMENTATION PLAN	51
7.1	Performance Review & Monitoring	51
7.2	Review Process	51
8.0	APPENDICES	52
8.1	APPENDIX - Schedule of Movable Heritage	52
8.2	APPENDIX - Schedule of Conservation Works	52
8.3	APPENDIX - Balmain Council Minute Books	53
8.4	APPENDIX - Supplementary Historic Maps	66

3.0 LIST OF FIGURES

Figure 1	Location of the study area (circled) shown in context of Balmain and the Sydney CBD peninsula.....	11
Figure 2	Location of the study area comprising land listed on the State Heritage Register (red boundary) with Darling Street at top of page and Illoura Reserve vegetation at south (bottom of page).....	11
Figure 3	Map showing listed site bound by red. NSW Department of Lands, Sydney Metropolitan Detail Series, Balmain.. 1888. Study area/State Heritage Register listed area annotated by NBRSPartners, 2008.....	14
Figure 4	Map showing listed site bound by red. NSW Department of Lands, Sydney Metropolitan Detail Series, Balmain, Sheet 21. 1896. Study area/State Heritage Register listed area annotated by NBRSPartners, 2008.	14
Figure 5	Several times photocopied photograph - view of the Fenwick complex with a tugboat in front, circa 1940s. From Rod Howard Conservation Plan (1993), cited as being sourced from Mr Ian Fenwick who confirmed in 2008 he had not seen the image before. Source and higher quality image to be found.	15
Figure 6	Aerial photograph showing yard in location of bus turning area, terrace houses on Weston Street, a building east of the 1880s stone building, and two vessels alongside a wharf associated with the site. The roof form of the 1880s stone building can be discerned as a gambrel roof at its western end. RTA 1943 Aerial Photograph.....	15
Figure 7	Photograph - view of the Fenwick complex after the modifications of 1963. Fenwick Holdings Limited Seventh Annual Report for year ending 30 June 1964, courtesy of Mr Ian Fenwick.	16

Figure 8	<i>Interpretation of primary source mapping of structures overlaid on existing survey of site and surrounds. Cosmos Archaeology Pty Ltd, 2008.....</i>	18
Figure 9	<i>Photograph - view of Fenwick's Stone Building within the context of Darling Harbour, the ferry wharf, the Administration Building and East Balmain looking south west from the water. NBRSPartners (AM), 2008.</i>	20
Figure 10	<i>Photograph - view of Fenwick's Stone Building viewed in its setting from the north. NBRSPartners (AM), 2008.....</i>	20
Figure 11	<i>Photograph - view over Fenwick's Stone Building from the Administration Building. NBRSPartners (AM), 2008.....</i>	21
Figure 12	<i>Sketch elevation of east (principal) facade. The earlier gable line/roof shown ghosted in grey is derived from documentary evidence shown at Figure 5. NBRSPartners (WDW), June 2008. Not to scale.....</i>	22
Figure 13	<i>Photograph - view of the building from the south-east. NBRSPartners (WDW), 2007.....</i>	23
Figure 14	<i>Photograph - view of the building's eastern façade. NBRSPartners (WDW), 2007.....</i>	23
Figure 15	<i>Sketch north elevation. The earlier gable line/roof shown ghosted in grey is derived from documentary evidence shown at Figure 5. NBRSPartners (WDW), June 2008. Not to scale.....</i>	24
Figure 16	<i>Photograph - view of the building from the north-east showing the northern façade. NBRSPartners (WDW), 2008.</i>	25
Figure 17	<i>Photograph - view of the building from the bus turning circle at the north with the Fenwick Administration Building in the background. NBRSPartners (WDW), 2007.....</i>	25

Figure 18	Sketch west elevation. The earlier gable line/roof shown ghosted in grey is derived from documentary evidence shown at Figure 5. NBRSPartners (WDW), June 2008. Not to scale.....	26
Figure 19	Photograph - view of the western elevation of the building with some protection in place during works to the seawall. NBRSPartners (WDW), 2008.	27
Figure 20	Photograph - the northern window on the western elevation. NBRSPartners (WDW), 2008.....	27
Figure 21	Photograph - the southern window of the western elevation. NBRSPartners (WDW), 2008.....	28
Figure 22	Sketch south elevation. The earlier gable line/roof shown ghosted in grey is derived from documentary evidence shown at Figure 5. NBRSPartners (WDW), June 2008. Not to scale.....	29
Figure 23	Photograph - view of the southern wall adjacent to the ramp with some protection in place during works to the seawall. NBRSPartners (WDW), 2008.	30
Figure 24	Photograph - the opening and door in the southern wall showing alterations using hard Portland cement render and a new concrete threshold. NBRSPartners (WDW), 2008.....	30
Figure 25	Sketch plan of ground floor. Thickness of southern and western walls anticipated only and subject to future invasive investigation. NBRSPartners (WDW), June 2008. Not to scale. North at top of page.....	31
Figure 26	Photograph - The ground floor interior looking to the north-west. NBRSPartners (WDW), 2007/2008.....	32
Figure 27	Photograph - The ground floor interior looking to the south-west. NBRSPartners (WDW), 2008.....	32
Figure 28	Sketch plan of first floor. NBRSPartners (WDW), June 2008. Not to scale. North at top of page.....	33

Figure 29	Sketch ceiling plan showing floor joist layout of first floor . NBRS+Partners (WDW), June 2008. Not to scale. North at top of page.	34
Figure 30	Photograph - The first floor interior looking to the north-east. NBRS+Partners (WDW), 2007/2008.	34
Figure 31	Photograph - The first floor interior looking to the south-west. NBRS+Partners (WDW), 2008.	35
Figure 32	Annotated detail of Figure 5. Interpreted from physical evidence (refer Section 5.3). Annotated NBRS+Partners (WDW), 2008.	47
Figure 33	NSW Maritime Miscellaneous 1307 Sydney. Dated 22 December 1897. 66	
Figure 34	NSW Maritime Petersham 113. Dated 4 October 1907.	67
Figure 35	Detail of Map. NSW Maritime Petersham. Amended to 15 October 1947 to 26 May 1959.	68
Figure 36	Detail of Map. NSW Maritime Petersham 1002L. Dated 1 February 1968 amended to 30 November 1995.	69
Figure 37	Detail of Map. NSW Maritime Petersham 127. Amended 15 October 1947 to 8 October 1986.	70

4.0 INTRODUCTION

4.1 Objectives

This Conservation Management Plan (CMP) has been prepared by NBRSPartners for Leichhardt Municipal Council. Its purpose is to provide the framework for the continuing use and development of *Fenwick's Stone Building*. Constructed in the 1880s, *Fenwick's Stone Building* is a two storey sandstone building originally used for maritime industrial purposes on the western shore of Darling Harbour at East Balmain. It was heavily modified in 1963 by the removal of much of its eastern gable, the lowering of its roof and the modification of its setting which included raising ground levels on the southern and western sides. At that time, an administration building was erected on the adjacent site. That building, shown on the cover, was demolished in 2008 to extend the adjacent open space of Illoura Reserve and realise part of a plan for a continuous foreshore park.

This plan is intended to be a practical working document to guide future works at *Fenwick's Stone Building*. This report addresses the following:

- Historical evidence for the development and use of the site;
- Analysis of the physical fabric of the building;
- Statement of Significance;
- Consideration of constraints and opportunities and policy recommendations to assist in guiding future building works, maintenance and other development; and
- First draft recommendations to ensure the significance of *Fenwick's Stone Building* is retained in any future development or changes to the place.

4.2 Study Area and Location

The study area is known as 2-8 Weston Street, East Balmain on the western shore of Darling Harbour. The study area includes the land listed on the State Heritage Register and known as Lot 1 on Deposited Plan 722968. The study also deals with the setting of the place so includes consideration of elements outside the listed land.

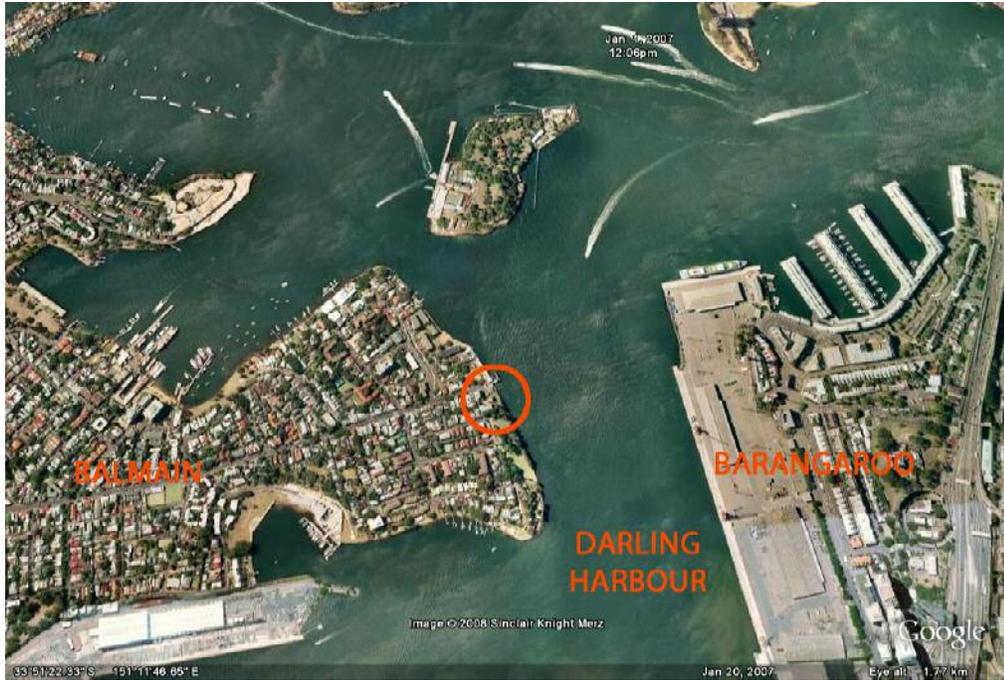


Figure 1 Location of the study area (circled) shown in context of Balmain and the Sydney CBD peninsula.



Figure 2 Location of the study area comprising land listed on the State Heritage Register (red boundary) with Darling Street at top of page and Illoura Reserve vegetation at south (bottom of page).

4.3 Methodology

This CMP generally follows the approach and structure set out in *The Sixth Edition Conservation Plan* by J. S. Kerr (2004) and the guidelines of the NSW Heritage Office for the preparation of conservation management documents. The terms *fabric, place, preservation, reconstruction, restoration, adaptation* and *conservation* used throughout this report have the meaning given them in the *Australia ICOMOS Charter for the Conservation of Places of Cultural Significance, 1999 (Burra Charter)*. The assessment of Indigenous heritage values is outside the scope of this plan. *Ask First: A guide to respecting Indigenous heritage places and values* can provide guidance in that regard.

4.3.1 Limitations

Inspection of the physical fabric was carried out without any physical intervention in the place.

4.3.2 Identification of Authors & Sources

This report was prepared by Robert Staas, Heritage Consultant and Director, and Don Wallace, Senior Heritage Consultant, of NBRS+Partners Architects.

The heritage assessment within this plan draws on work by others, principally, *J. Fenwick and Co. Pty Ltd Site Conservation Plan (Rod Howard Heritage Conservation Pty Ltd, February 1993)* and *East Balmain Foreshore Conservation Management Plan (Design 5, Draft 2005)*.

This CMP includes reference to the Archaeological Assessment prepared by Cosmos Archaeology Pty Ltd concurrently.

4.3.3 Acknowledgments

In addition to the work which this plan builds upon, its authors acknowledge the following people in the review of earlier drafts:

- Dennis Buttigieg, NSW Maritime
- Aaron Callaghan and Margaret Lyons, Leichhardt Municipal Council
- Bruce Carter, Local Studies Collection, Leichhardt Library, LMC
- Colin Kay, Sydney Water
- Sheila Tawalo, Hill Thalys Architects

4.3.4 Copyright

This report is copyright of NBRS+Partners and was prepared specifically for Leichhardt Municipal Council to inform the Council's maintenance, conservation and development. It shall not be used for any other purpose and shall not be transmitted in any form without the written permission of the authors.

5.0 UNDERSTANDING THE PLACE (HERITAGE ASSESSMENT)

5.1 Historical Summary

Authors including Dr Peter Reynolds have set out the contextual history of the development and subdivision of Balmain and the occupation of the area generally but there are limited historical resources which assist in understanding this maritime industrial complex specifically. For more comprehensive information on the development of structures which have come and gone for the site and for which only potential sub-surface remains exist, refer to Cosmos Archaeology Pty Ltd's Historical Archaeological Conservation Management Plan.

Weston Street was aligned on its present location in 1836, 36 years after Governor Hunter's original grant of 550 acres to William Balmain. Boatbuilder John Bell acquired the land at 2-8 Weston Street in 1840 and proceeded to build a stone wharf and shipwright's yard. In 1844, he leased his house at the corner of Weston Street and Darling Street to William Walker who established the Dolphin Hotel there. Two years later Bell resumed the hotel and renamed it the Shipwright's Arms. He died the following year and his widow and sons ran the yard until it was sold to John Fenwick in 1883.

J. Fenwick & Co was one of the longest running waterfront industries at Balmain. The tug operating company established by John Fenwick and his brother Thomas operated in Balmain from 1870 until 1986 when it became part of the Brambles group. It is not known whether Fenwick & Co operated from the site before their purchase in 1883. The sale of Bell's shipyard to Fenwick & Co included a wharf, store and the Shipwright's Arms. The store appears to have been a smaller store closer to the shore than the stone building as the stone building was not shown on an 1888 map but was shown on one from 1896.

The original high water mark was closer to the eastern entrance to the store but in an 1875 drawing by C.A. Atchinson the shoreline had been resumed and a seawall and wharf built. Presumably this is the wharf that was transferred to Fenwick from the Bells. An 1897 drawing shows clearly the wharf, seawall and reclaimed land. An 1896 Department of Lands drawing shows the north-western retaining wall, buildings along Weston Street (two terrace houses one of which was known to be called *Waterside*), a waterfront yard to the north of the stone store, a building north of the store on Darling Street, a jetty and a building between the store and the seawall (refer to Figure 3 and Figure 4 for differences during this period of occupation). By the 1940s, a small structure east of Shipwright's Arms can be seen on an aerial photograph and in a photograph taken from the water. Ground based photographs show this to be a garage. In the late 1950s, buses replaced trams on the route up Darling Street. It appears that the yard to the north of the building was partly acquired by the Government to construct the bus turning circle. Presumably it was then when the small structure on Darling Street was demolished.



Figure 3 Map showing listed site bound by red. NSW Department of Lands, Sydney Metropolitan Detail Series, Balmain.. 1888. Study area/State Heritage Register listed area annotated by NBRSPartners, 2008.

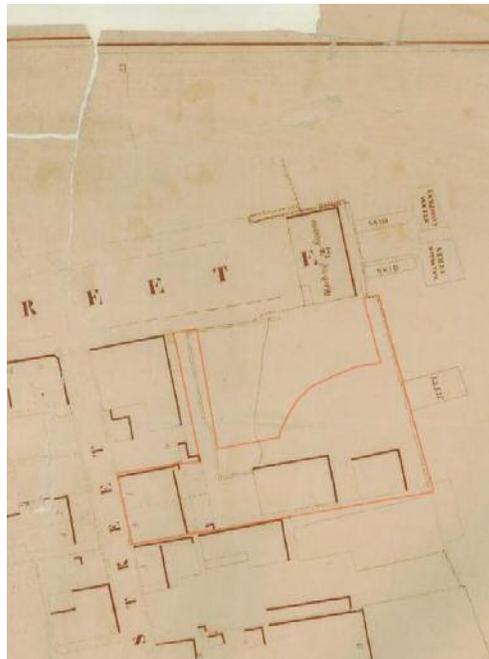


Figure 4 Map showing listed site bound by red. NSW Department of Lands, Sydney Metropolitan Detail Series, Balmain, Sheet 21. 1896. Study area/State Heritage Register listed area annotated by NBRSPartners, 2008.

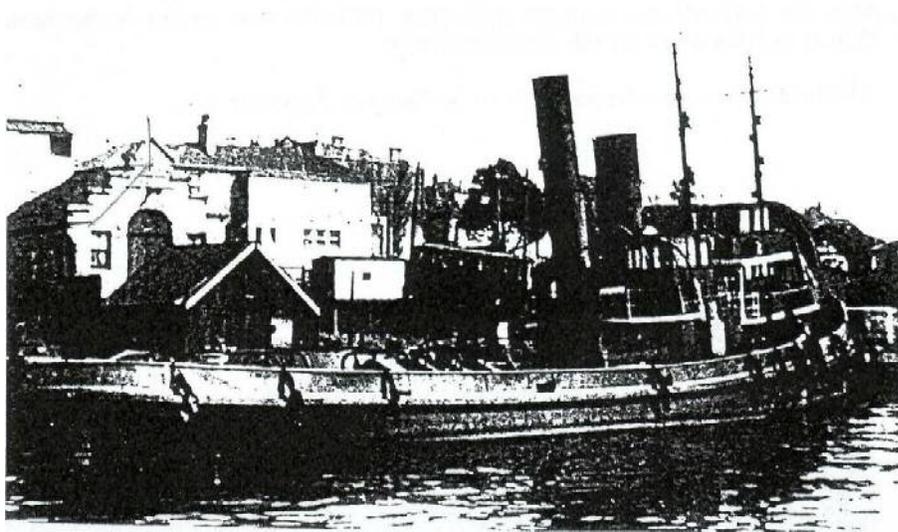


Figure 5 Several times photocopied photograph - view of the Fenwick complex with a tugboat in front, circa 1940s. From Rod Howard Conservation Plan (1993), cited as being sourced from Mr Ian Fenwick who confirmed in 2008 he had not seen the image before. Source and higher quality image to be found.



Figure 6 Aerial photograph showing yard in location of bus turning area, terrace houses on Weston Street, a building east of the 1880s stone building, and two vessels alongside a wharf associated with the site. The roof form of the 1880s stone building can be discerned as a gambrel roof at its western end. RTA 1943 Aerial Photograph.

In 1950, the Shipwright's Arms was sold to Miller's Brewery before its licence was given up in 1966. In 1963, Fenwick's Holdings Limited redeveloped the site to meet its operational requirements as tug boat operators. This major redevelopment included demolition of the two terrace houses on Weston Street and the demolition of the structure between the stone store and the seawall as well as the acquisition of the adjoining lot to the south where another boatshed had stood. A new L-shaped administration building was constructed on Weston Street. To gain the best view over the harbour and to the Harbour Bridge from the office's ribbon windows, the gable of the stone building was removed and the roof lowered in pitch. This allowed the accommodation provided by the stone building to be retained and ground level access was achieved by building up the ground levels on the southern side and forming a door in that wall. A vehicular ramp was built down to the foreshore level in front of the stone building. The retaining wall for the ramp may have been constructed from the stone salvaged from the gable. An image from the company's 1964 report shows how the complex looked shortly after the redevelopment.

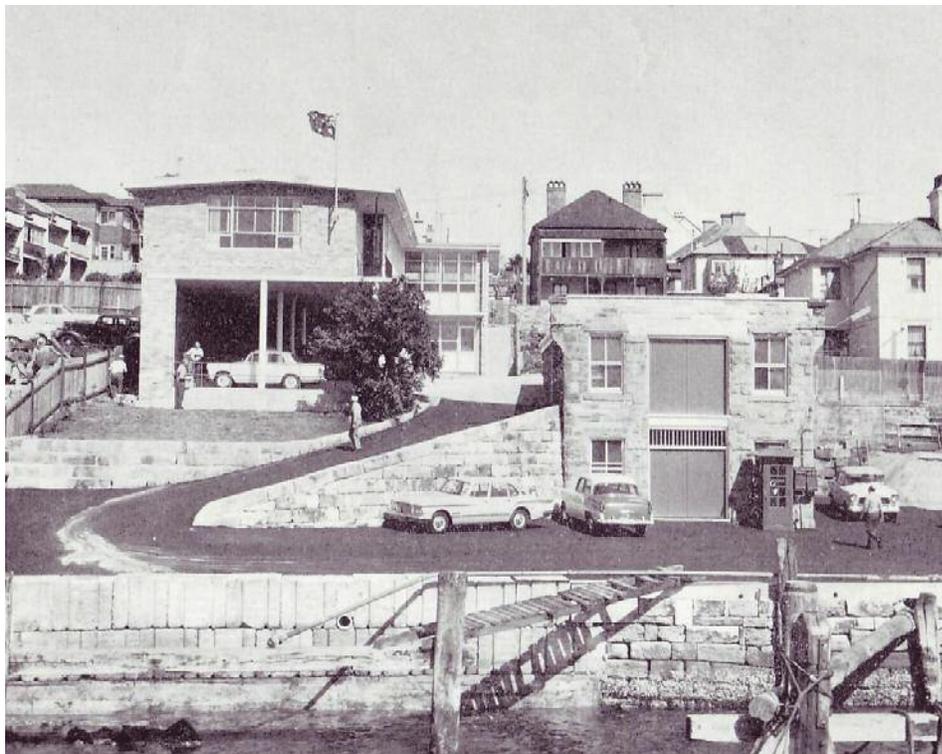


Figure 7 Photograph - view of the Fenwick complex after the modifications of 1963. Fenwick Holdings Limited Seventh Annual Report for year ending 30 June 1964, courtesy of Mr Ian Fenwick.

In 1986, the Brambles Group purchased the site. After several proposals to develop the site for private purposes, Council eventually acquired it in 2007 with a view to developing it as parkland linking Council owned parks to the south and north. Also in 2007, repairs and reconstruction of the sea wall was carried out and completed in 2008. The Plan of Management for the 'park' includes the demolition of the 1963 Administration Building. Council approved the

demolition of this building and carried out the demolition in July 2008 to allow the development of the park.

5.2 Demolished Buildings on the Site and Surrounds

In assessing the archaeological significance and development issues related to previous development and subsurface remains, archaeologists Cosmos Archaeology Pty Ltd prepared an overlay of documentary evidence of development onto an existing survey. It is shown on the following page. The study area it refers to extends beyond the study area of this CMP to the whole of the area being considered for landscape redevelopment by Leichhardt Council. For analysis and interpretation of the issues of sub-surface remains, refer to the Cosmos Archaeology report. The principal surface features that remain are the 1880s Stone Building and its associated retaining wall but not wharf shown here in turquoise blue.



Figure 8 Interpretation of primary source mapping of structures overlaid on existing survey of site and surrounds. Cosmos Archaeology Pty Ltd, 2008.

5.3 Description of the Place

5.3.1 The Site

Fenwick's Stone Building is situated at 2 - 8 Weston Street, East Balmain and the land is described as Lot 1 on Deposited Plan 1072213 in documents held by the NSW Land Titles Office.¹ This State Heritage Register listed land is part of a larger complex associated with the maritime use of the place by Fenwick & Company. The study area is limited to the listed land but some discussion of its setting is given below followed by analysis of the building itself. Archaeological assessment forms part of a separate study.

5.3.2 Setting of Fenwick's Stone Building

Fenwick's Stone Building is set on the western foreshore of Darling Harbour at East Balmain. Views to the place are principally from the water and the waterfront adjacent to the eastern end of Darling Street with limited views from the south in Illoura Reserve. From the western part of the site near Weston Street, the modified roof of the building can be looked over to views of the water to the Harbour Bridge, Barangaroo and North Sydney. Views from the place primarily comprise views to the water from the interior, eastern foreshore and north of the building to the water. Immediate structures and landscape context include the 1963 Administration Building (development consent is in place for the demolition of this building) set on a higher level to the south-west, the bus turning area to the north, the East Balmain (Darling Street) Ferry Wharf to the north-east and the former Shipwrights' Arms Hotel to the north-west at the corner of Weston Street and Darling Street. As can be seen from the above, the visual setting to the place from the north-west through to the south is largely enclosed by existing structures and vegetation whereas the setting is visually open from the south-east through to the north.

5.3.3 Retaining Walls

A stone retaining wall extends in an L-shape from the north-western corner of the 1880s Stone Building to Darling Street. Upper course have been added above a coping in lower quality stone than the ashlar sandstone of the original structure to increase the height of the wall. This appears to have been done as part of the 1963 works. Another retaining wall holds back the ramp at the south-eastern corner of the building and has been confirmed as being carried out in 1963 to allow vehicular access to the foreshore.

¹ The number of the deposited plan listed on the entry in the State Heritage Register is erroneously described and does not accord with the description of the features. The author understands the owner of the land has made the Heritage Council aware of the anomaly.

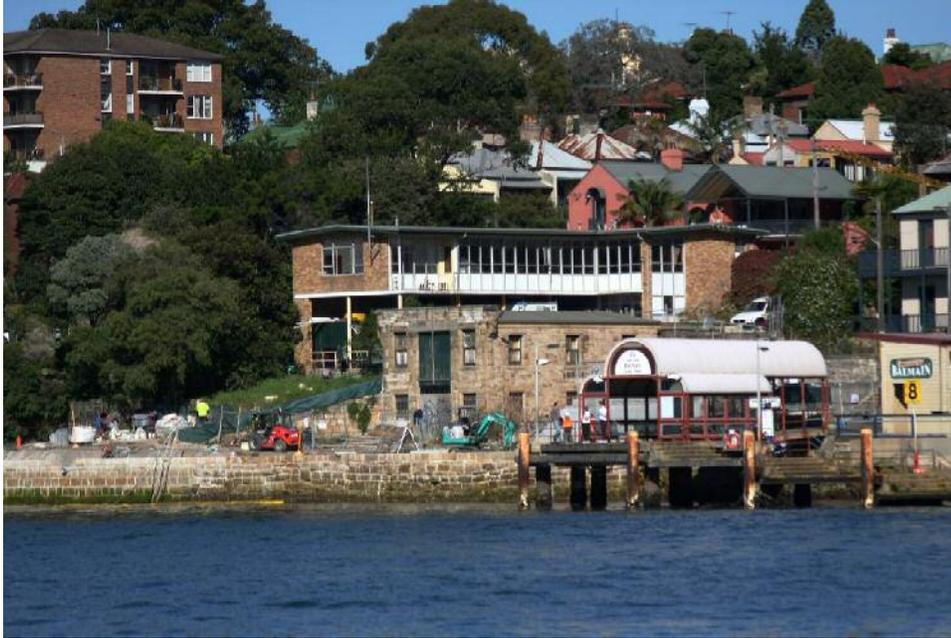


Figure 9 Photograph - view of Fenwick's Stone Building within the context of Darling Harbour, the ferry wharf, the Administration Building and East Balmain looking south west from the water. NBRSPartners (AM), 2008.



Figure 10 Photograph - view of Fenwick's Stone Building viewed in its setting from the north. NBRSPartners (AM), 2008.



Figure 11 Photograph - view over Fenwick's Stone Building from the Administration Building. NBRSPartners (AM), 2008.

5.3.4 Fenwick's Stone Building - Exterior Generally

Fenwick's Stone Building is a two storey sandstone building once used for maritime industrial purposes. The building is set into the landform on its southern and western sides and the ground levels on these sides have been subsequently raised in the adaptive works of the 1963 alterations and additions. As well as raising ground levels on those two sides, the eastern stepped gable and roof evident in an earlier photograph have been removed. Included in those adaptive works was the addition of a stone retaining wall and vehicular ramp abutting the north-eastern corner of the building. The roof is low-pitched, prefinished steel sheet and hidden behind the eastern parapet when viewed from the west.

5.3.5 Exterior - Eastern Facade

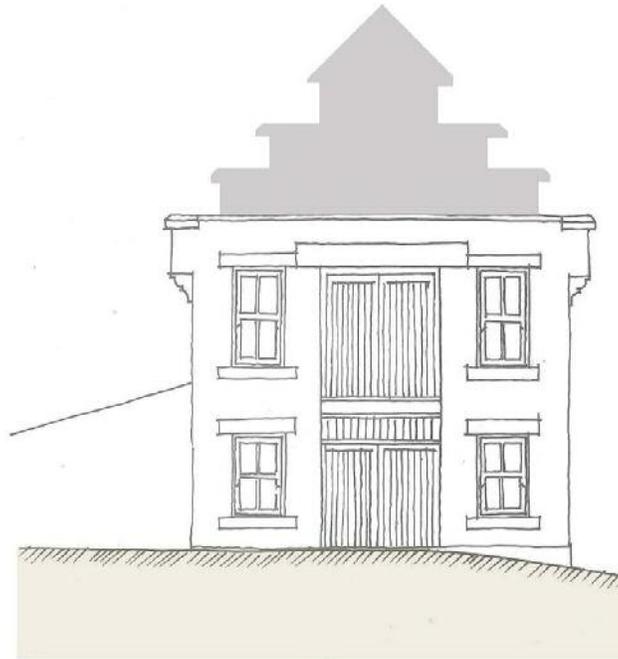


Figure 12 Sketch elevation of east (principal) facade. The earlier gable line/roof shown ghosted in grey is derived from documentary evidence shown at Figure 5. NBRSPartners (WDW), June 2008. Not to scale.

The eastern façade facing the water is the principal façade. It was modified in 1963. In its modified form the ashlar sandstone facade is two storeys high, parapeted with corbels with four windows symmetrical around double timber ledged and framed doors at each level. This is the only façade with ashlarwork instead of rubble stonework and has rock-faced lintels over the windows and quoins. The arch above the central doors has been removed along with the upper part of the gable and the voussoir stones of the arch replaced with a flat concrete lintel. The parapet ashlarwork above the lintel is comprised of smaller stone units than the rest of the wall. A slate damp proof course is evident on the exterior of the building.

The stone retaining wall and ramp of 1963 abuts the north-eastern corner of the building. Intrusive elements include steel grilles on windows and two fluorescent luminaires fixed on steel poles to the parapet. The windows are double hung timber sashes each with two panes divided vertically. They are in poor condition. The doors do not appear to be original and are likely to be replacements of the 1880s originals. A *Ficus* spp. weed is growing at the foot of the wall.



Figure 13 Photograph - view of the building from the south-east. NBRSPartners (WDW), 2007.



Figure 14 Photograph - view of the building's eastern façade. NBRSPartners (WDW), 2007.

5.3.6 Exterior - Northern Facade

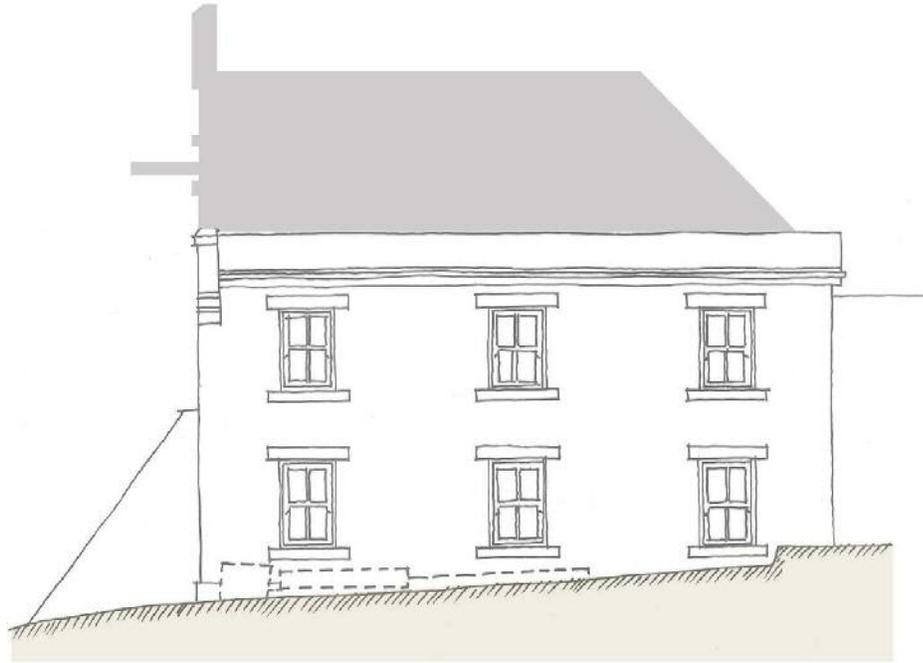


Figure 15 Sketch north elevation. The earlier gable line/roof shown ghosted in grey is derived from documentary evidence shown at Figure 5. NBRSPartners (WDW), June 2008. Not to scale.

The northern façade is the secondary façade. It was not substantially modified in 1963 other than by the removal of the roof and its replacement with a low profile metal roof. It is two storeys high and constructed of coursed sandstone rubble with three windows (similar to those of the eastern façade) symmetrically placed at each level. The windows are in poor condition. The windows have rock-faced lintels. The ground rises to the western end of the building where a retaining wall abuts the building. Geotechnical investigation indicates that the substrate is fill on benched sandstone above ground floor level to the west of the building.



Figure 16 Photograph - view of the building from the north-east showing the northern façade. NBRSPartners (WDW), 2008.

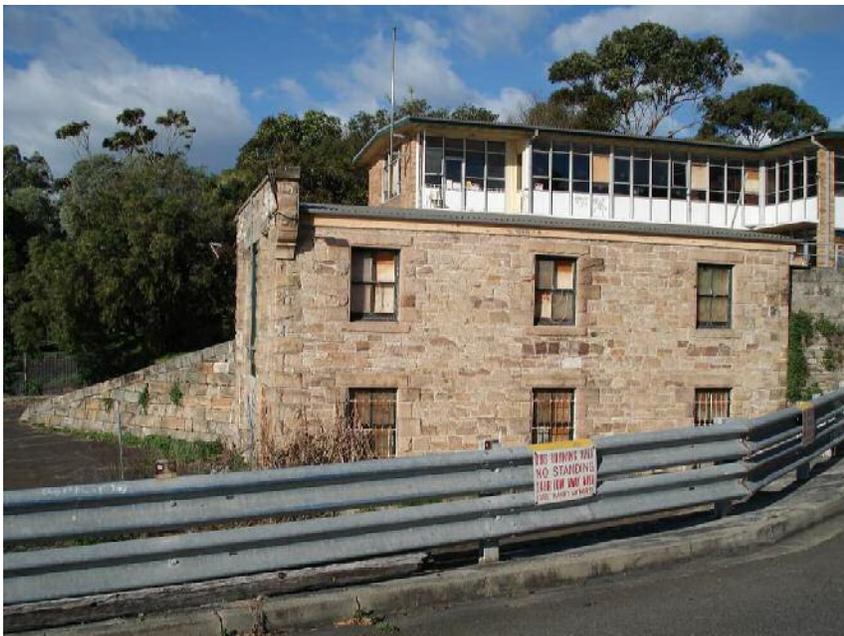


Figure 17 Photograph - view of the building from the bus turning circle at the north with the Fenwick Administration Building in the background. NBRSPartners (WDW), 2007.

5.3.7 Exterior - Western Facade

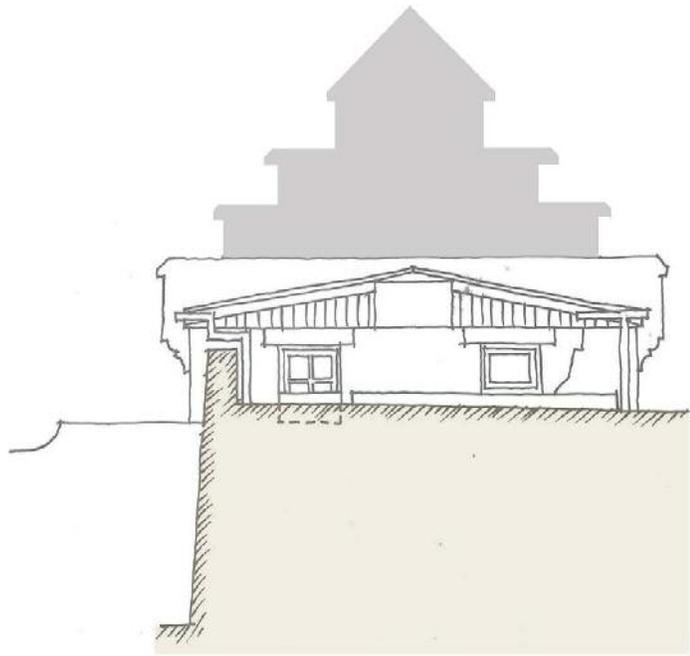


Figure 18 Sketch west elevation. The earlier gable line/roof shown ghosted in grey is derived from documentary evidence shown at Figure 5. NBRSPartners (WDW), June 2008. Not to scale.

The western façade is not visible from the key views from the south-east through to the north. It was substantially modified in 1963 not only by the removal and replacement of the roof but by increasing the ground level. The rubble wall has two windows. Both have rock-faced stone lintels and appear to be original openings. The window frame and sash of the northern window appear to be original or early - it is a four pane window. A concrete kerb - presumably from 1963 - has been placed in front of this window making a pit for water in addition to the hydrostatic pressure and water ingress from the earth. The southern window frame, sash and concrete sill appear to date from 1963. The window comprises a single pane of wired glass in a timber frame. Clearly the ground level was raised somewhat in 1963 but the height of the early window whose sill is higher than that on the northern wall indicates that the first constructed ground level may have been quite high up the building in this location in any case. There is a deep crack through the stonework near the south-western corner of the wall.



Figure 19 Photograph - view of the western elevation of the building with some protection in place during works to the seawall. NBRSPartners (WDW), 2008.



Figure 20 Photograph - the northern window on the western elevation. NBRSPartners (WDW), 2008.



Figure 21 *Photograph - the southern window of the western elevation.
NBRSPartners (WDW), 2008.*

5.3.8 Exterior - Southern Facade

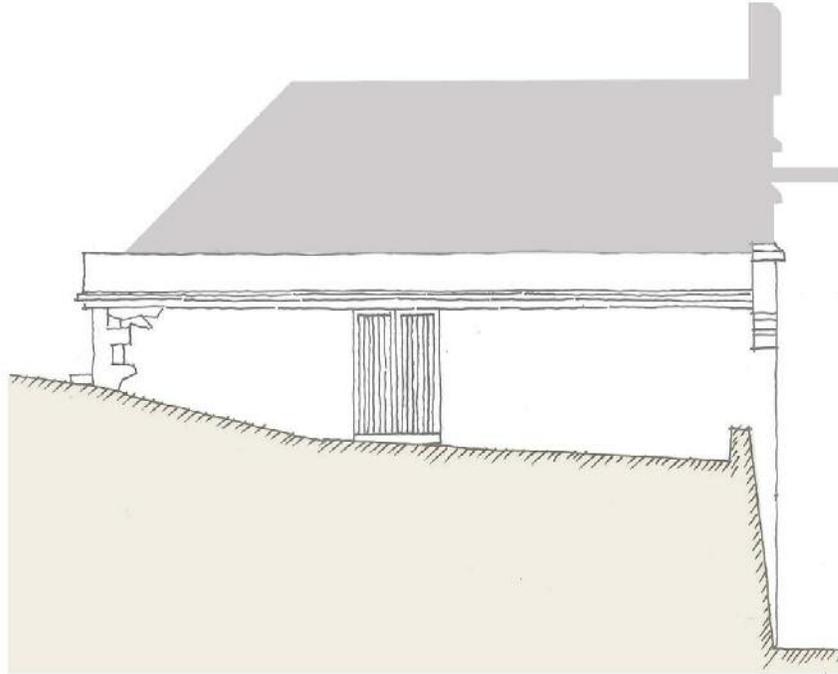


Figure 22 Sketch south elevation. The earlier gable line/roof shown ghosted in grey is derived from documentary evidence shown at Figure 5. NBRSPartners (WDW), June 2008. Not to scale.

The southern façade is visible from some views from the south and south-east. There is no physical or documentary evidence that the wall had any openings in it before the vehicular ramp was constructed in 1963. The roughly central opening has been cut into the rubble wall and re-pointed using hard cement mortar in contrast to the original sand mortar of the rubblework. The opening has a concrete threshold. The framed and ledged double doors may date from 1963 or may have been reused from elsewhere on the site. The ground level has been considerably raised along this wall. A system of cracks is evident near the south-western corner.



Figure 23 Photograph - view of the southern wall adjacent to the ramp with some protection in place during works to the seawall. NBRSPartners (WDW), 2008.



Figure 24 Photograph - the opening and door in the southern wall showing alterations using hard Portland cement render and a new concrete threshold. NBRSPartners (WDW), 2008.

5.3.9 Interior - Ground Floor

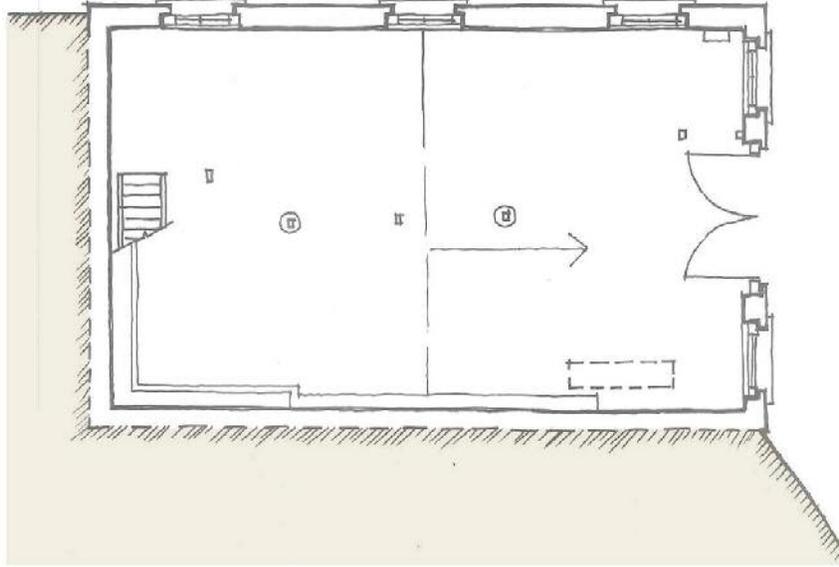


Figure 25 Sketch plan of ground floor. Thickness of southern and western walls anticipated only and subject to future invasive investigation. NBRSPartners (WDW), June 2008. Not to scale. North at top of page.

The ground floor comprises a single rectangular room with three central timber posts and a steep open tread timber stair against the back (western) wall. Several other posts have been added as ad hoc props. The floor is finished with a concrete slab which is level in the western section and then falls from about the centre of the room to the opening on the eastern wall. It has had two bores made in it but these have not been accessed to see what original floor may lie beneath. Earlier floors may include sandstone flags among other alternatives but are yet to be confirmed. Along the southern and western walls is a concrete hob and what appears to be a drain system which may be an attempt to address the significant damp issues in the walls.

The walls are un-rendered sandstone rubble walls. There are serious damp issues particularly in the western and southern walls which retain the ground on the other side of the wall at least to the height of the first floor. Geotechnical investigations indicate that near the southern wall, rock can be found at 1.4 metres above ground floor level. The nature and condition of the outer side of the walls and their interface with the natural foundations has not been investigated and is unknown.

The apparently original stop-chamfered central timber posts are 140mm x 120mm. The two outer posts are set on roundels unlike the central one. An item of loose equipment includes part of a steel 'winch' associated with the tugs' operations.



Figure 26 Photograph - The ground floor interior looking to the north-west. NBRSPartners (WDW), 2007/2008.



Figure 27 Photograph - The ground floor interior looking to the south-west. NBRSPartners (WDW), 2008.

5.3.10 Interior - First Floor

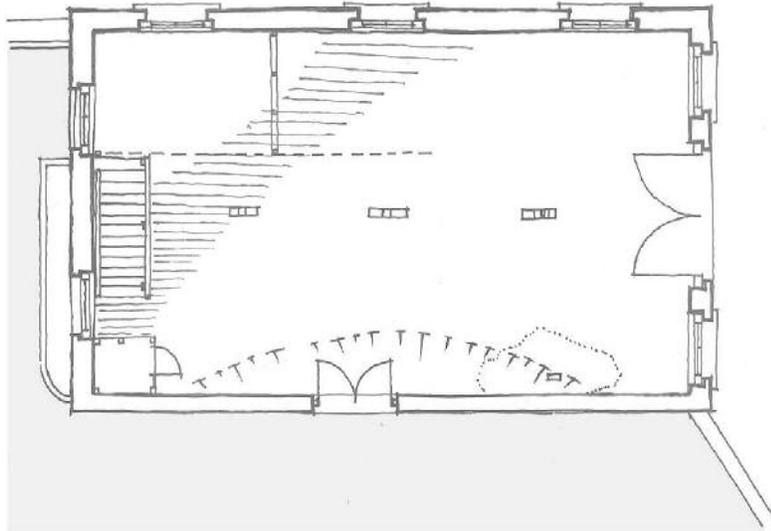


Figure 28 Sketch plan of first floor. NBRSPartners (WDW), June 2008. Not to scale. North at top of page.

The first floor similarly comprises a single rectangular room with three central timber posts accessed by the stair against the western wall and also by the 1963 opening in the southern wall. There is evidence of open timber framed chain-link mesh walls and ceilings in part of the north-west corner. A timber cupboard is fixed into the south-western corner of the room.

The floor is a timber floor comprising 140mm x 30mm tongue and groove boards laid east-west on timber joists (290mm x 50mm). The joists are partly supported from below on a beam carried by the ground floor posts. Joist pockets hold some of the ends of the joists but many joist ends have rotted or been effected by white-ant activity and have come away from the pockets. This is most evident along the southern wall where the floor has sunk. The floor is stiffened in parts with herring-bone strutting. Seven of the 26 joists have been replaced with glued laminated timber and it is these newer 'glu-lam' beams which show some of the most serious damage due to white-ants.

The walls of this floor are also un-rendered sandstone rubble walls and are affected by damp. They have been painted white and, since vacant, graffiti-'tagged'. The apparently original stop-chamfered central timber posts are 90mm x 120mm. The posts are set timber mounts. The easternmost post has a pulley-block and horn cleat fixed to it which is probably related to the now lost cat head beam of the demolished stepped gable.

The roof is comprised of the wall plate and tie beams of the original structure on which has been erected a low profile metal roof on new timber framing.

Evidence of use within the room includes an area where tar has been used.

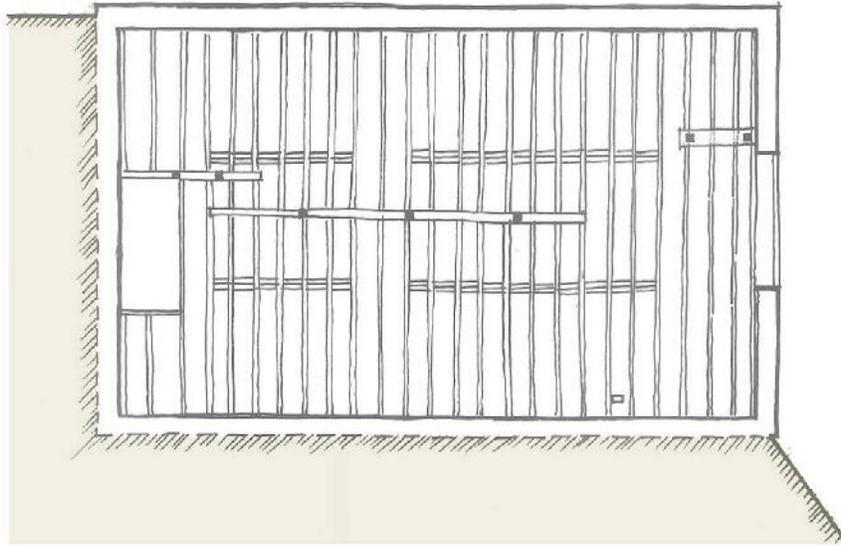


Figure 29 Sketch ceiling plan showing floor joist layout of first floor .
NBRSPartners (WDW), June 2008. Not to scale. North at top of page.



Figure 30 Photograph - The first floor interior looking to the north-east.
NBRSPartners (WDW), 2007/2008.



Figure 31 Photograph - The first floor interior looking to the south-west.
NBRS+Partners (WDW), 2008.

5.4 Assessment Criteria

Heritage significance, cultural significance and cultural value are all terms used to describe an item's value or importance to our own society. This value may be contained in the fabric of an item, its setting and its relationship to other items, the response that the item stimulates to those who value it now and in the historical record that allow us to understand it in its own context. An assessment of what is significant is not static. Significance may increase as more is learnt about the past and as items become rare, endangered or are found to document or illustrate aspects that achieve a new recognition of importance.

Determining cultural value is the basis of all planning for places of historic significance. Determination of significance permits informed decisions or future planning that ensures that the expressions of significance are retained, enhanced or at least minimally impacted upon. A clear understanding of the nature and degree of significance will determine the parameters for flexibility of future planning and development. The historical summary provides the context for assessing significance, which is made by applying standard evaluation criteria to the development and associations of an item. The criteria established by the NSW Heritage Council comprise the following:

Criterion A It is important in the course or pattern of the cultural or natural history of NSW.

Fenwick's Stone Building meets this criterion of State significance because:

- It has associations with J. & T. Fenwick and family who established and ran the pre-eminent tug boat operation on Sydney Harbour between the 1870s and 1986 which was an integral part of shipping at Australia's premier port; and
- It is a remnant which demonstrates the former maritime industrial uses at East Balmain on the western shore of Darling Harbour from the early subdivision of the land to the late twentieth century.

Criterion B It has a strong or special association with the life or works of a person, or group of persons of importance in the cultural or natural history of NSW.

Fenwick's Stone Building meets this criterion of State significance because:

- It has associations with J. & T. Fenwick and family who established and ran the pre-eminent tug boat operation on Sydney Harbour between the 1870s and 1986 which was an integral part of shipping at Australia's premier port.

Criterion C It is important in demonstrating aesthetic characteristics

and/or a high degree of creative or technical achievement in NSW.

Fenwick's Stone Building meets this criterion of State significance because:

- Of its landmark value from the water on the western shore of Darling Harbour and adjacent to the Darling Street wharf which indicates arrival at Balmain via water at the bottom of Darling Street which is reinforced by its relationship with the former Shipwright's Arms; and
- In spite of its incompleteness, it is an example of a permanent sandstone industrial building designed and constructed with elements of the Victorian Romanesque style which demonstrates quality materials and workmanship.

Criterion D *It has a strong or special association with a particular community or cultural group in NSW for social, cultural or spiritual reasons.*

Fenwick's Stone Building does not demonstrate this criterion sufficiently to warrant listing on the State Heritage Register.

Criterion E *It has potential to yield information that will contribute to an understanding of the cultural or natural history of NSW.*

Incomplete. Awaiting archaeological assessment.

Criterion F *It possesses uncommon, rare or endangered aspects of the cultural or natural history of NSW.*

Fenwick's Stone Building meets this criterion of State significance because:

- It is a remnant which demonstrates the former maritime industrial uses at East Balmain on the western shore of Darling Harbour from the early subdivision of the land to the late twentieth century.

Criterion G *It is important in demonstrating the principal characteristics of a class of cultural or natural places/environments in NSW.*

Fenwick's Stone Building does not demonstrate this criterion sufficiently to warrant listing on the State Heritage Register.

5.5 Statement of Significance

Fenwick's Stone Building is of high cultural heritage significance because:

- It has associations with J. & T. Fenwick and family who established and ran the pre-eminent tug boat operation on Sydney Harbour between the 1870s and 1986 which was an integral part of shipping at Australia's premier port;
- It is a remnant which demonstrates the former maritime industrial uses at East Balmain on the western shore of Darling Harbour from the early subdivision of the land to the late twentieth century;
- Of its landmark value from the water on the western shore of Darling Harbour and adjacent to the Darling Street wharf which indicates arrival at Balmain via water at the bottom of Darling Street which is reinforced by its relationship with the former Shipwright's Arms; and
- In spite of its incompleteness, it is an example of a permanent sandstone industrial building designed and constructed with elements of the Victorian Romanesque style which demonstrates quality materials and workmanship.

5.5.1 Degree of Significance

The degree of significance of elements of the place has been graded on a four tier plus intrusive scale as below.

- Exceptional
- High
- Moderate
- Little
- Intrusive

Exceptional Significance

- There are no elements of exceptional significance.

High Significance

- Eastern façade generally.
- Northern facade generally.
- All windows on northern and eastern facades.
- Remnant open area to the east and north of the building.
- Martin's (type) anchor discovered on-site.
- Tug boat 'winch'.
- Original 6 timber posts of ground and first floors including horn cleat and pulley block associated with lost cat head beam.

Moderate significance

- Southern façade and wall generally.
- Eastern facade and wall generally.
- First floor original timber floor and floor framing.
- Doors.
- Early northern window on western wall.
- Masonry units of ramp retaining wall subject to confirmation that they were sourced from the stepped gable.

Little significance

- Chain-link partitions of first floor.
- Cupboard on first floor.
- Door in southern wall on first floor.

Intrusive

- 1963 modifications generally.
- Ramp and raised ground levels against southern and western walls.
- Steel grilles to openings.
- Fluorescent luminaires to eastern façade.
- Roof and roof structure other than tie beams and wall plates.
- Concrete lintel, small unit masonry and other 1963 modifications to eastern façade.
- Concrete floor to ground floor.
- Supplementary propping in ground floor.
- Rotten laminated timber replacement members of first floor.
- Wired glass southern window on western wall.
- Bus turning area (setting - outside study area.)
- Graffiti 'tags'.

6.0 CONSERVATION POLICY

6.1 Constraints and Opportunities

The information relevant to the development of conservation policies for Fenwick's Stone Building must include consideration of constraints and opportunities arising from:

- the statement of significance;
- the owners' requirements;
- the physical condition of the place; and
- statutory heritage listings.

6.1.1 Constraints & Opportunities Arising from the Statement of Significance

The statement of significance and the breakdown of elements of significance indicate that the original fabric of the eastern and northern facades is of greatest significance and that the recovery of the lost gable and pitched roof is the most desirable. The reconstruction of the gable and roof has been known to be desired as a key conservation outcome since Rod Howard's conservation plan of 1993. What has been less well understood and the subject of some contention is the flexibility of change to elements of the building and to its setting that is acceptable or desirable from a heritage perspective.

Constraints include the capital resources required to recover some lost elements and undertake conservation works together with establishing and maintaining a compatible use for the building.

6.1.2 Constraints & Opportunities Arising from the Owners' Requirements

Leichhardt Municipal Council (Council) acquired the property in order to realise a scheme for an integrated foreshore park at East Balmain. That scheme is set out in the Plan of Management for 2 - 8 Weston Street which Council adopted in 2008. The Plan of Management follows on from Development Control Plan No. 37 which Council adopted in 1999 and subsequently amended in 2001 and from Council's acquisition of the land. The DCP provides for proposals for change to be assessed against conservation plans specific to the site and prepared for Council. The CMP is such a document.

Parallel to this conservation management plan, property consultants - HillPDA - have prepared a draft business plan for the site which examines the viability of options to adapt the place to new uses which include commercial gallery and artspace or café/restaurant together with combinations of the two general uses also considered.

6.1.3 Constraints & Opportunities Arising from the Physical Condition of Fenwick's Stone Building

The building itself has several inherent defects in its design and siting which have been exacerbated principally by the modifications carried out in 1963 and compounded by the lack of maintenance and vandalism which has

accompanied the building's vacancy in recent years. The stone structure has considerable damp problems and some of the timber joinery and carpentry throughout is in poor condition caused by damp and termite activity.

6.1.4 Constraints & Opportunities arising from Statutory Heritage Listings

The place (Lot 1 DP722968) which includes the stone building is listed on the State Heritage Register. The surrounds outside this land have historical links with the listed land and building but are not listed so the process of managing change outside Lot 1 differs from that within it. Nevertheless, within this conservation management plan the building has been treated in the context of its setting.

Any work other than that set out in the Heritage Office's 'Standard Exemptions' will require an application through Section 60 (Heritage Act 1977) to be made. As well as drawings outlining the proposal, such an application will need to include a conservation plan, a statement of heritage impact and an archaeological research design supported by an archaeological assessment. This conservation plan will form part of the Section 60 application to be made to the Heritage Branch of the Department of Planning to gain approval for the landscape and engineering works that are part of the proposed landscape works.

For land outside Lot 1, a separate Section 140 (Heritage Act 1977) approval process applies. This is because 'relics' such as the footings of earlier structures or other evidence of use are likely to be found in the course of excavation. A separate archaeological assessment/historical archaeological conservation management plan provides further details of the archaeological issues and the obligations for obtaining excavation permits.

6.2 Method of Approach

6.2.1 Management and Conservation Processes

Recommendation 1 The future conservation and development of the place should be carried out in accordance with the principles of the Australian ICOMOS Charter for the Conservation of Places of Cultural Significance, 1999 (The Burra Charter).

Recommendation 2 The statement of significance in this plan should be adopted as a basis for future decision making, planning and work on the place.

Recommendation 3 The recommended policies and conservation options discussed in this document should be adopted as a guide to future conservation and development of the place irrespective of the use to which it is put.

Recommendation 4 This conservation management plan should be considered to take precedence over Council's existing Development Control Plan 37 which has provided for development control at 2 - 8 Weston Street. If found no longer to be relevant, the DCP should be rescinded.

Recommendation 5 All conservation work in the building should be undertaken on the basis of evidence. Conjecture and guesswork in making decisions about conservation processes are unacceptable.

Recommendation 6 Retention, enhancement and recovery of the Cultural Significance of the place should be adopted and implemented as opportunities arise, taking into consideration the changing needs of the Owner, availability of funds and other constraints.

Recommendation 7 Evidence of the associations of the place with the Fenwick's' tug boat operations and that which conveys the past maritime industrial use of the site should be retained on site, conserved and interpreted.

6.2.2 Statements of Heritage Impact

The significance of Fenwick's Stone Building is in part reliant on the character and quality of its surviving fabric. Wherever the issue of removing or altering significant fabric from its original form and location arises, an assessment of the effects that such action will have on the overall significance of the place needs to be undertaken. Such an assessment will review the identified significance level of the part to be removed or altered, the impact that the action will have on the element itself and the resulting impact on the place as a whole. This can be done by assessing the compliance of actions against the conservation policies/recommendations set out in this conservation plan.

In general terms, an adverse effect on any item or aspect of significance may be acceptable provided:

- It makes possible the recovery of aspects of greater significance,
- It helps to secure the future security of the place,
- There is no feasible alternative,
- Care is taken to minimise the adverse effect, and
- The effect is assessed in a Statement of Heritage Impact demonstrating compliance with these recommendations before it is realised.

Recommendation 8 Proposals for change should be assessed in Statements of Heritage Impact which include an indication of the degree to which the proposals comply with the policies set out in this conservation management plan. The Statements of Heritage Impact should provide mitigating measures for potentially adverse impacts.

6.2.3 Access & Security

Recommendation 9 Public access around the building and secure supervised access to interiors and objects should be provided in any adaptive use to which the building and its setting are put.

6.2.4 Consultation and Development Consents

Recommendation 10 Consultation with the Heritage Branch of the Department of Planning and other stakeholders should continue. In particular where change to the fabric including adaptation, demolition or other work are proposed the specific consent of the Department of Planning via Section 60 applications and other processes should be sought.

Recommendation 11 The Council should use the NSW Heritage Office 'Standard Exemptions for Works' (Available from www.heritage.nsw.gov.au) as a basis for determining work which is exempt from specific approval. It should also be recognised that the 'exemptions' also include ones which required 'notification' prior to action which effectively means 'approval' of the work before carrying it out.

6.2.5 Adaptive Reuse

Recommendation 12 Compatible uses include those that allow the retention and recovery of the original character and identified cultural significance of the place and do not require additional accommodation beyond that provided for in the scope of the conservation recommendations (policy) or require operations which go against the policy such as partitioning interior spaces or introduction of intrusive services. The proposed uses of café/gallery supported by a subterranean services structure to the west and outside the existing building are generally compatible with the significance of the place and have considerable potential to be an appropriate adaptive reuse of the building. The café appears to allow greater public access and appreciation of the setting and interiors than a gallery use.

Recommendation 13 Proposed changes of use to any part of the building should only be considered in the context of a coordinated plan for the whole building.

Recommendation 14 In adapting parts of the building, original fabric or fabric otherwise found to be of significance and which is capable of reuse on site should be relocated within the building.

Recommendation 15 Proposed adaptation or changes which would require the introduction of particular services and/or structural alterations which would have a strong adverse effect on the character and/or heritage significance of the building are unacceptable.

6.2.6 Maintenance and Repair

Recommendation 16 The Council should initiate a planned maintenance and repair program for the building based on a comprehensive understanding of the building's present state, construction, character and materials with regular inspections and prompt appropriate preventative maintenance and repair when required. The program should be adequately funded.

Recommendation 17 The building should be treated immediately for termites and a program of regular inspections should be established.

Recommendation 18 Care should be taken by both tradespeople and supervisory staff that significant fabric is not damaged by maintenance and repair activities.

Recommendation 19 Colour schemes: Whenever painting or refinishing is contemplated for significant external fabric only authenticated heritage colour schemes should be adopted. This should involve investigation of the physical evidence of surviving schemes.

Recommendation 20 Only surfaces originally painted should be repainted. Painted stonework should only be repainted internally with porous paints which allow the underlying stone to 'breathe' rather than modern plastic paints which seal in moisture.

6.3 Recording Change

Recommendation 21 A collection of all relevant archival material should continue to be established and built upon. This should include, but not be limited to, the following:

- *Copies of all extant archival plans, specifications and reports*
- *Copies of all significant original and early photographic records of the place*
- *A copy of this plan and any subsequent specialists' reports.*
- *An itemised record of all maintenance and conservation works including documents and specifications.*

Recommendation 22 Elements that are to be demolished or adapted should be recorded photographically and in drawn form and the record kept on durable stock in a permanent archive.

Recommendation 23 All changes carried out to the physical fabric of the retained structures - including maintenance and repair work - should be recorded on a log which is periodically copied and stored offsite in a permanent archive additional to that maintained within the building.

6.4 Research, Training & Resources

Recommendation 24 Relevant and expert trade and professional conservation advice should be provided for all conservation, adaptation and repair works proposals and programs at the place.

Recommendation 25 Those charged with the management and operation of *Fenwick's Stone Building* should be supported by ongoing training in heritage management so as to integrate best practice principles into the facilities operations and implement this conservation management plan.

Recommendation 26 The history, development, use and care of the place should continue to be researched so as to improve understanding of the place.

For instance, in the course of research for this CMP the minute books of the Municipality of Balmain held in the State Archives at Kingswood were investigated. Limitations available to the study meant that only the earliest period of 3 April 1860 to 20 February 1877 could be examined in detail. That base research – which also records change at the Darling Street wharf - is included as an appendix which can be built upon by others. The records held at the Archives continue through to May 1941.

6.5 Interpretation & Promotion

Recommendation 27 Interpretation for the site should include:

- Consistent naming of the structure as Fenwick's Stone Building;
- The landscape setting of the building (the Park) should be named in a way which confirms and interprets the historical association with the Fenwick family and the business it ran on the site for most of the twentieth century;
- Encouraging public access to the site, building and interpretive material;
- Interpretation of the former shoreline, site features including removed structures and landscape elements as identified in the CMP and the HACMP should be indicated in the landscape treatment;
- Preservation and display of relics including the Martin's anchor and the tug 'winch'; and
- Interpretive signage on site and at key approaches including Darling Street Wharf.

If the landscape design currently proposed by Aspect Landscape Architects is proceeded with opportunities for implementation of the above could be included in the patterned steel facing to the new retaining wall proposed to run from the south-western corner of the building adjacent the steps.

6.6 Setting and New Development

Recommendation 28 The physical, visual and historic links between the Fenwick 1880 Stone Building, the harbour, the ferry wharf and the former Shipwrights Arms should be retained in new development and lost links recovered or enhanced wherever possible.

The bus turning area to the north lies on the location of the earlier beach and boatyard. It was constructed after the trams were replaced with buses in the late 1950s and early 1960s. It is visually intrusive to the setting of the building but its removal is unlikely to be feasible in the short to medium term as buses which terminate at the ferry would require a vehicular turntable or some other facility so as to turn around for the return journey up Darling Street. Nevertheless, its eventual removal is desirable from a heritage perspective.

Recommendation 29 The industrial maritime context of the site should be maintained and enhanced by retention and recovery of an open setting of reclaimed land to the building's east and north and by the use of a limited palette of robust materials and detailing with precedent at the site for use in new elements.

Recommendation 30 Following the demolition of the 1963 Administration Building and the intended implementation of the plan of management to establish open space around the building, it should be recognised that there is development potential for new structures along Weston Street and to the south and east of Fenwick's Stone Building whether or not such potential is realised in the short to medium term.

The details of any proposal to erect new structures in accordance with the above recommendation would need to be considered in detail and the impacts set out in a Statement of Heritage Impact to accompany a Section 60 application to the NSW Department of Planning's Heritage Branch.

6.7 Fire and Building Code Regulations

Recommendation 31 The building should be upgraded to meet fire and building code regulations when adapting the place for a new use but this should not be done in a way which adversely impacts or intrudes upon the existing fabric or spaces of significance.

6.8 Disabled Access

Recommendation 32 Disabled access to both levels of the building should be achieved in a way which does not visually intrude upon the eastern and northern facades or result in the loss of early interior fabric.

6.9 Services

Recommendation 33 The only service currently provided for in the building is electrical power as evidenced by the fuse box in the north-eastern corner of the ground floor which is of little significance and may be removed.

Recommendation 34 New services should not visually intrude into areas of moderate to high significance or be visible on the eastern

and northern facades and roof. Conduits for services should be surface mounted and restricted to the interior of the building or concealed behind the outer (now buried) side of the western wall.

6.10 The Seawall

Recommendation 35 The recently reconstructed seawall should be maintained.

Recommendation 36 New jetties or wharves may be built alongside the seawall if consistent with the scale of structures historically in place.

6.11 The North-Western Stone Wall

Recommendation 37 The north-western stone retaining wall should be retained but restored to its earlier height by the removal of the extra stone courses if the ground level behind is lowered. The stone coping should be reconstructed to match that in place along the wall on the western boundary.

Recommendation 38 If the ground level behind the wall is reduced, openings may be made in the north-western stone retaining wall as long as they are kept to the minimum required for access and egress.

6.12 The Eastern Facade

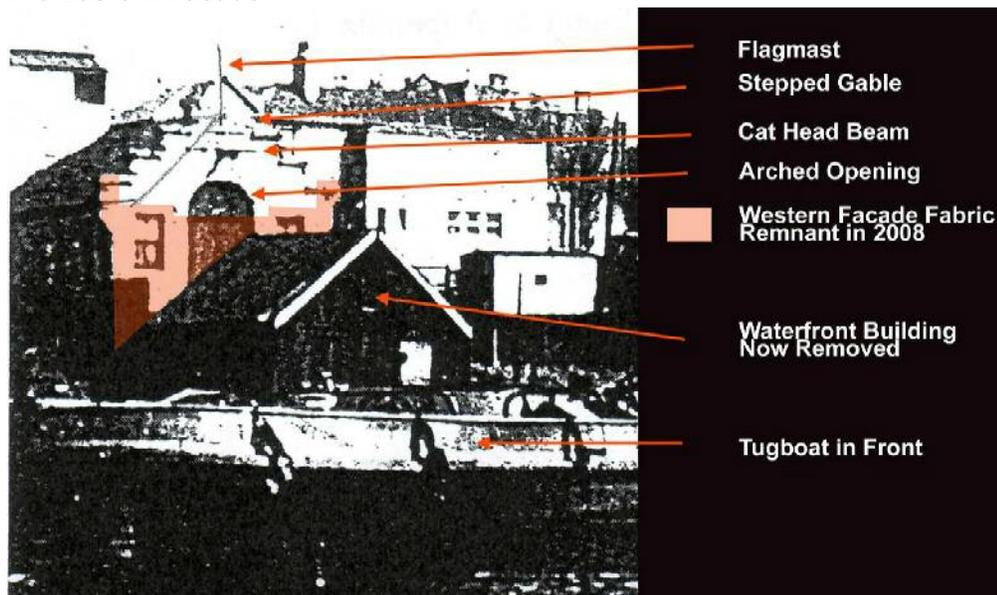


Figure 32 Annotated detail of Figure 5. Interpreted from physical evidence (refer Section 5.3). Annotated NBRSPartners (WDW), 2008.

Recommendation 39 The eastern façade and roof should be reconstructed to its pre-1963 form based on documentary and physical evidence and should include:

- Removal of concrete beam and small unit masonry of parapet; and
- Reconstruction of stepped gable, arched opening, cat head beam and flag mast.

Recommendation 40 The stone used in the 1963 retaining ramps should be reused on site where possible.

Recommendation 41 The variation in rock-faced and coursed ashlar stonework evident in the remnant façade should be continued in the detailing of the reconstructed arched opening and stepped parapet gable so as to match as closely as possible existing work. The reconstruction of the gable should be explained in interpretive media adjacent to the structure.

6.13 The Northern Facade

Recommendation 42 The northern façade should generally be retained in its existing configuration without new structures directly in front of it.

6.14 The Western and Southern Walls

Recommendation 43 The fill adjacent to the southern and western walls, including the ramp, should be removed, the condition of the revealed walls investigated and conserved by means which may include installing air drains and poulticing and desalinating the stonework.

Recommendation 44 The western and southern sides of the southern and western walls may be further excavated beyond the fill indicated in the preceding policy if it can be shown that physical conservation of the walls will benefit from such an intervention and that the intervention allows addition of auxiliary accommodation to the building which make its long term adaptive reuse viable.

Recommendation 45 The door in the southern wall at first floor height may be retained if useful or may be built up as long as the character of the stonework matches adjacent rubblework.

Recommendation 46 The windows in the western wall at first floor height may be retained as windows or may be altered to become doors of the same width if the adjacent ground levels are lowered.

Recommendation 47 The western and southern walls have the greatest potential for change out of the four walls of the building and, in principle, new openings may be made as long as on the first floor new openings echo the windows on the northern wall and on the ground floor sympathetic openings may be considered on the merits of proposed designs but need not necessarily echo those of the northern wall.

6.15 Interior

An investigation of contamination at the site prepared by Sinclair Knight Merz (SKM) indicated the presence of the heavy metal mercury in cores taken beneath the concrete slab. The concrete slab is not original, is visually intrusive and is exacerbating problems of damp within the building.

Recommendation 48 The concrete slab of the ground floor should be removed, the condition of the underlying substrate investigated more fully and the foundations remediated in accordance with the contamination report. If the underlying finishes are original, serviceable and can be remediated of unacceptable levels of toxic substances it should be retained in situ. If this is not possible, a new floor which is permeable to air and moisture such as sandstone flags or bricks laid on a loose bed of sand or similar should be put in place.

Recommendation 49 An air drain should be installed behind the southern and western walls below the level of the ground floor as a minimum and care taken to direct water away from the building.

Recommendation 50 The interior spaces of the first and ground floors should be retained as open spaces with no long term partitions above 1350mm above floor level.

Recommendation 51 The interior walls should be retained as exposed rubblework which may be painted with permeable paints where painted before.

Recommendation 52 The interior stair may be removed and the interior adapted with a new compliant stair of similar material and open quality as far as is consistent with current building codes.

Recommendation 53 The lightweight partitions and cabinet on the first floor may be removed following recording if part of a compatible use.

Recommendation 54 The sound original timber members of the floor, posts, attached fittings and roof tie beams should be retained and repaired. Lost members of the floor should be replaced with matching materials. More recent props and glu-lam members should be removed. The structure as a whole should be discreetly reinforced to make safe for use and the structure should remain exposed to view.

Recommendation 55 High level lighting of the first floor interiors may be achieved by glazing the arch to the eastern façade once reconstructed, adapting the openings on the western wall and by glazing vent of the western gable once reconstructed.

6.16 The Roof

Recommendation 56 The roof should be reconstructed to its original form which was parapeted at the eastern end and half-hipped (aka Dutch gabled) at its western end. The roof framing should be

drawn from physical evidence found in the tie beams currently in place and should be clad in slate or short-sheeted galvanised corrugated steel sheets (the choice should be informed by maintenance and will depend on archaeological evidence of slate which may be found in fill removed from areas adjacent to the building.) The western gable vent may be designed to allow high level light into the first floor. Rainwater-goods should also be reconstructed using traditional materials. The roof system should include insulation but internally should be lined with a material which appears to be that of the roof cladding or is similarly robust such as ripple-iron.

6.17 Excavation, Disturbance & Unforeseen Discovery

Recommendation 57 The recommendations of Cosmos Archaeology Pty Ltd's Historical Archaeological Conservation Management Plan should be followed to ensure that risks arising from excavation, disturbance and unforeseen discovery at the site are mitigated.

7.0 IMPLEMENTATION PLAN

7.1 Performance Review & Monitoring

Recommendations will be implemented in three stages which are set out in the following projects:

- The seawall reconstruction project (complete);
- The landscape development project (within 2 years);
- The adaptive reuse of Fenwick's Stone Building (within 4 years).

Several recommendations require ongoing implementation.

The implementation of the recommendations and the heritage management performance should be reviewed annually.

7.2 Review Process

This conservation management plan should be reviewed before December 2013 or earlier if the need arises. The review should include consideration of the performance reviews and monitoring set out in section 7.1.

8.0 APPENDICES

8.1 APPENDIX - Schedule of Movable Heritage

The following list includes 'fabric' at the place which has been removed from its original location or is otherwise movable but is held at the place:

<i>Item</i>	<i>Original Location</i>	<i>Current Location</i>
• Martin's-type Anchor	Unearthed in situ	Stored on-site
• Tug 'winch'	On a tug boat	Ground floor interior

The records of the Fenwick companies are 'related objects' - that is objects that contribute to the 'cultural significance' of *place* but are not held at the place. The minute books of the Municipality of Balmain held with the State Archives are also records which are related objects among others held elsewhere.

8.2 APPENDIX - Schedule of Conservation Works

The following works are required in the short to medium term in order to protect and 'conserve' the 'fabric' of the 'place':

- Termite treatment and monitoring system.
- Repair timber floor and replace rotten flooring, joists and other members.
- Strengthen existing timber floor on first floor.
- Provide new timber stair.
- Repair existing windows and doors.
- Remove stone retaining wall to ramp against southern wall and recover original levels of earth against western wall or lower as proposed by Northrop Engineers.
- Remove concrete slab to ground floor interior, remediate and refinish.
- Provide new external air drain to walls.
- Treat walls to remove salts and organic material.
- Repair and repoint stone walls.
- Repair/replace slate dampcourse.

The following works are desirable when resources allow in order to recover and enhance the 'cultural significance' of the 'place':

- Reconstruct stepped stone gable to eastern façade.
- Reconstruct gable and gambrel roof with timber framing and short-sheeted galvanised steel sheet or slates.
- Provide new gutters, downpipes and drainage system.

Date	Minute Clause or Paragraph Number	Folio/Sheet Number	Extract
17 August 0	173	82	L ls g st (1) u u su t N (M) t u b i s u t p w s g ng s g u g g hur ; d up nag s u s n put ss (2) ur su da P n cou s h s gt s s f g : s P ng n ful d un w s b Cou ;(3) P n subm d u e W s s u sto t t u a i s g s u nd s st s u w s s d s ues put d ass
24 August	183/2	87	g s ug up R P g em M ue 3 s ng s d a t p s of s o s s ts; s te e cos gt w sou i u g ng d gut g s s R t
12 O	256	120	Wal g u ;T i ot C of W s - s t p oft s f t f gS r sot s u o t s - as n d f hs dur f t b s s u s ut d pass
O	2 2	23	W - Cou Rou as C o

Date	Minute	Clause or Paragraph Number	Folio/Sheet Number	Extract
				ks ug up on t C 's s s pursua M 25 d up ap of t s m R s s d os o t O s t D s
19 O	2	2	2	R on S W -Cou R u as e W s s pu su R s ut n M 25 s t s r tot s ng u s ut s u d and su n ud d s s d n; o t bu l f t s ud ut ng ur ; u unc Bu t ; u s e u e s s w b at ss of s ns f as s ues n ut pass
19 O	2	2	2	P m W - u R s s a sg n L s d W s ng u ju b t f gi g 's dg h has of a o as b si ; ng ou w b s t us s su t p t s t s w gf h P e ee W s.
23 O	271	126		sio W g R C 's l d 2 st qu st g ss n nd as g t s et s ag
	2	35	J	g et F - Re m

Date	Minute Clause or Paragraph Number	Folio/Sheet Number	Extract
N			f Publ s d s ,s g i r i (s c) t t ou 's p os f gt s j t st g t e mus r o w s s ur un s gs n su j g s
3	3		P os j D g F -() T an up n a B ug n G ur g s s ss of t C P "F R gul ng A n L nds" d u a s s sp g W F g s, su se e M s Publ s d u son d n su cas s as s d f ng J (2) w u C u P m ; T s l f D of Pu c W s a s al t u t s t u s n u pass
17	323		g J -R s d i s t f Pu W s w p os j f g F u su Mi 3
17	326		P M s B ll an s d M s Be g t s g s b g ju b s g w e c; a qu s p ss tof ar f ng P e W s s u t sum s u b 4 o t g O s
J u	33	55	Pu J Re

Date	Minute Clause or Paragraph Number	Folio/Sheet Number	Extract
			Publ W s u M 3 r s g a j t ng s g subj ng f u s Ri s s s j
2 Janu	3		g J -R 's ot of Pu W sd 1 s ,a g gr hsl u w r e s of g tj
22 A	463	207	J g () u s u su t N (M 52) t e su £ b p t ds os t o W s, f t s u j a e s e o D gS (2) u R ds das sum £ s u ut sum £5 su s tu A t ut O g u g
30	5 5	2 3	gS Je e c-C u E s u su t n of 23 ; a unc ur s s ng s ng su £ a t t su of £5 d s g nd g t t s g s u aj Qu s pu a p ss C t Cou a g P s u u s Be Bu s M
28 O	5	2	gS Je -S t sf s ng f gs as ns u faj ng s i s s t t R S s t t su o hu unds sh gs
Item 3			
Ju		3	ou u pu su t n m ;

Date	Minute Clause or Paragraph Number	Folio/Sheet Number	Extract
2			i a w t r o s t e2 u Wes ng ass t t P F Qu s u a ass
29		52	n s da sg s s ng as W d ng d as ng P r a t m o ou u r to C W s s n
13 O 2		58	No s M ...B u s; n sg d s s W g d f g b b a t a a cos ng f s ur
13 Ju 3	356		A sig se s f as n ng P d ot C W s f t s a r
2 N 3	459	152	W g u R sa u su t n m ;t C W s b r qu s t b gu ar as ot cos co g d nd g u s pu
3	5	5	of W s oug u a ... s sub ng d g a fu s d g s n a lu . R
3	1	59	sh g s se D g S w se R s t s b a t C u C s s s uc ubl s d ng n s

Date	Minute	Clause or Paragraph Number	Folio/Sheet Number	Extract
28				u R sa s sig 2 s as W d n 3 s(a t a g t t pu cg)a g ng ; d s sub d ngs f s d
25 Janu	5	2		of W s oug u ar s ng s su eF e us ou sf £ 5 s2 ; r t sr t t co s of Du S a f sa e D gS ,t u fu s of s s f b u u R t
Item 4				
3 Ju	52		19	u w cou t t d g us s o t jun W s n and ng R e W s
28 O				M s pu su t n s...(2) b Cou W ug ; t g et n as n un M ...a 'sp a S b h a s g f Put
25	2	5		e s g A n J s u g l ou Pu a
Item 5				
M	1	3	us N 2 22	W r s o t s w o g s t gS W t

Date	Minute	Clause or Paragraph Number	Folio/Sheet Number	Extract
M	3	3	3	(W s) t f " 3". By Al ge: e t s o W s S ts ju P u ts W S u C t t Mu s u t e t s M P 's s e Reg s G 's Of
20 M 3	3			B A dg : " n t s o W s S ts ju P u ts W S u C t t Mu s u t e t s M P 's s e Reg s G 's O " A an M ss nd
20 M 3		us N 4	42	W sp st g s t g S W t (W s) t f " 3" M a s b A L P A n dg e s s cu s S A an M ss A an e e u g A ds
20 M 3	2		3	L ad Pu W s 12 st qu st g u il s on a of on W s S o ast w s uld M d A M s d Al M ss e e d n s M . .

Date	Minute Clause or Paragraph Number	Folio/Sheet Number	Extract
17 Ju 3	5	55	<p>su tor su of O r Pu W s ve g Wes e u s e s u g h m M D (R u) s a u t a w f e of t s t s s ng s s s t e su s u ag d sugg s s o p s f s s a M Be tt d M ul and M B s ns h su t u su h ss M B d d s s s d M d s du r gi hsr h s a u t ast j s ss as s upo ur £ g n G M Be tt as n s s d as s d ug un f f Publ W s as g d an t ts u s e t s C u ast s u b f f M d A an s A ur ss s uld put ng</p>
17 Ju 3	us No 6	5	<p>ol u t s sa es es e g s z Br ge oss R s S m g M s d g ng W (s g)</p>
Jul 3			<p>s n ng ng W f as ns s d A n dg d</p>

Date	Minute	Clause or Paragraph Number	Folio/Sheet Number	Extract
				t i i u f gvz t a e l f W to ss u Al Al ds s h s g aus N s gt " 3" b su s u 6 3
29 Ju 3	5		5	B A dg : " ng u 's g W s et st W a u s soft t M H g su t w o W s 's and ns uc d su s d ur s s un h "A n g s d M n as t s f su of £3 3 a t ou w ag wou s ds "& su £3 3.0 is ." It s se A an d s un us ag d
A il	5		2	W s t ut W s t t Wes s s n P ul M Lou s (?) hous b a gu 3 s gu s d oug M Lou sl su j t s a cons
	2		2	By Al L Wes e a gu o t e s s w a 2 s gu f P u S o g so t gu i P u S b r w qu A an P d
5 M 1	5		2 2	W r s o a ou W s S (of W s)t t t gu s s P u S a t e o M Lou s us b 3 s gu d s ough M L u s subj t h s a s M a s A ut

Date	Minute	Clause or Paragraph Number	Folio/Sheet Number	Extract
15 Ju			291	<p>t t s 3 s</p> <p>P 3 s s st</p> <p>s gt Cou us s s b e</p> <p>fP s n ng W s n</p> <p>s ast a a w ofg gt</p> <p>d ng W M</p> <p>A anP s A n</p> <p>L t</p> <p>e W s</p>
28 Ju	5		325	<p>W s t ut W s t</p> <p>(of W s)t</p> <p>t t gu s s</p> <p>P u S a t e o M Lou s</p> <p>us b 3s gu d</p> <p>s ough M L u s subj</p> <p>t hs a s L f</p> <p>M Lou of 8 s s n d</p> <p>sig g s g ss se</p> <p>p os p t w s s</p> <p>s n l g sp n t i ju t</p> <p>ng h fu u</p> <p>se ca l d scuss s</p> <p>d A L s</p> <p>A an ag</p> <p>e W s</p>
			33	<p>W s S b u P u</p> <p>t P s S a roug s</p> <p>gu b l t s s a p sl</p> <p>oug M Lou sl i w s</p> <p>ss n s s ps</p> <p>P s S t co p s</p> <p>qu s f s M s b</p> <p>A nP n M ss</p> <p>us</p>
25 August			33	<p>un s G pu</p> <p>W s t ss es</p> <p>s ng g</p> <p>Al Ba es j</p> <p>g t us s i oug t b</p> <p>ug as g ag d</p>

Date	Minute Clause or Paragraph Number	Folio/Sheet Number	Extract
22		3 3	t m of A H s A Ba es us sot " " b su s u f "pu" " ass s of " b s u ou C L ad fPu W s 7 s t s gW s t R Gl s a gt t sb n m t G ad nqu s M d A nds A nP t e
22	2	3	B Al " e u e s u G W A J B Esqu MLAr qu s gt oa w a u f t s ou i gu t M s W soro of f t u s of u g gu G t ss g a w s t t g W s S Su C to ss t M A B sT u B " S b A M d
3 N	3	3 3	M esu ut n M s Publ W s Fr 23 O r s gW s ds M s sun s us s s bu us t h t M h ou a s ng s sul d n ques s a an s f s s u M s ques sin
14 5	2	5	L ad M R fPu W s 3 i s r gt l m g of u t M s W s t su j r s W s S a so b g B to G P a gt u t od s cou b

Date	Minute Clause or Paragraph Number	Folio/Sheet Number	Extract
			<p>d s ques un</p> <p>P as ng</p> <p>m f b g s P R</p> <p>M s Al M ss</p> <p>e e</p>
A il		5	<p>L ad Pu W s</p> <p>M g Cou t</p> <p>ut s Wes t u</p> <p>unt u f£</p> <p>s ss n</p> <p>M d A ul z s d</p> <p>A G e e</p>

8.4 APPENDIX - Supplementary Historic Maps

For more detail of historic maps and interpretation refer to Cosmos Archaeology Pty Ltd's Historic Archaeological Conservation Management Plan.

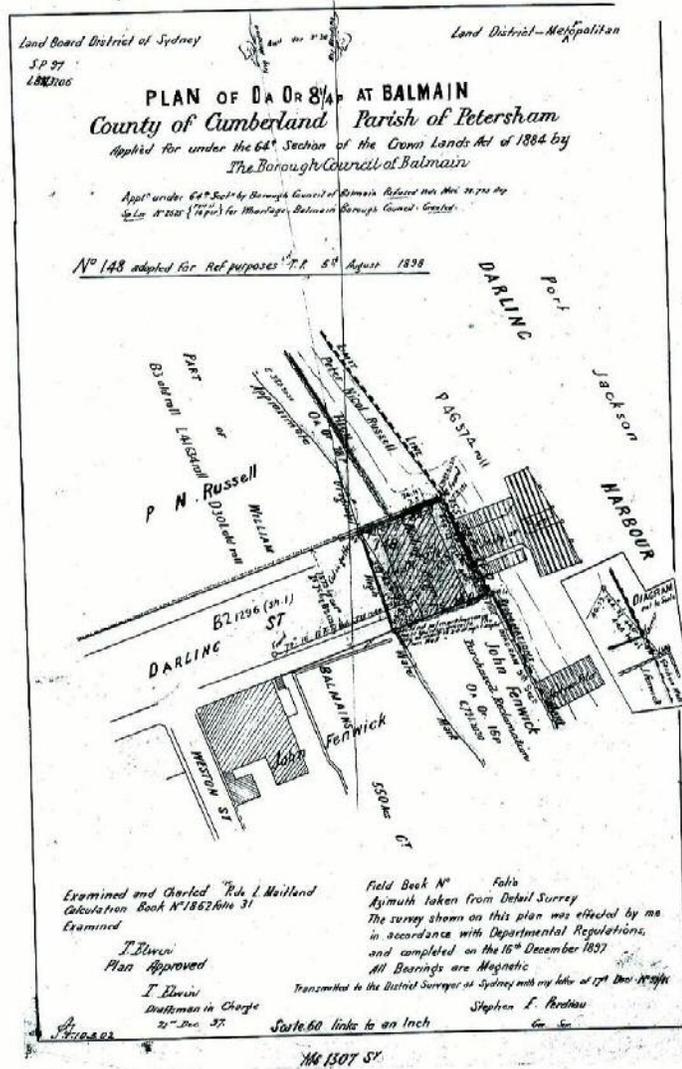


Figure 33 NSW Maritime Miscellaneous 1307 Sydney. Dated 22 December 1897.

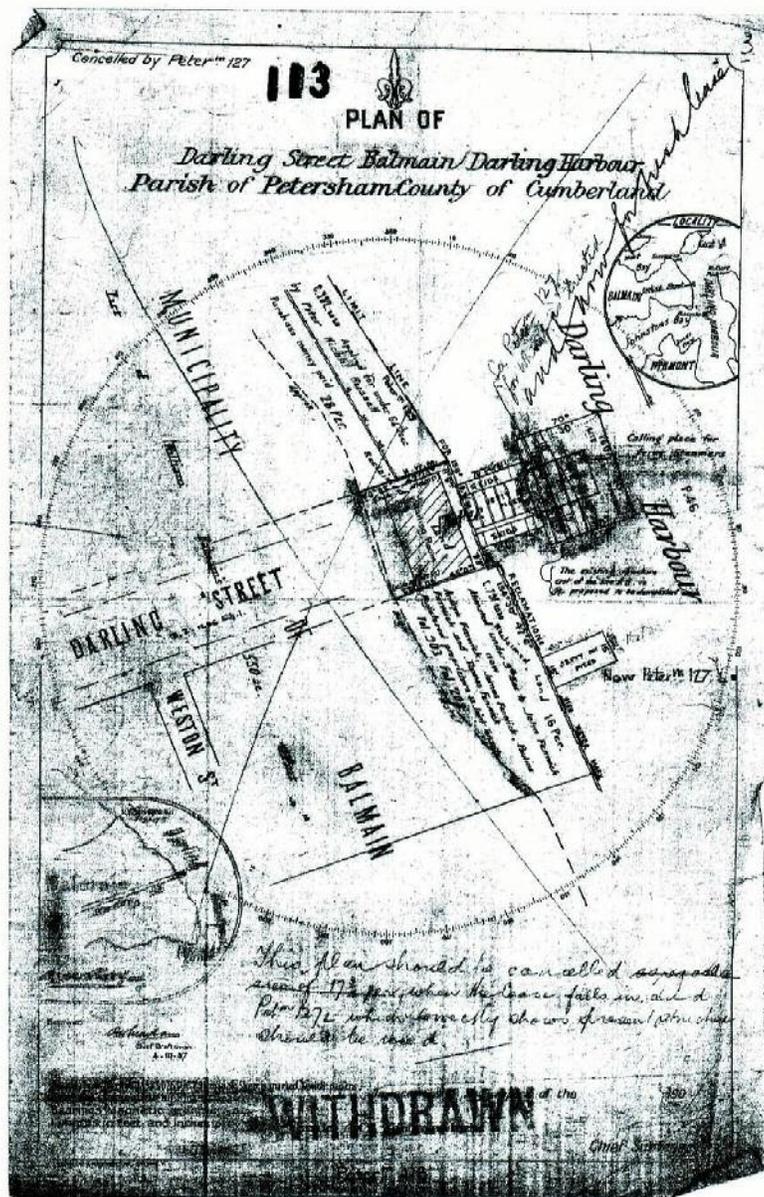


Figure 34 NSW Maritime Petersham 113. Dated 4 October 1907.

shown to show only the area titled and herein. The plan is to be regarded as illustrative of the locality.



PLAN OF
 at Darling Harbour - near Darling Street, Balmain.
Parish of Petersham County of Cumberland
 Scale 40 feet to an inch

forms part of the area vested in the Maritime Services Board
 by Order of the Maritime Services Act 1906, and is part of
 comprised in Certificate of Title Vol. 5018 Folio 15.

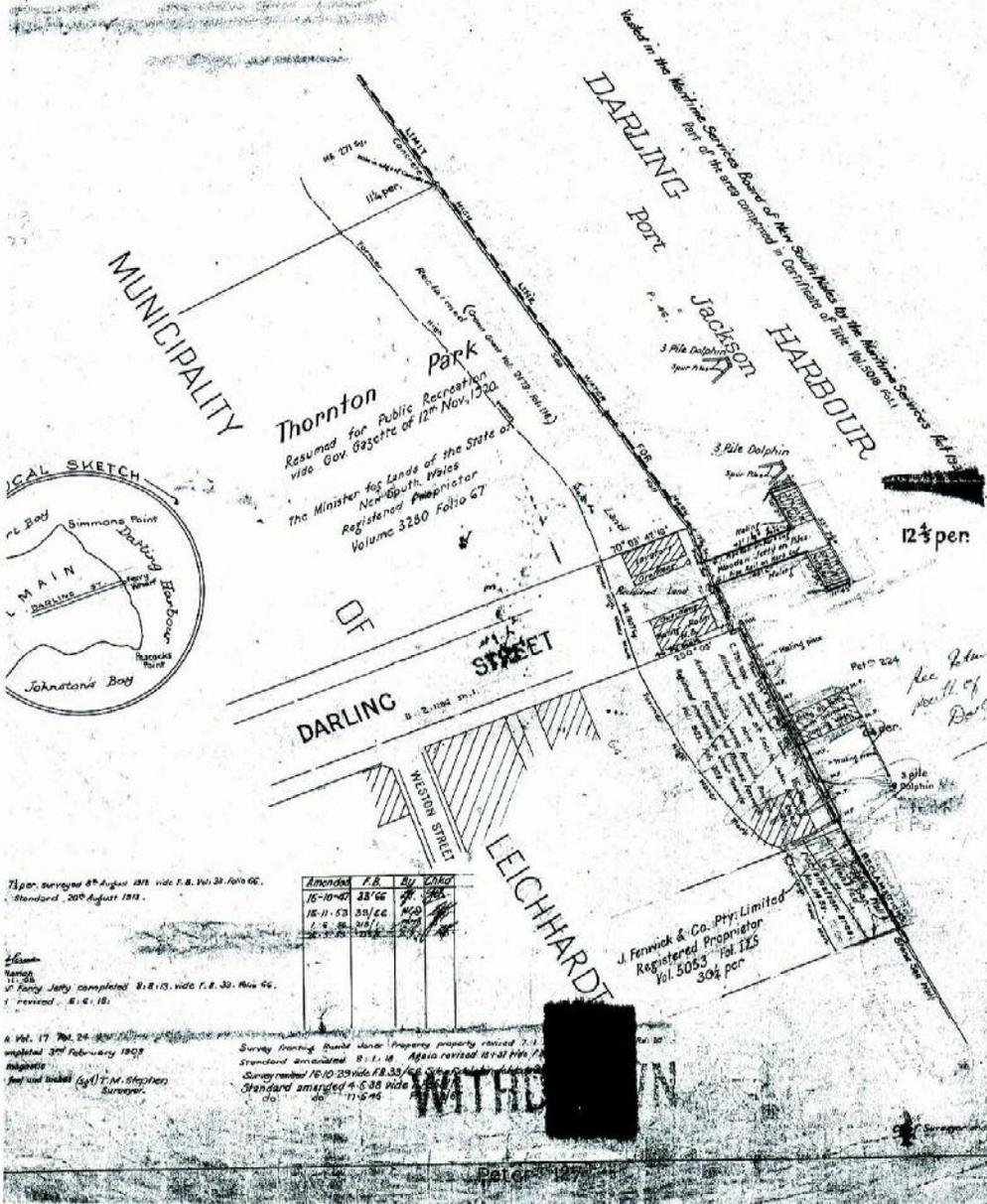


Figure 35 Detail of Map. NSW Maritime Petersham. Amended to 15 October 1947 to 26 May 1959.

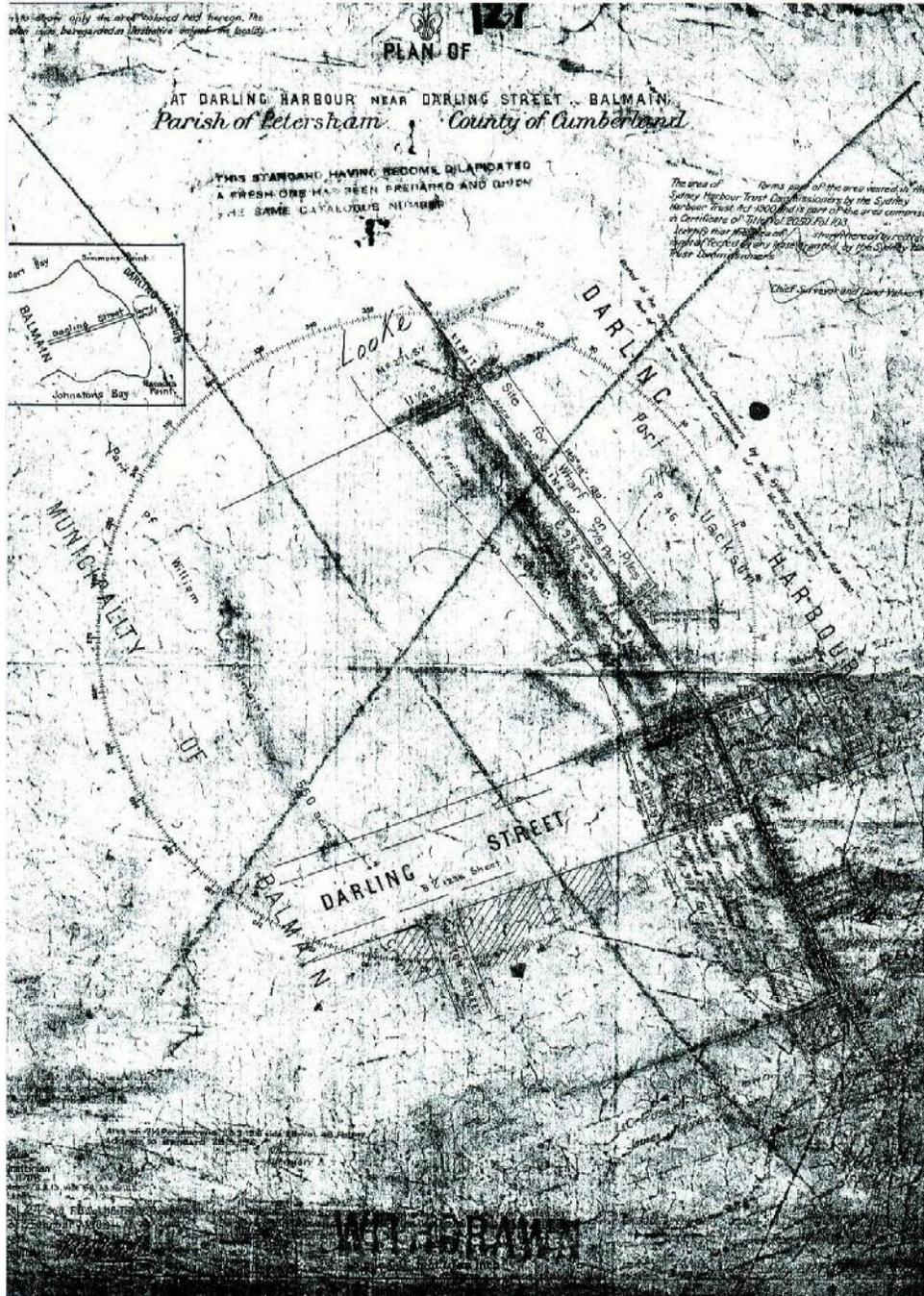


Figure 37 Detail of Map. NSW Maritime Petersham 127. Amended 15 October 1947 to 8 October 1986.