



INNER WEST COUNCIL

DEVELOPMENT ASSESSMENT REPORT

Application No.	D/2016/434
Address	337 Darling Street, BALMAIN NSW 2041
Proposal	Alterations and additions to class 4 dwelling on first floor. Fit out of retail premises for new salt float tank shop on ground and lower ground. Minor alterations to existing car park on lower ground. Hours of operation: Monday to Sunday 8am to 10pm.
Date of Lodgement	31 August 2016
Applicant	T W Mauro
Owner	Mr M G Poletti
Number of Submissions	One (1) in opposition
Value of works	\$925,000.00
Reason for determination at Planning Panel	Clause 4.6 variation exceeds officer delegation.
Main Issues	Heritage Conservation FSR breach Hours of Operation Amenity protection Stormwater
Recommendation	Approval – Deferred Commencement



LOCALITY MAP

Subject Site		Objectors		↑ N
Notified Area		Supporters		

1. Executive Summary

This report is an assessment of the application submitted to Council for alterations and additions to class 4 dwelling on first floor, fit out of retail premises for new salt float tank shop on ground and lower ground, minor alterations to existing car park on lower ground. Proposed hours of operation: Monday to Sunday 8am to 10pm at 337 Darling Street, BALMAIN NSW 2041. The application was notified to surrounding properties and one submission was received.

The main issues that have arisen from the application include:

- Heritage Conservation
- Excavation
- Hours of Operation
- Easement for stormwater drainage
- Amenity protection

The non-compliances are acceptable subject to conditions and therefore the application is recommended for deferred commencement approval.

2. Proposal

This application seeks consent for the following works at 337 Darling Street, Balmain:

- Change of use for a salt tank bath, consisting of 5 salt baths and sunroom with terrace.
- Hours of operation 8am till 10pm 7 days a week
- Excavation of existing subfloor to create basement retail area and store off the existing parking garage
- New external shop front
- Alterations and addition to the existing class 4 residential premises with new external terrace

The application was subject to a PREDA meeting for concept design, before being formally lodged. The application was required to be amended to satisfy engineering and heritage requirements in relation to the excavation of subfloor area, parking (manoeuvrability) and lowering of the floor level off Darling Street. The amended plans form the basis of the assessment below.

NB: The applicant agreed to Council's suggestion for a deferred commencement recommendation for the creation of a drainage easement from the property to the existing ROW.

3. Site Description

The subject site is located on the Western side of Darling Street, between Phillip and Short Street. The site consists of 1 allotment and is generally rectangular in shape with a dog leg kink to the East. The site has a total area of 156 m² and is legally described as Lot C DP 447498.

The site has a frontage to Darling Street of 5.03m metres. The site is benefited by an easement, 3m wide right of way, enabling rear vehicular access to Philip Street.

The site supports a double storey shop top building that has been modified to accommodate additional commercial and living space with rear access for parking and sub floor storage.

The adjoining properties support a similar scale off Darling Street. To the West of the subject site is a mix of single and double storey attached and detached residential dwellings.

The property is located within a heritage conservation area.

4. Background

4(a) Site history

The following application outlines the relevant development history of the subject site and any relevant applications on surrounding properties.

Subject Site

Application	Proposal	Decision & Date
DA/110/1993	Additions to shop and residence	26/5/1993
PREDA/2013/181	Extension of first floor living area and terrace	Advice issued 9/1/2014
PREDA/2016/34	Alterations to the existing shop front, including new business identification signage and internal fit-out of the ground floor of the existing building as a bank.	Withdrawn 7/3/2016
PREDA/2016/92	Alterations to existing shopfront, internal alterations and use as health spa. Alterations and additions to existing dwelling	Advice issued 28/6/2016

Surrounding properties

339 Darling Street Balmain

Application	Proposal	Decision & Date
D/2010/63	New shopfront to existing building.	Approved 6/5/2010

335 Darling Street

Application	Proposal	Decision & Date
DA/403/1996	Alterations & Additions to shop/Residence	Approved 22/11/1996
D/2010/299	New shop front and signage to existing building for retail use.	Approved 10/8/2010

4(b) Application history

The following table outlines the relevant history of the subject application.

Date	Discussion / Letter/ Additional Information
24 October 2016	Request for further information to address, drainage easement, heritage conservation in relation the lowering of the F.F.L and materials of shop front facing Darling Street and excavation of subfloor area to the boundary of Darling Street and head room clearance to the garage.
25 October 2016	Written response from applicant provided.
31 October 2016	Amended plans submitted
10 November 2016	Internal referral
11 November 2016	Correspondence between applicant in regards to wording to obtain easement for drainage from the site to the ROW
15 November 2016	Consent in principal document from the owner of 341 Darling street

	in agreement for drainage easement from 337 to ROW
8 December 2016	Notification of application Class 1 appeal

5. Assessment

The following is a summary of the assessment of the application in accordance with Section 79C of the Environmental Planning and Assessment Act 1979.

5(a) Environmental Planning Instruments

The application has been assessed against the relevant Environmental Planning Instruments listed below:

- State Environmental Planning Policy No 55—Remediation of Land
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004
- Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

The following provides further discussion of the relevant issues:

5(a)(i) State Environmental Planning Policy No 55—Remediation of Land—

State Environmental Planning Policy No. 55 - Remediation of Land (SEPP 55) provides planning guidelines for remediation of contaminated land. LDCP 2013 provides controls and guidelines for remediation works. SEPP 55 requires that remediation works must be carried out in accordance with a Remediation Action Plan (RAP) as approved by the consent authority and any guidelines enforced under the Contaminated Land Management Act 1997.

The site has not been used in the past for activities which could have potentially contaminated the site. It is considered that the site will not require remediation in accordance with SEPP 55.

5(a)(ii) State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX Certificate was submitted with the application.

5(a)(iii) Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

An assessment has been made of the matters set out in Clause 20 of the Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005. It is considered that the carrying out of the proposed development is generally consistent with the objectives of the Plan and would not have an adverse effect on environmental heritage, the visual environmental, the natural environment and open space and recreation facilities.

5(a)(iv) Leichhardt Local Environment Plan 2013 (LLEP 2013)

The application was assessed against the following relevant clauses of the Leichhardt Local Environmental Plan 2013:

- Clause 1.2 – Aims of the Plan
- Clause 2.3 – Zone objectives and Land Use Table
- Clause 2.7 – Demolition Requires Development Consent
- Clause 4.4 – Floor Space Ratio
- Clause 4.4A – Floor Space Incentives for active street frontages
- Clause 4.6 – Exceptions to development standards
- Clause 5.10 – Heritage Conservation

- Clause 6.1 – Acid Sulphate Soils
- Clause 6.2 – Earthworks
- Clause 6.4 – Stormwater management

The following table provides an assessment of the application against the development standards:

Standard (maximum)	Proposal	% of non compliance	Compliances
Floor Space Ratio Required: The site benefits from FSR of 1.5:1 under Clause 4.4A of LLEP2013	2.04:1 318.67m ²	35.92% or 84.22m ²	No

NB the current building exceeds the FSR by 19.72% being 1.8:1 (280.68m²)

The following provides further discussion of the relevant issues:

Clause 4.6 Exceptions to Development Standards

As outlined in table above, the proposal results in a breach of the following development standard/s:

- Clause 4.4 – Floor Space Ratio

Clause 4.6(2) specifies that Development consent may be granted for development even though the development would contravene a development standard.

1. *The objectives of this clause are as follows:*
 - (a) *to provide an appropriate degree of flexibility in applying certain development standards to particular development,*
 - (b) *to achieve better outcomes for and from development by allowing flexibility in particular circumstances.*
2. *Development consent may be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument.*

The applicant seeks development consent for Alterations and additions to class 4 dwelling on first floor. Fit out of retail premises for new salt float tank shop on ground and lower ground. Minor alterations to existing car park on lower ground. Hours of operation: Monday to Sunday 8am to 10pm that necessitates variation of:

- a. 35.92% or 84.22m² to the development standard pursuant to Clause 4.4 – Floor Space Ratio for mixed use development in Zone B2.
3. *Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:*
 - (a) *that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and*
 - (b) *that there are sufficient environmental planning grounds to justify contravening the development standard.*

Written requests have been submitted by the applicant raising the following key issues seeking to justify the contravention of the standards:

Clause 4.4 – Floor Space Ratio

- The proposed development does not result in any significant loss of amenity, privacy or sunlight for any neighbouring property
 - The FSR controls are inconsistently applied in this area and are impractical of sites of this size and proportion, Neighbouring developments have similar site coverage, bulk and scale which would indicate they well exceed the floor space ratio controls. The proposed development would be consistent with density of the general surrounds.
 - The existing FSR already exceeds the controls due to the three storey nature of the building. The new proposal aims to improve the amenity and configuration of the retail and apartment and bring the building up to current codes and regulations.
 - The existing class 4 dwelling does not have the appropriate amenities separate to the retail (i.e. Kitchen and laundry facilities)/ providing modern amenity requirements for a typical 2 bedroom apartment, required additional floor space over the existing building foot print. The first floor setback is consistent with adjacent dwellings.
- (4) *Development consent must not be granted for development that contravenes a development standard unless:*
- (a) *the consent authority is satisfied that:*
- (i) *the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and*
 - (ii) *the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and*
- (b) *the concurrence of the Secretary has been obtained.*

Comment: The applicant has addressed the matters required under Clause 4.6 Exceptions to development standards, and it is considered to be well founded in this instance. The proposal will not result in a detrimental impact on the public interest and can satisfy the objectives of the development standards.

The level of non-compliance does not exceed the assumed concurrence issued by the Secretary in this instance.

- (5) *In deciding whether to grant concurrence, the Secretary must consider:*
- (a) *whether contravention of the development standard raises any matter of significance for State or regional environmental planning, and*

The granting of concurrence to the proposed variation of the development standard will not raise any issues of state or regional planning significance.

- (b) *the public benefit of maintaining the development standard, and*

The proposed variation to the development standards will not compromise the long term strategic outcomes of the planning controls, subject to conditions, to the extent that a negative public benefit will result. In this regard, there is no material public benefit to the enforcing of the development standards.

- (c) *any other matters required to be taken into consideration by the Secretary before granting concurrence.*

No other matters are required to be considered before granting concurrence.

5(b) Draft Environmental Planning Instruments

The application has been assessed against the relevant Draft Environmental Planning Instruments listed below:

- Draft Leichhardt Local Environment Plan 2013 (Housekeeping amendment)

The following provides further discussion of the relevant issues:

Draft Leichhardt Local Environment Plan 2013 (Housekeeping amendment)

The Draft Leichhardt Local Environment Plan 2013 – (Housekeeping amendment) commenced exhibition on 1 September 2015 and is therefore a matter for consideration under Section 79C of the Environmental Planning and Assessment Act 1979.

The items included in the draft LEP Housekeeping Amendment are:

- i. Amendment of Clause 6.8 (Development in areas subject to aircraft noise) to allow Council to exercise greater discretion in relation to noise attenuation for particular developments.
- ii. Amendment to the Land Use Table for the RE1 Public Recreation zone to allow restaurants and cafes as permissible with consent.
- iii. Amendment of Schedule 1 Additional Permitted Uses to include 44-46 Smith Street, Rozelle (Lots 1 & 2 DP 782330, Lot 1 DP 782348 & Lot 1 DP 228261).
- iv. Amendment to the Heritage Map Sheet 007 to correctly identify the location of State listed Balmain Hospital Main Building (Heritage Item No. I138) within the Balmain Hospital Complex (Lot 11 DP 1006912 & Lot 1 DP 1012848).
- v. Rezone portions of 77 Taylor Street and 148 Wigram Road, Annandale (Part Lot 1 DP 1185598 and Lot 2 DP 1185598) from R1 General Residential to RE1 Public Recreation and associated mapping amendments.
- vi. Rezone part of Leichhardt Park (part of Lot 6643 DP 1137663) that is adjacent to the western boundary of 9 Bayview Street, Lilyfield from R1 General Residential to RE1 Public Recreation and associated mapping amendments.

The application satisfies the provisions of the above Draft Leichhardt Local Environment Plan 2013 (Housekeeping amendment).

5(c) Development Control Plans

The application has been assessed and the following provides a summary of the relevant provisions of Leichhardt Development Control Plan 2013.

Part	Compliance
Part A: Introductions	
Section 3 – Notification of Applications	Yes
Part B: Connections	
B1.1 Connections – Objectives	Yes
B2.1 Planning for Active Living	N/A
B3.1 Social Impact Assessment	N/A
B3.2 Events and Activities in the Public Domain (Special Events)	N/A
Part C	
C1.0 General Provisions	
C1.1 Site and Context Analysis	Yes
C1.2 Demolition	Yes

C1.3 Alterations and additions	Yes
C1.4 Heritage Conservation Areas and Heritage Items	Yes
C1.5 Corner Sites	N/A
C1.6 Subdivision	N/A
C1.7 Site Facilities	Yes
C1.8 Contamination	Yes
C1.9 Safety by Design	Yes
C1.10 Equity of Access and Mobility	Yes
C1.11 Parking	Yes
C1.12 Landscaping	N/A
C1.13 Open Space Design Within the Public Domain	N/A
C1.14 Tree Management	N/A
C1.15 Signs and Outdoor Advertising	N/A
C1.16 Structures in or over the Public Domain: Balconies, Verandahs and Awnings	N/A
C1.17 Minor Architectural Details	N/A
C1.18 Laneways	N/A
C1.19 Rock Faces, Rocky Outcrops, Cliff Faces, Steep Slopes and Rock Walls	N/A
C1.20 Foreshore Land	N/A
C1.21 Green Roofs and Green Living Walls	N/A
Part C: Place – Section 2 Urban Character	
Suburb Profile	
C2.2.2.1 -, The Darling Street Distinctive Neighbourhood Balmain	Yes
Part C: Place – Section 3 – Residential Provisions	
C3.1 Residential General Provisions	Yes
C3.2 Site Layout and Building Design	Yes
C3.3 Elevation and Materials	Yes
C3.4 Dormer Windows	N/A
C3.5 Front Gardens and Dwelling Entries	N/A
C3.6 Fences	N/A
C3.7 Environmental Performance	Yes
C3.8 Private Open Space	Yes
C3.9 Solar Access	Yes
C3.10 Views	Yes
C3.11 Visual Privacy	Yes
C3.12 Acoustic Privacy	Yes
C3.13 Conversion of Existing Non-Residential Buildings	N/A
C3.14 Adaptable Housing	N/A
Part C: Place – Section 4 – Non-Residential Provisions	
C4.1 Objectives for Non-Residential Zones	Yes
C4.2 Site Layout and Building Design	Yes
C4.3 Ecologically Sustainable Development	Yes
C4.4 Elevation and Materials	Yes
C4.5 Interface Amenity	Yes
C4.6 Shopfronts	Yes
C4.7 Bulky Goods Premises	N/A
C4.8 Child Care Centres	N/A
C4.9 Home Based Business	N/A
C4.10 Industrial Development	N/A
C4.11 Licensed Premises and Small Bars	N/A
C4.12 B7 Business Park Zone	N/A

C4.13 Markets	N/A
C4.14 Medical Centres	N/A
C4.15 Mixed Use	Yes
C4.16 Recreational Facility	N/A
C4.17 Sex Services Premises	N/A
C4.18 Vehicle Sales or Hire Premises And Service Stations	N/A
C4.19 Vehicle Repair Station	N/A
C4.20 Outdoor Dining Areas	N/A
C4.21 Creative Industries	N/A
Part D: Energy	
Section 1 – Energy Management	
Section 2 – Resource Recovery and Waste Management	
D2.1 General Requirements	Yes
D2.2 Demolition and Construction of All Development	Yes
D2.3 Residential Development	Yes
D2.4 Non-Residential Development	Yes
D2.5 Mixed Use Development	Yes
Part E: Water	
Section 1 – Sustainable Water and Risk Management	
E1.1 Approvals Process and Reports Required With Development Applications	
E1.1.1 Water Management Statement	Yes
E1.1.2 Integrated Water Cycle Plan	N/A
E1.1.3 Stormwater Drainage Concept Plan	Yes
E1.1.4 Flood Risk Management Report	N/A
E1.1.5 Foreshore Risk Management Report	N/A
E1.2 Water Management	Yes
E1.2.1 Water Conservation	Yes
E1.2.2 Managing Stormwater within the Site	Yes
E1.2.3 On-Site Detention of Stormwater	N/A
E1.2.4 Stormwater Treatment	Yes
E1.2.5 Water Disposal	Yes
E1.2.6 Building in the vicinity of a Public Drainage System	N/A
E1.2.7 Wastewater Management	Yes
E1.3 Hazard Management	Yes
E1.3.1 Flood Risk Management	N/A
E1.3.2 Foreshore Risk Management	N/A
Part F: Food	
Part G: Site Specific Controls	
N/A	

The following provides discussion of the relevant issues:

The following provides discussion of the relevant issues:

C1.1 Site and Context Analysis

The development is considered to meet the requirements in terms of site and context. The improvement to the shop façade will improve the aesthetic of the street scape. Rear additions are aligned closely to that of the 335 and 341 Darling Street and can be supported in terms of form and amenity subject to conditions.

C1.4 Heritage Conservation Areas and Heritage Items

The development was referred to and assessed by heritage officers who support the development subject to conditions pertaining to material and finishes.

C3.1 Residential General Provisions

It is considered the development meets the objectives and controls set out under C3.1 in terms of heritage conservation, compatibility with the existing adjoining and adjacent buildings subject to requirements set out under the DCP and LEP and conditions imposed to the recommendation.

C3.3 Elevation and Materials

The development is considered to be acceptable and it is also supported by Councils Heritage Officer subject to conditions.

C3.11 Visual Privacy

The development is considered satisfactory subject to conditions.

C3.12 Acoustic Privacy

In terms of noise, the development (residential component) would not produce any more noise than considered reasonable in a residential setting and is aligned and setback to Terraces at 341 and 335 Darling Street and is over 6m from the rear boundary of 2 Phillip Street.

For the non-residential component, the intensity of the terrace is considered greater than existing, and notwithstanding that it has been reduced in size, the terrace now has a direct connection to the use on the ground floor and 2 Phillip Street. In order to protect amenity, the terrace is restricted for trading after 7pm.

C4.2 Site Layout and Building Design

It is considered in terms of the rear of the building and the setback of the terraces and rear building line that the applicant has used Nos 335 and 341 as reference points to align the rear of the subject building. In terms of setback it is considered acceptable. All the rearward buildings class 4 occupancies have some form of living and balcony to take in Easterly city skyline and Harbour Bridge views. Impacts to the side elevation of 2 Phillip Street are considered acceptable.

C4.5 – Interface Amenity

The proposed development is seeking hours of operation from 8am to 10pm 7 days a week. The low impact use can be supported subject to a condition to reduce access to the terrace after 7pm from the commercial part. This will also be covered in terms of light spill.

It is noted that:

- The second floor balcony is located greater than 6m from the boundary of 2 Phillip Street
- The first floor balcony is located 3.8m from the boundary of 2 Phillip Street. It is noted that this balcony is reduced in size from 17.56m² to 10m² from what is currently existing at this level. This balcony is in association with low impact use of the salt baths, and will not be in operation after 7pm.

E1.1.3 Stormwater Drainage Concept Plan

Subject to deferred commencement conditions for stormwater easement, the drainage concept plan is satisfactory.

5(d) The Likely Impacts

The assessment of the Development Application demonstrates that, subject to the recommended conditions, the proposal will have minimal impact in the locality.

5(e) The suitability of the site for the development

The site is zoned B2 Local Centre Zone. Provided that any adverse effects on adjoining properties are minimised, this site is considered suitable to accommodate the proposed development, and this has been demonstrated in the assessment of the application.

5(f) Any submissions

The application was notified in accordance with Section 3 Leichhardt Development Control Plan 2013 for a period of 14 days to surrounding properties. A total of One (1) submission was received in objection.

The following issues raised in submissions have been discussed in this report:

- Privacy implications – see Section 5(c)
- Noise implication resulting from hours of operation and the ‘sundeck’ from the commercial premises see Section 5(c) and condition 54

5(g) The Public Interest

The public interest is best served by the consistent application of the requirements of the relevant Environmental Planning Instruments, and by Council ensuring that any adverse effects on the surrounding area and the environment are appropriately managed.

The proposal is not contrary to the public interest.

6 Referrals

6(a) Internal

The application was referred to the following internal sections/officers and issues raised in those referrals have been discussed in section 5 above.

- Heritage Officer
- Development Engineer
- Health
- Building Surveyor

7. Section 94 Contributions

Section 94 contributions are not payable for the proposal.

8. Conclusion

The proposal generally complies with the aims, objectives and design parameters contained in Leichhardt Local Environmental Plan 2013 and Leichhardt Development Control Plan 2013. The development will not result in any significant impacts on the amenity of adjoining premises and the streetscape. The application is considered suitable for the issue of deferred commencement consent subject to the imposition of appropriate terms and conditions.

9. Recommendation

That Council, as the consent authority pursuant to s80 of the Environmental Planning and Assessment Act 1979, grant deferred commencement consent to Development Application No: D/2016/434 for Alterations and additions to class 4 dwelling on first floor. Fit out of retail premises for new salt float tank shop on ground and lower ground. Minor alterations to existing car park on lower ground. Hours of operation: Monday to Sunday 8am to 10pm. at 337 Darling Street, BALMAIN NSW 2041 subject to the conditions listed in Attachment A below.

Attachment A – Recommended conditions of consent

DEFERRED COMMENCEMENT

1. The following ‘Deferred Commencement’ condition must be complied with to the satisfaction of Council, prior to the issue of an operational Development Consent.

- a) An easement for drainage in favour of the subject property must be obtained over 341 Darling Street to allow for the provision of a gravity drainage line connecting to the kerb and gutter in Short Street.

The easement must have a minimum width of 1000mm and must be registered on the title of the relevant lot(s) with NSW Land and Property Information. The easement plan must be approved by Council prior to lodgement at Lands and Property Information NSW.

Proof of registration of the easement with NSW Land and Property Information must be provided to Council prior to the issue of an operational Development Consent.

The operational Development Consent will be issued by Council (in writing) after the applicant provides sufficient information to satisfy Council in relation to the conditions of the deferred commencement consent.

If the applicant fails to satisfy Council as to the above matters within 5 years from the date of determination this consent will lapse.

The following conditions of consent including any other conditions that may arise from resolution of matters listed in the above conditions, will be included in an operational Development Consent. The operational Development Consent will be issued by Council after the applicant provides sufficient information to satisfy Council in relation to the condition of the deferred commencement consent.

CONDITIONS OF CONSENT

2. Development must be carried out in accordance with Development Application No. D/2016/434 and the following plans and supplementary documentation, except where amended by the conditions of this consent.

Plan Reference	Drawn By	Dated
Roof Plan – DA05 - Issue B	TW Architects	31/10/2016
Lower Ground Floor Plan – DA06 - Issue B	TW Architects	31/10/2016
Ground Floor Plan – DA07 – Issue B	TW Architects	31/10/2016
First Floor Plan – DA08 – Issue B	TW Architects	31/10/2016
Elevations (Street) – Issue B – DA09	TW Architects	31/10/2016
Elevations (West) – Issue B – DA10	TW Architects	31/10/2016
Elevations (East) – Issue B – DA11	TW Architects	31/10/2016
Elevations (North) – Issue B – DA12	TW Architects	31/10/2016
Section AA – Issue B – DA13	TW Architects	31/10/2016

Section BB – Issue B – DA14	TW Architects	31/10/2016
Section CC/DD – Issue B – DA15	TW Architects	31/10/2016
Stormwater Plans	Prepared By	Dated
Concept Stormwater Plan – DA16 – Issue B	TW Architects	31/10/2016
BASIX Certificate	Prepared By	Dated
A258646	Efficient Living	29/08/2016

In the event of any inconsistency between the approved plans and the conditions, the conditions will prevail.

Where there is an inconsistency between approved elevations and floor plan, the elevation shall prevail.

In the event of any inconsistency between the approved plans and supplementary documentation, the plans will prevail.

The existing elements (walls, floors etc) shown to be retained on the approved plans shall not be removed, altered or rebuilt without prior consent of the consent authority.

Note: Carrying out of works contrary to the above plans and/ or conditions may invalidate this consent; result in orders, on the spot fines or legal proceedings.

3. Consent is granted for the demolition on the property, subject to strict compliance with the following conditions:
 - a) The adjoining residents must be notified seven (7) working days prior to demolition. Such notification is to be clearly written on A4 size paper giving the date demolition will commence, site contact details/person, elements to be demolished and be placed in the letterbox of every premises (including every residential flat or unit, if any) either side, immediately at the rear of and directly opposite the demolition site.
 - b) Written notice is to be given to the Principal Certifying Authority for inspection prior to demolition. Such written notice is to include the date when demolition will commence and details of the name, address, business hours and contact telephone number and licence number of the demolisher. The following building inspections must be undertaken by the Principal Certifying Authority:
 - i) A *pre commencement* inspection when all the site works are installed on the site and prior to demolition commencing.
 - ii) A *final* inspection when the demolition works have been completed.
- NOTE:** If Council is nominated as your Principal Certifying Authority 24 - 48 hours notice to carry out inspections is required. Arrangement for inspections can be made by phoning 9367 9222.
- c) Prior to demolition, the applicant must erect a sign at the front of the property with the demolisher's name, licence number, contact phone number and site address.
 - d) Prior to demolition, the applicant must erect a 2.4m high temporary fence, hoarding between the work site and any public property (footpaths, roads, reserves etc). Access to the site must be restricted to authorised persons only and the site must be

secured against unauthorised entry when work is not in progress or the site is otherwise unoccupied.

- e) The demolition plans must be submitted to the appropriate Sydney Water Quick Check agent for a building plan approval.
- f) Demolition is to be carried out in accordance with the relevant provisions of Australian Standard 2601:2001: *Demolition of structures*.
- g) The hours of demolition work are limited to between 7:00am and 6.00pm on weekdays. No demolition work is to be carried out on Saturdays, Sundays and public holidays.
- h) Hazardous or intractable wastes arising from the demolition process must be removed and disposed of in accordance with the requirements of WorkCover New South Wales and the Environmental Protection Authority.
- i) Demolition procedures must maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
- j) During demolition, public property (footpaths, roads, reserves etc) must be clear at all times and must not be obstructed by any demolished material or vehicles. The footpaths and roads must be swept (not hosed) clean of any material, including clay, soil and sand. On the spot fines may be levied by Council against the demolisher and/or owner for failure to comply with this condition.
- k) All vehicles leaving the site with demolition materials must have their loads covered and vehicles must not track soil and other materials onto public property (footpaths, roads, reserves etc) and the footpaths must be suitably protected against damage when plant and vehicles access the site.
- l) The burning of any demolished material on site is not permitted and offenders will be prosecuted.
- m) Care must be taken during demolition to ensure that existing services on the site (ie, sewer, electricity, gas, phone) are not damaged. Any damage caused to existing services must be repaired by the relevant authority at the applicant's expense. Dial before you dig www.1100.com.au should be contacted prior to works commencing.
- n) Suitable erosion and sediment control measures in accordance with the Soil and Water Management Plan must be erected prior to the commencement of demolition works and must be maintained at all times.
- o) Prior to demolition, a Work Plan must be prepared and submitted to the Principal Certifying Authority in accordance with the relevant provisions of Australian Standard 2601:2001 *Demolition of structures* by a person with suitable expertise and experience. The Work Plan must identify hazardous materials including surfaces coated with lead paint, method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
- p) If the property was built prior to 1987 an asbestos survey prepared by a qualified occupational hygienist is to be undertaken. If asbestos is present then:
 - i) A WorkCover licensed contractor must undertake removal of all asbestos.
 - ii) During the asbestos removal a sign "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400 mm x 300 mm is to be erected in a

visible position on the site to the satisfaction of Council.

- iii) Waste disposal receipts must be provided to Council / Principal Certifying Authority as proof of correct disposal of asbestos laden waste.
 - iv) All removal of asbestos must comply with the requirements of WorkCover and Leichhardt Council.
 - v) An asbestos clearance certificate prepared by a qualified occupation hygienist must be provided at the completion of the demolition works.
4. Amended plans are to be submitted incorporating the following amendments:
- a) The existing support beams within the lower ground floor must be amended to provide a minimum headroom clearance of 2200mm for the full length of the tandem parking spaces.

Details demonstrating compliance with the requirements of this condition are to be marked on the plans and be submitted to the Principal Certifying Authority's satisfaction prior to the issue of any Construction Certificate

PRIOR TO THE RELEASE OF A CONSTRUCTION CERTIFICATE

5. A stormwater drainage design prepared by a qualified practicing Civil Engineer must be provided prior to the issue of a Construction Certificate. The design must be prepared/ amended to make provision for the following:
- a) Stormwater runoff from all roof areas within the property must be collected in a system of gutters, pits and pipelines and be discharged together with overflow pipelines from any rainwater tank(s) by gravity to the kerb and gutter in Darling Street. Charged or pump-out stormwater drainage systems are not permitted.
 - b) The design must make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands. The design must include the collection of such waters and discharge to the Council drainage system.
 - c) A minimum 150mm step up must be provided between all external finished surfaces and adjacent internal floor areas.
 - d) All plumbing within the site must be carried out in accordance with Australian Standard *AS/NZS 3500.3-2003 Plumbing and Drainage – Stormwater Drainage*
 - e) Plans must specify any components of the existing system to be retained and certified during construction to be in good condition and of adequate capacity to convey additional runoff and be replaced or upgraded if required.
 - f) An inspection opening or stormwater pit must be installed inside the property, adjacent to the boundary, for all stormwater outlets.
 - g) All redundant pipelines within footpath area must be removed and footpath/kerb reinstated.
 - h) New pipelines within the footpath area that are to discharge to the kerb and gutter must be hot dipped galvanised steel hollow section with a minimum wall thickness of 4.0mm and a section height of 100mm.

- i) Only a single point of discharge is permitted to the kerb and gutter, per frontage of the site.

The design must be certified as compliant with the terms of this condition by a suitably qualified Civil Engineer.

Details demonstrating compliance are to be submitted to the satisfaction of the Certifying Authority prior to the issue of the Construction Certificate.

6. All plant and associated equipment must be located within the approved building envelope and is not be located on the roof. Details on the location of all plant and equipment must be consistent with the approved plans and provided prior to the issue of a Construction Certificate.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

7. Any air conditioning unit on the site must be installed and operated at all times so as not to cause "Offensive Noise" as defined by the Protection of the Environment (Operations) Act 1997.

The system/s shall be operated as follows:

- a) Domestic air conditioners must not be audible in nearby dwellings between:
 - i) 10:00pm to 7:00am on Monday to Saturday: and
 - ii) 10:00pm to 8:00am on Sundays and Public Holidays.
- b) At any other time the systems and associated equipment shall not give rise to a sound pressure level at any affected premises that exceeds the background $L_{A90, 15min}$ noise level, measured in the absence of the noise source/s under consideration by 5dB(A).

The source noise level shall be assessed as an $L_{Aeq, 15min}$ and adjusted in accordance with the NSW Environment Protection Authority's Industrial Noise Policy and Environmental Noise Control Manual (sleep disturbance).

Air conditioning units must be installed in accordance with plans referenced in condition 1 or to satisfy provisions of the State Environmental Planning Policy (Exempt & Complying Codes) 2008.

Details demonstrating compliance with the requirements of this condition and the acoustic measures to be employed to achieve compliance with this condition are to be submitted for approval to the Principal Certifying Authority prior to the issue of any Construction Certificate.

8. Prior to the issue of the Construction Certificate the Principal Certifying Authority is to ensure that the plans state that no high front gutters will be installed.
9. In accordance with the provisions of Section 81A of the *Environmental Planning and Assessment Act 1979* construction works approved by this consent must not commence until:
 - a) A Construction Certificate has been issued by Council or an Accredited Certifier. Either Council or an Accredited Certifier can act as the "Principal Certifying

Authority.”

- b) A Principal Certifying Authority has been appointed and Council has been notified in writing of the appointment.
- c) At least two days notice, in writing has been given to Council of the intention to commence work.

The documentation required under this condition must show that the proposal complies with all Development Consent conditions and is not inconsistent with the approved plans, the Building Code of Australia and the relevant Australian Standards.

10. In accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986*, the applicant must pay a long service levy at the prescribed rate of 0.35% of the total cost of the work to either the Long Service Payments Corporation or Council for any work costing \$25,000 or more. The Long Service Levy is payable prior to the issue of a Construction Certificate.

Details demonstrating compliance are to be shown on the plans submitted to the satisfaction of the Certifying Authority prior to the issue of the Construction Certificate.

11. Materials and finishes must be complementary to the predominant character and streetscape of the area, and any existing buildings & the period of construction of the buildings.

In this regard:

- a) The proposed glazed rear first floor balcony balustrade shall be altered to a more sympathetic material to minimise the visual impact of the rear works on the surrounding heritage conservation area. Accordingly, the subject balustrade shall comprise of vertical metal or timber pickets in keeping with the historic built character of the locality; and
- b) The changes proposed to the shopfront and first floor façade verandah infill shall match the colour scheme and materials of the recently completed re-instatement works to the shopfront and verandah infill on No.341 Darling Street, Balmain.

Highly reflective wall or roofing materials and glazing must not be used. Materials must be designed so as to not result in glare (maximum normal specular reflectivity of visible light 20%) or that causes any discomfort to pedestrians or neighbouring properties. Details of finished external surface materials, including colours and texture must be provided prior to the issue of a Construction Certificate to the satisfaction of the Principal Certifying Authority.

12. The existing unpainted brick surfaces are not to be painted, bagged or rendered but to remain as original brick work. The Construction Certificate plans must clearly depict all original brickwork with a notation that they are to remain unpainted to the satisfaction of the Principal Certifying Authority.
13. If any excavation extends below the level of the base of the footings of a building on an adjoining property, the person causing the excavation:
- a) Must preserve and protect the adjoining building from damage
 - b) Must, at least seven (7) days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.

- c) The owner of the adjoining allotment of land is not liable for any part of the cost of work carried out for the purposes of this condition, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.

In this condition, the allotment of land includes public property.

14. The following fire upgrading is required pursuant to Clause 94 of the *Environmental Planning and Assessment Regulation 2000*:

- The building is to be provided with smoke alarm system that complies with *AS3786-1993: Smoke Alarms* and the smoke alarms must be connected to the consumer mains electrical power supply and interconnected where there is more than one alarm with a stand-by (battery back-up) power supply. The smoke alarm system must be installed in suitable locations on or near the ceiling in accordance with Part 3.7.2 of the Building Code of Australia.
- The building is to be provided with a system of emergency lighting to assist evacuation of occupants in the event of a fire in accordance with Part 3.7.2.5 of the Building Code of Australia.

Amended plans and specifications demonstrating compliance with this condition must be submitted to the satisfaction of the Principal Certifying Authority with the application prior to the issuing of a for a Construction Certificate.

Note: Where an existing system complying with the above requirements is already installed in the building, evidence of this should be submitted with the application for a Construction Certificate.

15. A Certificate prepared by an appropriately qualified and practising structural engineer, certifying the structural adequacy of the property and its ability to withstand the proposed additional, or altered structural loads during all stages of construction must be provided prior to the issue of a Construction Certificate to the satisfaction of the Principal Certifying Authority. The certificate shall also include all details of the methodology to be employed in construction phases to achieve the above requirements without result in demolition of elements marked on the approved plans for retention.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

16. A Soil and Water Management Plan must be provided prior to the issue of a Construction Certificate. The Soil and Water Management plan must be designed to be compatible with the document *Planning for Erosion and Sediment Control on Single Residential Allotments or Managing Urban Stormwater–Soils & Construction Volume 1 (2004)* available at www.environment.nsw.gov.au and the Construction Management and Traffic Management Plan referred to in condition/s of this Development Consent and must address, but is not limited to the following issues:

- a) Minimise the area of soils exposed at any one time.
- b) Conservation of top soil.
- c) Identify and protect proposed stockpile locations.
- d) Preserve existing vegetation. Identify revegetation technique and materials.

- e) Prevent soil, sand, sediments leaving the site in an uncontrolled manner.
- f) Control surface water flows through the site in a manner that:
 - i) Diverts clean run-off around disturbed areas;
 - ii) Minimises slope gradient and flow distance within disturbed areas;
 - iii) Ensures surface run-off occurs at non erodable velocities;
 - iv) Ensures disturbed areas are promptly rehabilitated.
- g) Sediment and erosion control measures in place before work commences.
- h) Materials are not tracked onto the road by vehicles entering or leaving the site.
- i) Details of drainage to protect and drain the site during works.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

17. The approved plans must be submitted to a Sydney Water Quick Check agent to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. For Quick Check agent details please refer to the web site <http://www.sydneywater.com.au/SW/plumbing-building-developing/building/quick-check-agents/index.html>

The Principal Certifying Authority must ensure the Quick Check agent/Sydney Water has appropriately stamped the plans prior to the issue of a Construction Certificate.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

18. Prior to the issue of a Construction Certificate, the applicant must prepare a Construction Management and Traffic Management Plan. The following matters should be addressed in the plan (where applicable):
- a) A plan view of the entire site and frontage roadways indicating:
 - i) Dedicated construction site entrances and exits, controlled by a certified traffic controller, to safely manage pedestrians and construction related vehicles in the frontage roadways.
 - ii) The locations of work zones (where it is not possible for loading/unloading to occur on the site) in the frontage roadways accompanied by supporting documentation that such work zones have been approved by the Local Traffic Committee and Council.
 - iii) Location of any proposed crane and concrete pump and truck standing areas on and off the site.
 - iv) A dedicated unloading and loading point within the site for construction vehicles, plant and deliveries.
 - v) The proposed areas within the site to be used for the storage of excavated material, construction materials and waste and recycling containers during the construction period.

- b) Noise and vibration
During excavation, demolition and construction phases, noise & vibration generated from the site must be controlled. Refer to other conditions of this consent. If during excavation, rock is encountered, measures must be taken to minimise vibration, dust generation and impacts on surrounding properties. Refer to Environmental Noise Management Assessing Vibration: a technical Guideline (Department of Environment and Conservation, 2006) www.epa.nsw.gov.au for guidance and further information.
- c) Occupational Health and Safety
All site works must comply with the occupational health and safety requirements of the New South Wales Work Cover Authority.
- d) Toilet Facilities
During excavation, demolition and construction phases, toilet facilities are to be provided on the site, at the rate of one toilet for every twenty (20) persons or part of twenty (20) persons employed at the site. Details must be shown on the plan.
- e) Traffic control plan(s) for the site
All traffic control plans must be in accordance with the Roads and Maritime Services publication "Traffic Control Worksite Manual"

Approval is to be obtained from Council for any temporary road closures or crane use from public property. Applications to Council shall be made a minimum of 4 weeks prior to the activity proposed being undertaken.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

19. A Waste Management Plan (WMP) is to be provided in accordance with **Part D – Waste – Development Control Plan 2013**. The Plan must address all issues identified in the DCP including but not limited to:
- a) Estimated volume (m³) or weight (t) of materials that are reused, recycled or removed from site.
 - b) On site material storage areas during construction.
 - c) Material and methods used during construction to minimise waste.
 - d) Nomination of end location of all waste and recycling generated from a facility authorised to accept the material type for processing or disposal and retention of waste dockets to be made available to Council Officer on request
 - e) A clear statement within the Waste Management Plan of responsibility for the transferral of waste and recycling bins within the property and between floors where applicable to the collection point in accordance with DCP 2013.

All requirements of the approved Waste Management Plan must be implemented during the demolition, excavation and construction of the development.

PRIOR TO WORKS COMMENCING OR ISSUE OF A CONSTRUCTION CERTIFICATE (WHICHEVER OCCURS FIRST)

20. Prior to the commencement of demolition works on the subject site or a Construction Certificate being issued for works approved by this development consent (whichever occurs first), a security deposit and inspection fee as detailed below must be paid to Council to cover the cost of making good any damage caused to any Council property or the physical environment as a consequence of carrying out the works.

Security Deposit	\$ 2075.50
Inspection fee	\$219.00

Payment will be accepted in the form of cash, bank cheque or EFTPOS/credit card (to a maximum of \$10,000) or bank guarantee. Bank Guarantees must not have an expiry date.

The inspection fee is required for Council to determine the condition of the adjacent road reserve & footpath prior to & on completion of the works being carried out.

Should any of Council's property and/or the physical environment sustain damage during the course of the demolition or construction works, or if the works put Council's assets or the environment at risk, Council may carry out any works necessary to repair the damage and/or remove the risk. The cost of these works will be deducted from the security deposit.

A request for release of the security may be made to the Council after all construction work has been completed and a Final Occupation Certificate issued.

The amount nominated is only current for the financial year in which the consent was issued and is revised each financial year. The amount payable must be consistent with Council's Fees and Charges in force at the date of payment.

Requirements of this condition are to be met prior to works commencing or prior to release of a Construction Certificate (whichever occurs first). Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issue of any Construction Certificate.

21. A dilapidation report including a photographic survey of the following adjoining properties must be provided to Principal Certifying Authority prior to any demolition or works commencing on the site or the issue of a Construction Certificate (whichever comes first). The dilapidation report must detail the physical condition of those properties, both internally and externally, including walls, ceilings, roof, structural members and other similar items.

Property	Structures / Area
339 & 335 Darling Street	Within 1 metre from the boundary for works proposed.

If excavation works are proposed the dilapidation report must report on the visible and structural condition of neighbouring structures within the zone of influence of the excavations. This zone is defined as the horizontal distance from the edge of the excavation face to twice the excavation depth.

The dilapidation report is to be prepared by a practising Structural Engineer. All costs incurred in achieving compliance with this condition shall be borne by the applicant. A

copy of the report must be provided to Council, the Principal Certifying Authority and the owners of the affected properties prior to any works commencing.

In the event that access for undertaking the dilapidation report is denied by an adjoining owner, the applicant must demonstrate, in writing that all reasonable steps have been taken to obtain access and advise the affected property owner of the reason for the survey and that these steps have failed. Written correspondence from the owners of the affected properties or other evidence must be obtained and submitted to the Principal Certifying Authority in such circumstances that demonstrates such documentation has been received. The Principal Certifying Authority must be satisfied that the requirements of this condition have been met prior to commencement of any works.

Note: This documentation is for record keeping purposes and may be used by an applicant or affected property owner to assist in any action required to resolve any civil dispute over damage rising from the works.

Requirements of this condition are to be met prior to works commencing or prior to release of a Construction Certificate (whichever occurs first). Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issue of any Construction Certificate.

22. Should works require any of the following on public property (footpaths, roads, reserves), an application shall be submitted and approved by Council prior to the commencement of the works associated with such activity or the Construction Certificate (whichever occurs first)
- a) Work/Construction zone (designated parking for construction vehicles). – A Work Zone application
 - b) A concrete pump across the roadway/footpath. – A Standing Plant permit
 - c) Mobile crane or any standing plant – A Standing Plant Permit
 - d) Skip bins other than those authorised by Leichhardt Council – Skip Bin Application
 - e) Scaffolding/Hoardings (fencing on public land) – Scaffolding and Hoardings on Footpath Application
 - f) Road works including vehicle crossing/kerb & guttering, footpath, stormwater provisions etc – Road works Application
 - g) Awning or street verandah over footpath. – Road works Application
 - h) Installation or replacement of private stormwater drain, utility service or water supply – Road Opening Permit

Requirements of this condition are to be met prior to works commencing or prior to release of a Construction Certificate (whichever occurs first). Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issue of any Construction Certificate.

PRIOR TO THE COMMENCEMENT OF WORKS

23. The proposed structure(s) to be erected must stand wholly within the boundaries of the subject site. No portion of the proposed structure, including gates and doors during opening and closing operations, shall encroach onto adjoining properties or upon public property.

To ensure that the location of the building satisfies the provision of the approval, the footings and walls within one (1) metre of the property boundaries must be set out by or the location certified by a registered surveyor in accordance with the approved plans, prior to the commencement of works.

To ensure that the location of the building satisfies the provision of the approval, a check survey certificate shall be submitted to the Principal Certifying Authority either prior to the

pouring of the ground floor slab or at dampcourse level, whichever is applicable or occurs first, indicating the:

- a) location of the building with respect to the boundaries of the site;

24. The site must be secured with temporary fencing prior to any works commencing.

If the work involves the erection or demolition of a building and is likely to cause pedestrian or vehicular traffic on public property to be obstructed or rendered inconvenient, or building involves the enclosure of public property, a hoarding or fence must be erected between the work site and the public property. Additionally an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling onto public property, where necessary.

Separate approval is required under the *Roads Act 1993* to erect a hoarding or temporary fence or awning on public property. Approvals for hoardings, scaffolding on public land must be obtained and clearly displayed on site for the duration of the works.

Any hoarding, fence or awning is to be removed when the work is completed and must be maintained clear of any advertising.

25. The *Home Building Act 1989* requires that insurance must be obtained from an insurance company approved by the Department of Fair Trading prior to the commencement of works approved by this Development Consent.

A copy of the certificate of insurance must be submitted to the Certifying Authority prior to the works commencing.

If the work is to be undertaken by an owner-builder, written notice of their name and owner-builder permit number must be submitted to the Certifying Authority.

In all other cases, written notice must be given to the Certifying Authority of:

- a) the name and licence number of the principal contractor; and
- b) reasons why a certificate of insurance is not required.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

26. Any person or contractor undertaking works on public property must take out Public Risk Insurance with a minimum cover of ten (10) million dollars in relation to the occupation of, and approved works within public property. The Policy is to note, and provide protection for Leichhardt Council, as an interested party and a copy of the Policy must be submitted to Council prior to commencement of the works. The Policy must be valid for the entire period that the works are being undertaken on public property.
27. Prior to the commencement of works, the Principal Certifying Authority shall be notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.
28. At least forty-eight (48) hours prior to the commencement of works, a notice of commencement form (available on Council's web page) and details of the appointed Principal Certifying Authority shall be submitted to Council.

29. Prior to the commencement of works, a sign must be erected in a prominent position on the site (for members of the public to view) on which the proposal is being carried out. The sign must state:
- a) Unauthorised entry to the work site is prohibited.
 - b) The name of the principal contractor (or person in charge of the site) and a telephone number at which that person may be contacted at any time for business purposes and outside working hours.
 - c) The name, address and telephone number of the Principal Certifying Authority for the work.

Any such sign must be maintained while the work is being carried out, but must be removed when the work has been completed.

Photographic evidence demonstrating compliance with the requirements of this condition is to be submitted to the satisfaction of the Principal Certifying Authority and Council for records purposes prior to the commencement of any onsite work.

DURING WORKS

30. Building materials and machinery are to be located wholly on site unless separate consent (Standing Plant Permit) is obtained from Council/ the roads authority. Building work is not to be carried out on the footpath.

Construction materials and vehicles shall not block or impede public use of the footpath or roadway.

31. All excavations and backfilling associated with the development must be executed safely, properly guarded and protected to prevent them from being dangerous to life or property and in accordance with the design of a suitably qualified structural engineer.

If excavation extends below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation must:

- a) Preserve and protect the building from damage.
- b) If necessary, underpin and support the building in an approved manner.
- c) Give at least seven (7) days notice to the adjoining owner before excavating, of the intention to excavate within the proximity of the respective boundary.

Any proposed method of support to any excavation adjacent to adjoining properties or any underpinning is to be designed by a Chartered Civil Engineer, with National Professional Engineering Registration (NPER) in the construction of civil/structural works. Copies of the design plans must be provided to the relevant adjoining property owner/s prior to commencement of such works. Prior to backfilling, any method of support constructed must be inspected by the designing Engineer with certification provided to all relevant parties.

32. The site must be appropriately secured and fenced at all times during works.
33. All fill used with the proposal shall be virgin excavated material (such as clay, gravel, sand, soil and rock) that is not mixed with any other type of waste and which has been excavated from areas of land that are not contaminated with human made chemicals as a result of industrial, commercial, mining or agricultural activities and which do not

contain sulphate ores or soils.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority.

34. Excavation, demolition, construction or subdivision work shall only be permitted during the following hours:
- a) 7:00 am to 6.00 pm, Mondays to Fridays, inclusive (with demolition works finishing at 5pm);
 - b) 8:00 am to 1:00 pm on Saturdays with no demolition works occurring during this time; and
 - c) at no time on Sundays or public holidays.

Works may be undertaken outside these hours where they do not create any nuisance to neighbouring properties in terms of dust, noise, vibration etc and do not entail the use of power tools, hammers etc. This may include but is not limited to painting.

In the case that a standing plant or special permit is obtained from Council for works in association with this development, the works which are the subject of the permit may be carried out outside these hours.

This condition does not apply in the event of a direction from police or other relevant authority for safety reasons, to prevent risk to life or environmental harm.

Activities generating noise levels greater than 75dB(A) such as rock breaking, rock hammering, sheet piling and pile driving shall be limited to:

8:00 am to 12:00 pm, Monday to Saturday; and
2:00 pm to 5:00 pm Monday to Friday.

The Proponent shall not undertake such activities for more than three continuous hours and shall provide a minimum of one 2 hour respite period between any two periods of such works.

“Continuous” means any period during which there is less than an uninterrupted 60 minute respite period between temporarily halting and recommencing any of that intrusively noisy work.

Noise arising from the works must be controlled in accordance with the requirements of the *Protection of the Environment Operations Act 1997* and guidelines contained in the New South Wales Environment Protection Authority Environmental Noise Control Manual.

35. In addition to meeting the specific performance criteria established under this consent, the Applicant shall implement all reasonable and feasible measures to prevent and/or minimise any harm to the environment that may result from the demolition, construction or operation/use of the development.
36. Any new information revealed during development works that has the potential to alter previous conclusions about site contamination or hazardous materials shall be immediately notified to the Council and the Principal Certifying Authority.
37. The development must be inspected at the following stages by the Principal Certifying Authority during construction:
- a) after excavation for, and prior to the placement of, any footings, and
 - b) prior to pouring any in-situ reinforced concrete building element, and

- c) prior to covering of the framework for any floor, wall, roof or other building element, and
 - d) prior to covering waterproofing in any wet areas, and
 - e) prior to covering any stormwater drainage connections, and
 - f) after the building work has been completed and prior to any occupation certificate being issued in relation to the building.
38. A copy of the approved plans and this consent must be kept on site for the duration of site works and in the case of any commercial or industrial premise for the duration of the use/trading. Copies shall be made available to Council Officer's upon request.
39. Sedimentation controls, tree protection measures and safety fencing (where relevant) shall be maintained during works to ensure they provide adequate protection during the course of demolition, excavation and construction works. Materials must be stored in a location and manner to avoid material being washed to drains or adjoining properties.

The requirements of the Soil and Water Management Plan must be maintained at all times during the works and shall not be removed until the site has been stabilised to the Principal Certifying Authority's satisfaction.

Material from the site is not to be tracked onto the road by vehicles entering or leaving the site. At the end of each working day any dust/dirt or other sediment shall be swept off the road and contained on the site and not washed down any stormwater pit or gutter.

The sediment and erosion control measures are to be inspected daily and defects or system failures are to be repaired as soon as they are detected.

40. No trees on public property (footpaths, roads, reserves etc) are to be removed or damaged during works unless specifically approved in this consent or marked on the approved plans for removal.

Prescribed trees protected by Council's controls on the subject property and/or any vegetation on surrounding properties must not be damaged or removed during works unless specific approval has been provided under this consent.

PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE

41. A second Dilapidation Report including photos of any damage evident at the time of inspection must be submitted after the completion of works. A copy of this Dilapidation Report must be given to the property owners referred to in this Development Consent. The report must:
- Compare the post construction report with the pre-construction report required by these conditions,
 - Clearly identify any recent damage and whether or not it is likely to be associated with the development works including suggested remediation methods.

A copy must be lodged with Council and the Principal Certifying Authority prior to the issue of an Occupation Certificate. Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issuing of any Occupation Certificate

42. Prior to the issue of an Occupation Certificate, the Principle Certifying Authority must ensure that the stormwater drainage system has been constructed in accordance with the approved design and relevant Australian Standards.

A plan showing pipe locations and diameters of the stormwater drainage system, together with certification by a qualified practicing Civil Engineer that the drainage system has been constructed in accordance with the approved design and relevant Australian Standards, must be provided to the Principle Certifying Authority prior to the issue of an Occupation Certificate.

43. Prior to the issue of the Occupation Certificate the Principal Certifying Authority is to confirm that no high front gutters have been installed.
44. An Occupation Certificate must be obtained prior to any use or occupation of the development or part thereof. The Principal Certifying Authority must ensure that all works are completed in accordance with this consent including all conditions.
45. Prior to the issue of an Occupation Certificate, the Principal Certifying Authority shall be satisfied that:
 - a) Any mechanical equipment associated with the floating tank shall be located in a sound attenuating container and positioned to minimise acoustic impacts on habitable rooms of surrounding properties. Prior to operation of the pump/filters, the Principal Certifying Authority shall be satisfied that noise levels associated with the floating tank pumping units shall not exceed 5dB(a) above the ambient background noise in any habitable room of adjoining properties. Evidence from a practising acoustical engineer demonstrating compliance with the above must be submitted to the Principal Certifying Authority prior to the operation of the pool pump or issue of an Occupation Certificate.
 - b) All drainage, including any overland waters associated with the pool/spa/float tank, must be pipe-drained via the filter to the nearest sewer system in accordance with the requirements of Council & Sydney Water. No drainage, including overflow from the pool/ spa/ float tank shall enter Council's stormwater system.
 - c) The disposal of backwash and/or the emptying of a float tank into a reserve, watercourse, easement or storm water drainage system is prohibited. These waters are to discharge via a permanent drainage line into Sydney Water's sewer via the filter/pump in accordance with Australian Standard AS 3500.2:2003 *Plumbing and drainage – Sanitary plumbing and drainage*. Permission is to be obtained from Sydney Water prior to the emptying of any pool to the sewer
46. Prior to the issue of an Occupation Certificate, the Principal Certifying Authority must ensure that all works have been completed in accordance with the approved Waste Management Plan referred to in this development consent.

Proof of actual destination of demolition and construction waste shall be provided to the Principal Certifying Authority prior to the issue of an Occupation Certificate.

47. Prior to the release of an Occupation Certificate, the Principal Certifying Authority must be satisfied that the development complies with:
 - the approved plans;
 - BASIX certificate (where relevant),
 - approved documentation (as referenced in this consent); and
 - conditions of this consent.

ONGOING CONDITIONS OF CONSENT

48. The owner/manager of the site is responsible for the removal of all graffiti from the building and fences within seventy-two (72) hours of its application.
49. Any lighting of the premises shall be installed and maintained in accordance with Australian Standard AS 4282-1997: *Control of the Obtrusive Effects of Outdoor Lighting* so as to avoid annoyance to the occupants of adjoining premises or glare to motorists on nearby roads. The intensity, colour or hours of illumination of the lights shall be varied at Council's discretion if in the opinion of an Authorised Council Officer it is considered there to be have adverse effects on the amenity of the area.
50. The proposed use of the premises and the operation of all plant and equipment shall not give rise to an 'offensive noise' as defined in the Protection of the Environment Operations Act 1997 and Regulations.

In this regard, the operation of the premises and plant and equipment shall not give rise to a sound pressure level at any affected premises that exceeds the background $L_{A90, 15min}$ noise level, measured in the absence of the noise source/s under consideration by 5dB(A). The source noise level shall be assess as an $L_{Aeq, 15min}$ and adjusted in accordance with the NSW Environment Protection Authority's Industrial Noise Policy and Environmental Noise Control Manual (sleep disturbance).

51. The use of the premises shall not give rise to an environmental health nuisance to the adjoining or nearby premises and environment. There are to be no emissions or discharges from the premises, which will give rise to a public nuisance or result in an offence under the Protection of the Environment Operations Act 1997 and Regulations. The use of the premises and the operation of plant and equipment shall not give rise to the transmission of a vibration nuisance or damage other premises.
52. Dangerous and hazardous goods shall be stored in accordance with NSW WorkCover requirements and AS1940-2004, *The Storage and Handling of Flammable and Combustible Liquids*.

Hazardous and/or industrial waste arising from the use must be removed and / or transported in accordance with the requirements of the NSW Environment Protection Authority (EPA) and the New South Wales WorkCover Authority.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issue of any Construction Certificate

53. To ensure minimal impacts on surrounding properties commercial waste and recyclable material generated by the premises must not be collected between the hours 9pm and 8am.
54. The premises shall not be used for any purpose other than that stated in the Development Application, i.e. shop top housing without the prior consent of the Council unless the change to another use is permitted as exempt or complying development under *Leichhardt Local Environment Plan 2013* or *State Environmental Planning policy (Exempt and Complying Codes) 2008*.

The use of the premises as a shop top housing is defined under the *Leichhardt Local Environmental Plan 2013*.

55. The premises including the outdoor terrace area are only to be open for business and used for the purpose approved within the following hours.

	Indoor Area	Outdoor Terrace Area	Commercial
7 days a week including public holidays	8am – 10pm	8am – 7pm	

PRESCRIBED CONDITIONS

A. BASIX Commitments

Under clause 97A of the Environmental Planning & Assessment Regulation 2000, it is a condition of this development consent that all the commitments listed in each relevant BASIX Certificate for the development are fulfilled. The Certifying Authority must ensure that the building plans and specifications submitted by the Applicant, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

In this condition:

- a) Relevant BASIX Certificate means:
 - (i) a BASIX Certificate that was applicable to the development when this development consent was granted (or, if the development consent is modified under section 96 of the Act, a BASIX Certificate that is applicable to the development when this development consent is modified); or
 - (ii) if a replacement BASIX Certificate accompanies any subsequent application for a construction certificate, the replacement BASIX Certificate; and
- b) BASIX Certificate has the meaning given to that term in the Environmental Planning & Assessment Regulation 2000.

B. Building Code of Australia

All building work must be carried out in accordance with the provisions of the Building Code of Australia.

C. Home Building Act

- 1) Building work that involves residential building work (within the meaning and exemptions provided in the Home Building Act 1989) must not be carried out unless the Principal Certifying Authority for the development to which the work relates has given Leichhardt Council written notice of the following:
 - a) in the case of work for which a principal contractor is required to be appointed:
 - i) the name and licence number of the principal contractor, and
 - ii) the name of the insurer by which the work is insured under Part 6 of that Act, or
 - b) in the case of work to be done by an owner-builder:
 - i) the name of the owner-builder, and
 - ii) if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.
- 2) If arrangements for doing residential building work are changed while the work is in progress so that the information submitted to Council is out of date, further work must not be carried out unless the Principal Certifying Authority for the

development to which the work relates (not being the Council), has given the Council written notice of the updated information.

Note: A certificate purporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 that states that a person is the holder of an insurance policy issued for the purposes of that Part is, for the purposes of this clause, sufficient evidence that the person has complied with the requirements of that Part.

D. Site Sign

- 1) A sign must be erected in a prominent position on any work site on which work involved in the erection or demolition of a building is being carried out:
 - a) stating that unauthorised entry to the work site is prohibited;
 - b) showing the name of the principal contractor (or person in charge of the work site), and a telephone number at which that person may be contacted at any time for business purposes and outside working hours; and
 - c) showing the name, address and telephone number of the Principal Certifying Authority for the work.
- 2) Any such sign must be maintained while building work or demolition work is being carried out, but must be removed when the work has been completed.

E. Condition relating to shoring and adequacy of adjoining property

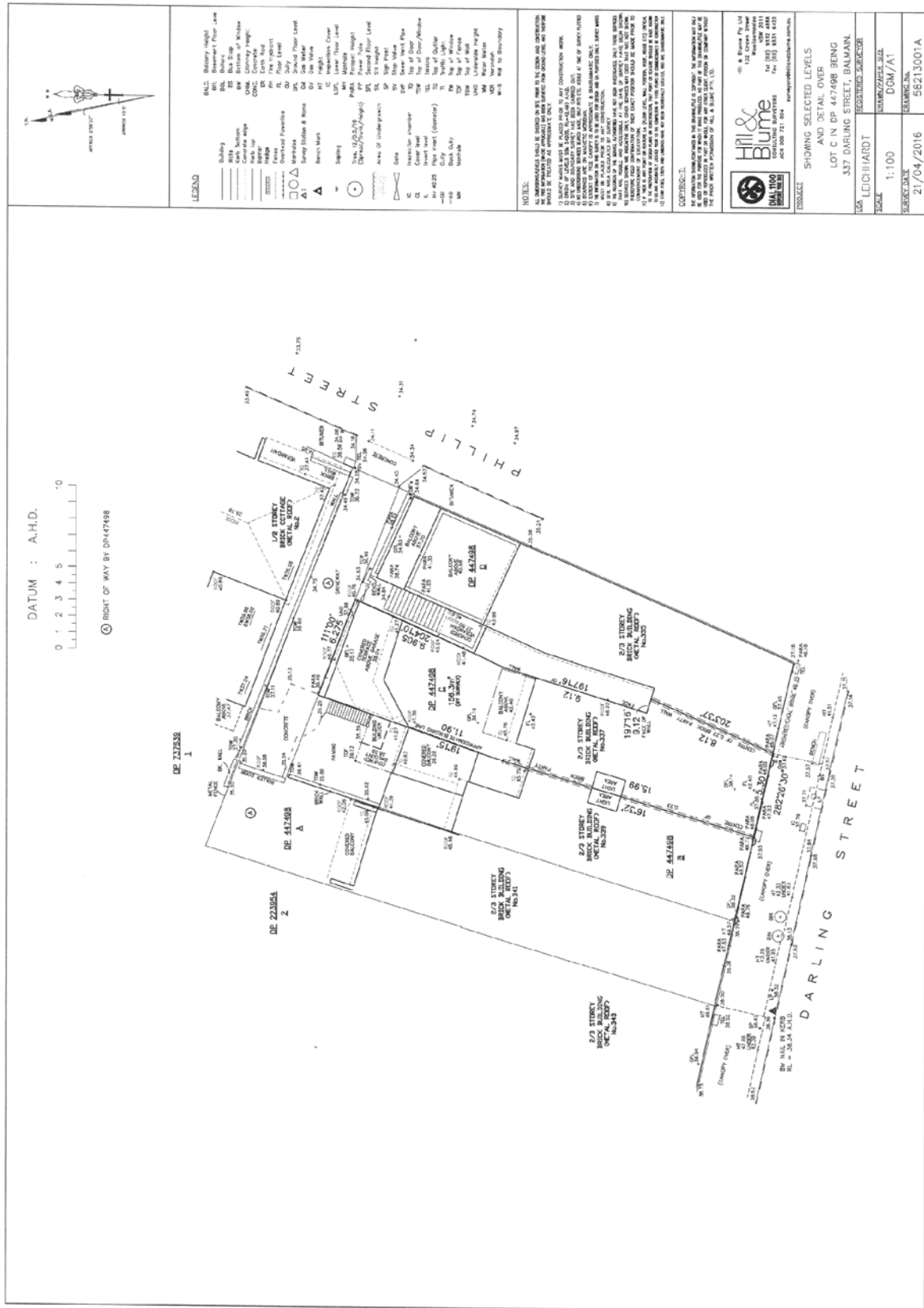
- (1) For the purposes of [section 80A](#) (11) of [the Act](#), it is a prescribed condition of development consent that if the development involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the development consent must, at the person's own expense:
 - (a) protect and support the adjoining premises from possible damage from the excavation, and
 - (b) where necessary, underpin the adjoining premises to prevent any such damage.
- (2) The condition referred to in subclause (1) does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

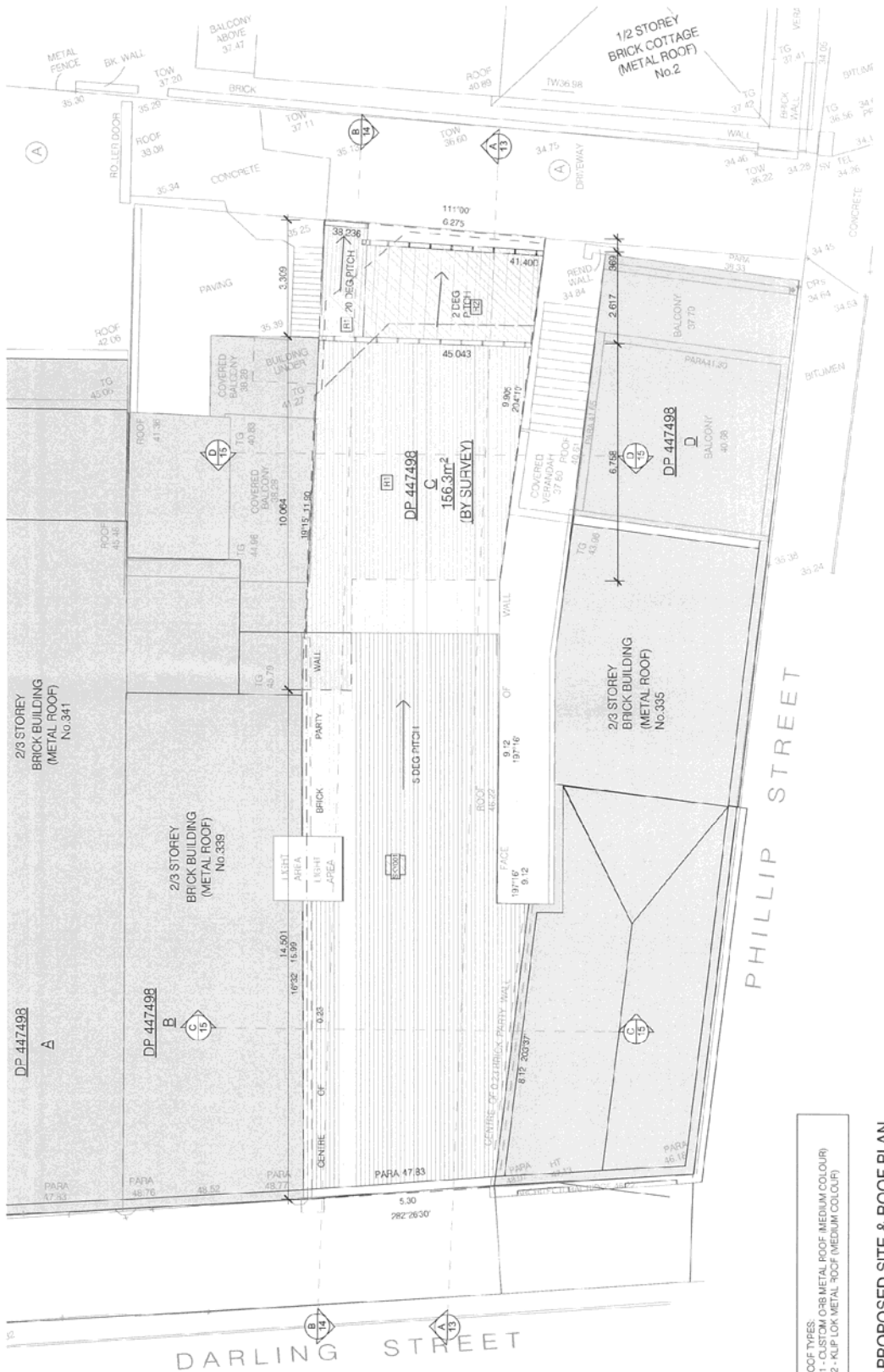
NOTES

1. This Determination Notice operates or becomes effective from the endorsed date of consent.
2. Section 82A of the *Environmental Planning and Assessment Act 1979* provides for an applicant to request Council to review its determination. This does not apply to applications made on behalf of the Crown, designated development, integrated development or a complying development certificate. The request for review must be made within six (6) months of the date of determination or prior to an appeal being heard by the Land and Environment Court. Furthermore, Council has no power to determine a review after the expiration of these periods. A decision on a review may not be further reviewed under Section 82A.
3. If you are unsatisfied with this determination, Section 97 of the *Environmental Planning and Assessment Act 1979* gives you the right of appeal to the Land and Environment Court within six (6) months of the determination date.

4. Failure to comply with the relevant provisions of *the Environmental Planning and Assessment Act 1979* and/or the conditions of this consent may result in the serving of penalty notices or legal action.
5. Works or activities other than those approved by this Development Consent will require the submission of a new development application or an application to modify the consent under Section 96 of the *Environmental Planning and Assessment Act 1979*.
6. This decision does not ensure compliance with the *Disability Discrimination Act 1992*. Applicants should investigate their potential for liability under that Act.
7. This development consent does not remove the need to obtain any other statutory consent or approval necessary under any other Act, such as (if necessary):
 - a) Application for any activity under that Act, including any erection of a hoarding.
 - b) Application for a Construction Certificate under the *Environmental Planning and Assessment Act 1979*.
 - c) Application for an Occupation Certificate under the *Environmental Planning and Assessment Act 1979*.
 - d) Application for a Subdivision Certificate under the *Environmental Planning and Assessment Act 1979* if land (including stratum) subdivision of the development site is proposed.
 - e) Application for Strata Title Subdivision if strata title subdivision of the development is proposed.
 - f) Development Application for demolition if demolition is not approved by this consent.
 - g) Development Application for subdivision if consent for subdivision is not granted by this consent.
 - h) An application under the Roads Act 1993 for any footpath / public road occupation. A lease fee is payable for all occupations.
8. Prior to the issue of the Construction Certificate, the applicant must make contact with all relevant utility providers (such as Sydney Water, Energy Australia etc) whose services will be impacted upon by the development. A written copy of the requirements of each provider, as determined necessary by the Certifying Authority, must be obtained.

Attachment B – Plans of proposed development





ROOF TYPES:
 R1 - CUSTOM O/B METAL ROOF (MEDIUM COLOUR)
 R2 - KLIP LOK METAL ROOF (MEDIUM COLOUR)

1 PROPOSED SITE & ROOF PLAN
 1:100

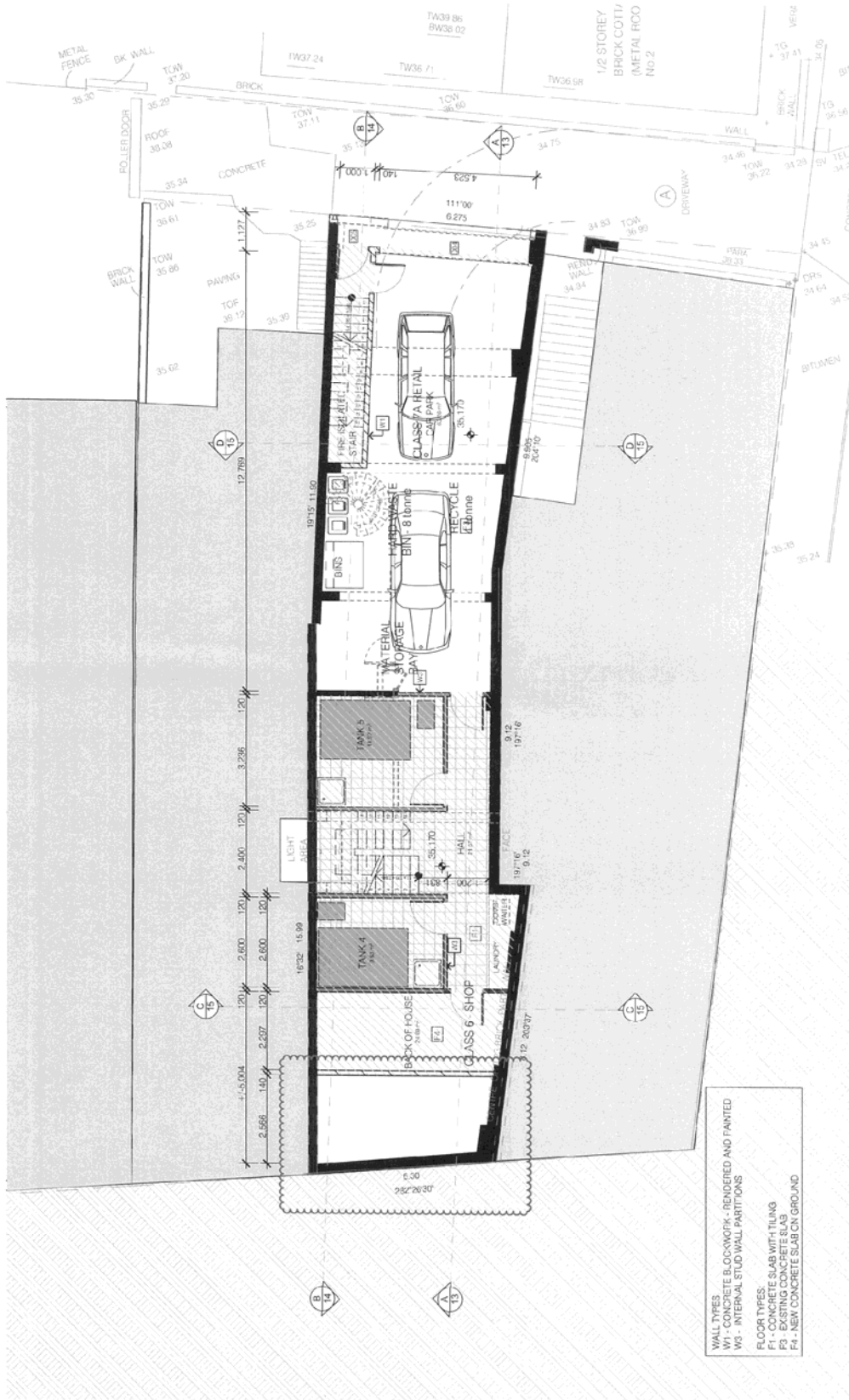
REV	DATE	AMENDMENT
D	21/11/16	RAMP RFI

CLIENT NAME: BALMAIN CITY COUNCIL
 PROJECT ADDRESS: 337 DARLING STREET BALMAIN NSW 2044
 SCALE: 1:100 @ A3
 PROJECT DATE: 16/08/16

EXISTING BUILDING FABRIC: EXISTING FABRIC TO BE DEMOLISHED
 PROPOSED NEW WORKS OUTSIDE OF EXISTING FOOTPRINT
 PROPOSED NEW WORKS WITHIN EXISTING FOOTPRINT

DA 05
 PROPOSED SITE & ROOF PLAN

twarchitected



WALL TYPES:
 B1 - CONCRETE BLOCKWORK - RENDERED AND PAINTED
 W3 - INTERNAL STUD WALL PARTITIONS

FLOOR TYPES:
 F1 - CONCRETE SLAB WITH TILING
 F3 - EXISTING CONCRETE SLAB
 F4 - NEW CONCRETE SLAB ON GROUND

1 PROPOSED LOWER GROUND FLOOR
 1:100

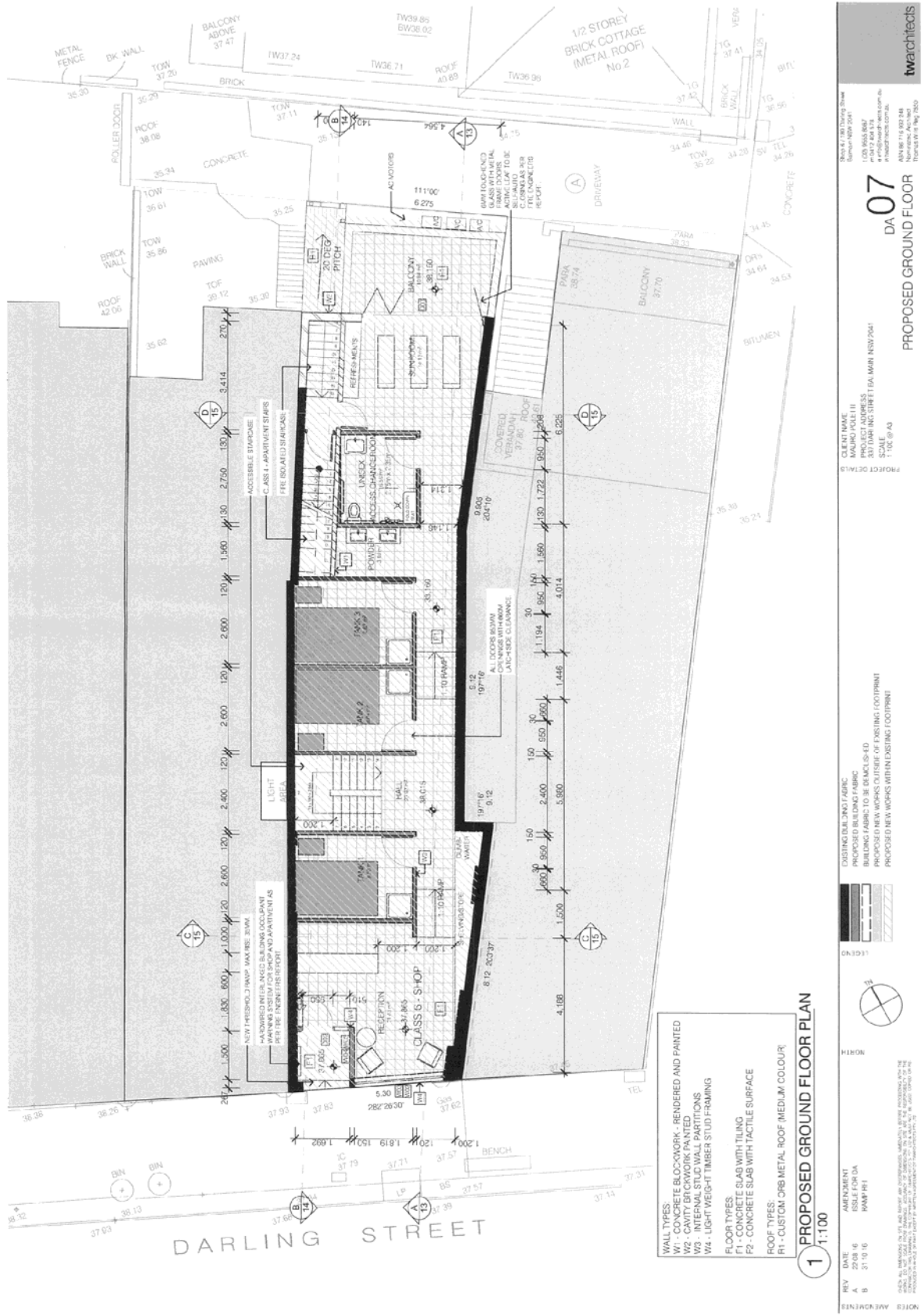
REV	DATE	AMENDMENT
A	29/08/16	ISSUE FOR DA
B	31/10/16	FINAL SET

CLIENT NAME: MAURICIO LUCETTI
 PROJECT ADDRESS: 327 CARLING STREET BALMAIN, NSW 2040
 SCALE: 1:100 @ A3
 tw architects

DA 06
 PROPOSED LOWER GROUND FLOOR

LEGEND:
 DISTRICT BUILDING FABRIC
 PROPOSED BUILDING FABRIC
 BUILDING FABRIC TO BE DEMOLISHED
 PROPOSED NEW WORKS OUTSIDE OF EXISTING FOOTPRINT
 PROPOSED NEW WORKS WITHIN EXISTING FOOTPRINT

NOTES:
 CHECK ALL DIMENSIONS ON THIS PLAN AGAINST THE ARCHITECTURAL RECORDS TO VERIFY ACCURACY. WHERE THE ARCHITECTURAL RECORDS ARE INCONCLUSIVE OR MISSING, DIMENSIONS SHOWN ON THIS PLAN SHALL TAKE PRECEDENCE. THE ARCHITECT SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS.



- WALL TYPES:**
 W1 - CONCRETE BLOCKWORK - RENDERED AND PAINTED
 W2 - CAVITY BRICKWORK PAINTED
 W3 - INTERNAL STUD WALL PARTITIONS
 W4 - LIGHT WEIGHT TIMBER STUD FRAMING
- FLOOR TYPES:**
 F1 - CONCRETE SLAB WITH TILING
 F2 - CONCRETE SLAB WITH TACTILE SURFACE
- ROOF TYPES:**
 R1 - CUSTOM ORB METAL ROOF (MEDIUM COLOUR)

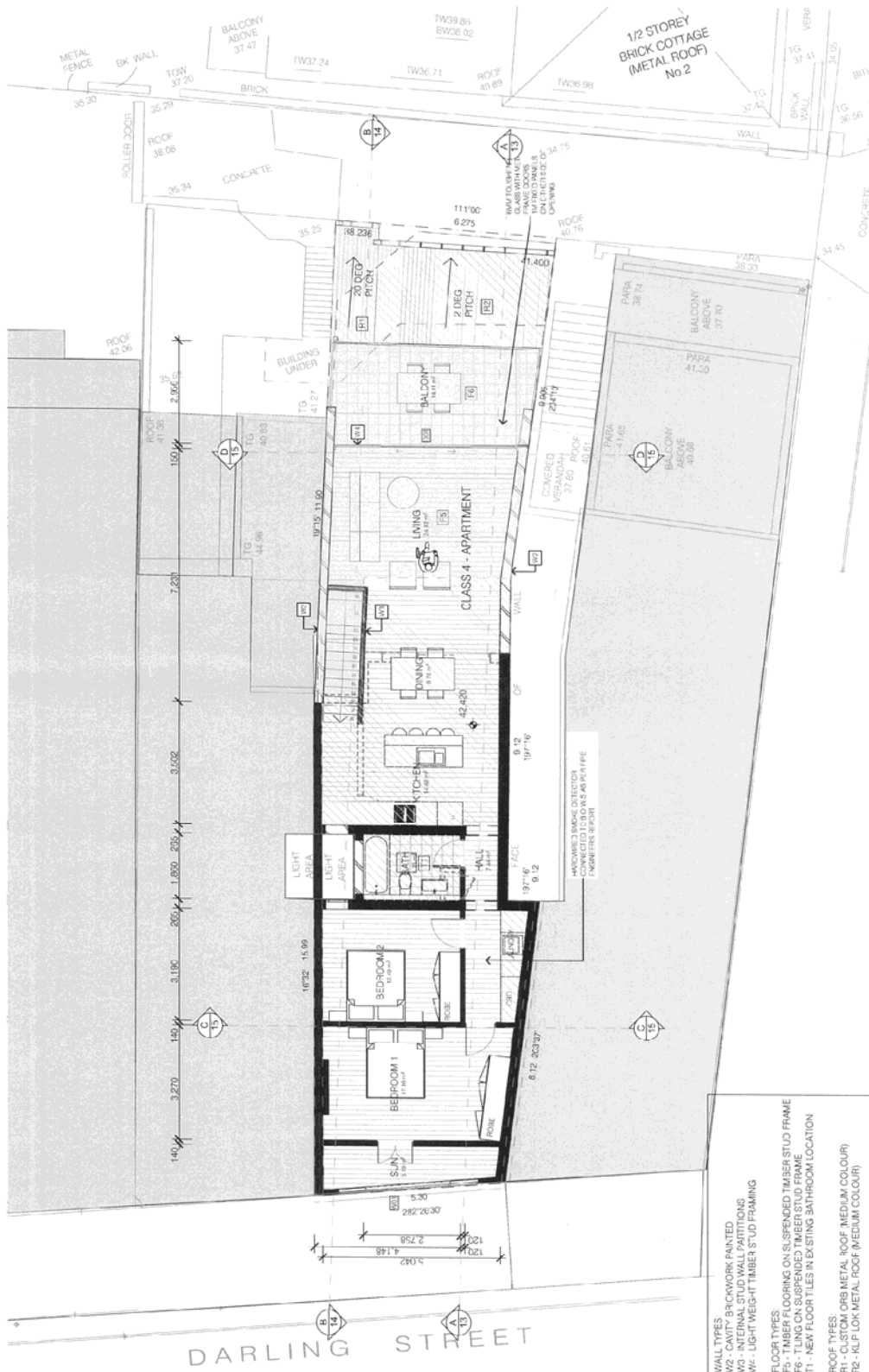
REVISIONS	
REV	DESCRIPTION
A	ISSUE FOR PERMIT
B	AMENDMENT
C	AMENDMENT
D	AMENDMENT

CLIENT NAME: MAJURO HOLDINGS
PROJECT ADDRESS: 30 UHAR INDUSTRIAL TERRACE, MAJURO INDUSTRIAL PARK, SYDNEY NSW 1585
PROJECT DETAILS: 1 x 100 @ A3

DA 07
PROPOSED GROUND FLOOR

DATE: 11/05/2021
PROJECT NO: PH-2020-001
SCALE: 1:100

NOTES:
 1. ALL DIMENSIONS TO BE TAKEN FROM THE FACE UNLESS OTHERWISE SPECIFIED.
 2. EXISTING BUILDINGS TO BE DEMOLISHED AND RECONSTRUCTED.
 3. PROPOSED WORKS TO BE SHOWN OUTSIDE OF EXISTING FOOTPRINT.
 4. PROPOSED NEW WORKS TO BE SHOWN WITHIN EXISTING FOOTPRINT.
 5. ALL DOORS TO BE OPENED TO THE OUTSIDE.
 6. ALL WINDOWS TO BE OPENED TO THE OUTSIDE.
 7. ALL ROOFS TO BE OPENED TO THE OUTSIDE.
 8. ALL BALCONIES TO BE OPENED TO THE OUTSIDE.
 9. ALL STAIRS TO BE OPENED TO THE OUTSIDE.
 10. ALL TOILETS TO BE OPENED TO THE OUTSIDE.
 11. ALL KITCHENS TO BE OPENED TO THE OUTSIDE.
 12. ALL OFFICES TO BE OPENED TO THE OUTSIDE.
 13. ALL CLASS ROOMS TO BE OPENED TO THE OUTSIDE.
 14. ALL LOUNGES TO BE OPENED TO THE OUTSIDE.
 15. ALL RECEPTION AREAS TO BE OPENED TO THE OUTSIDE.
 16. ALL ENTRANCES TO BE OPENED TO THE OUTSIDE.
 17. ALL EXITS TO BE OPENED TO THE OUTSIDE.
 18. ALL FIRE EXITS TO BE OPENED TO THE OUTSIDE.
 19. ALL FIRE EXITS TO BE OPENED TO THE OUTSIDE.
 20. ALL FIRE EXITS TO BE OPENED TO THE OUTSIDE.
 21. ALL FIRE EXITS TO BE OPENED TO THE OUTSIDE.
 22. ALL FIRE EXITS TO BE OPENED TO THE OUTSIDE.
 23. ALL FIRE EXITS TO BE OPENED TO THE OUTSIDE.
 24. ALL FIRE EXITS TO BE OPENED TO THE OUTSIDE.
 25. ALL FIRE EXITS TO BE OPENED TO THE OUTSIDE.
 26. ALL FIRE EXITS TO BE OPENED TO THE OUTSIDE.
 27. ALL FIRE EXITS TO BE OPENED TO THE OUTSIDE.
 28. ALL FIRE EXITS TO BE OPENED TO THE OUTSIDE.
 29. ALL FIRE EXITS TO BE OPENED TO THE OUTSIDE.
 30. ALL FIRE EXITS TO BE OPENED TO THE OUTSIDE.



- WALL TYPES**
 W2 - CAVITY BRICKWORK PAINTED
 W3 - INTERNAL STUD WALL PARTITIONS
 W4 - LIGHT WEIGHT TIMBER STUD FRAMING
- FLOOR TYPES**
 F5 - TIMBER FLOORING ON SUSPENDED TIMBER STUD FRAME
 F6 - TILING ON SUSPENDED TIMBER STUD FRAME
 T1 - NEW FLOOR TILES IN EXISTING BATHROOM LOCATION
- ROOF TYPES**
 R1 - CUSTOM ORB METAL ROOF (MEDIUM COLOUR)
 R2 - KLP LOK METAL ROOF (MEDIUM COLOUR)

1 PROPOSED FIRST FLOOR PLAN
 1:100

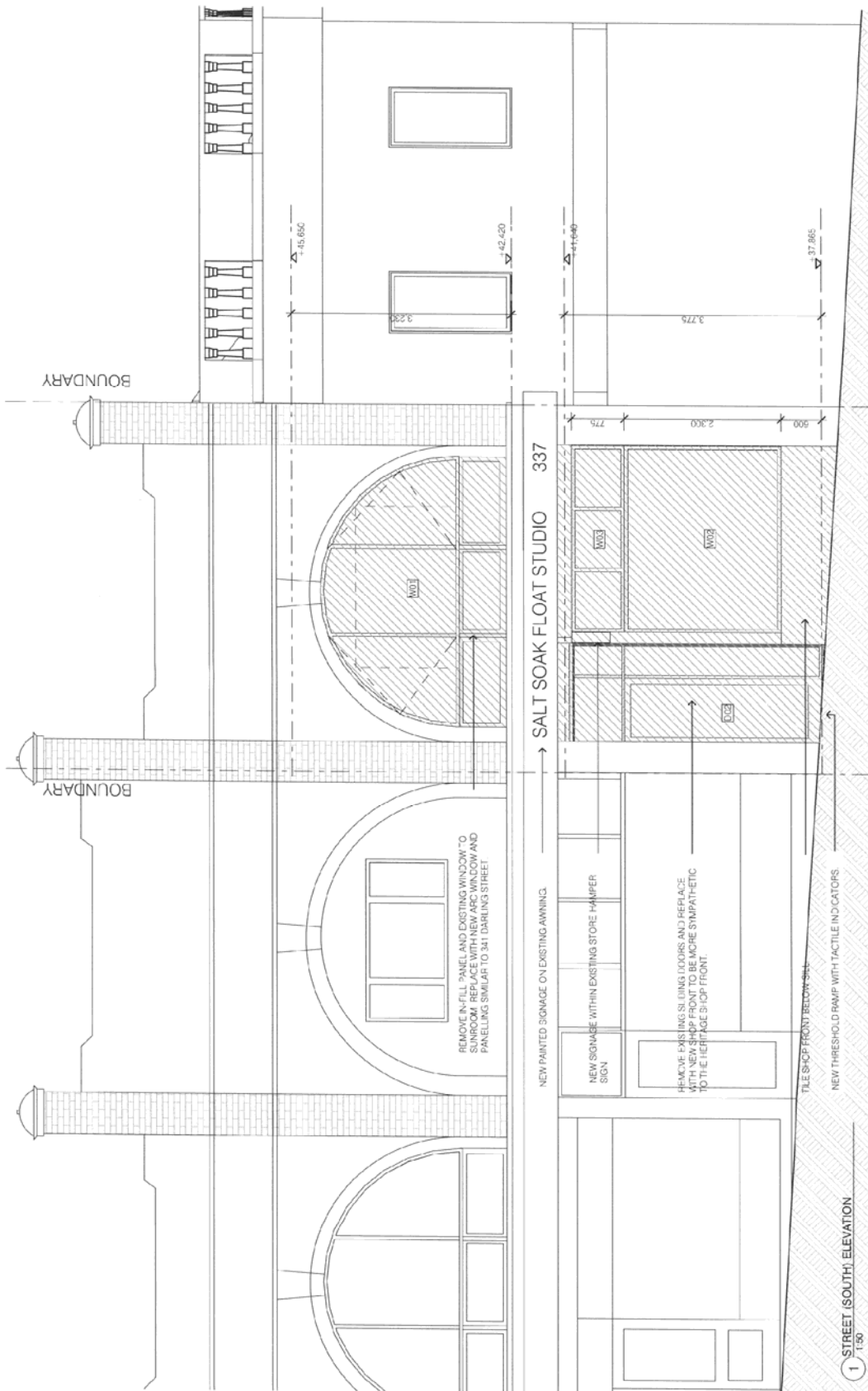
DA 08
 PROPOSED FIRST FLOOR PLAN

CLIENT NAME: MAURO VOLETTI
 PROJECT DETAILS: 337 DARLING STREET BALMAIN NSW 2041
 SCALE: 1:100 @ A3

EXISTING BUILDING FABRIC
 PROPOSED BUILDING FABRIC
 BUILDING FABRIC TO BE DEMOLISHED
 PROPOSED NEW WORKS OUTSIDE OF EXISTING FOOTPRINT
 PROPOSED NEW WORKS WITHIN EXISTING FOOTPRINT

REV. DATE: AMENDMENT
 A 22/08/16 ESSE FOR DA
 B 31/10/16 PUMP RPT

twarchitects
 Show F 1/160 Darling Street
 Balmain NSW 2041
 Ph: (02) 9550 1111
 www.twarchitects.com.au
 twarchitects.com.au
 11/06/2016
 Approved As Shown
 Drawn By: M. Mag 7/15/16



twarchitects

DA 09
ELEVATIONS

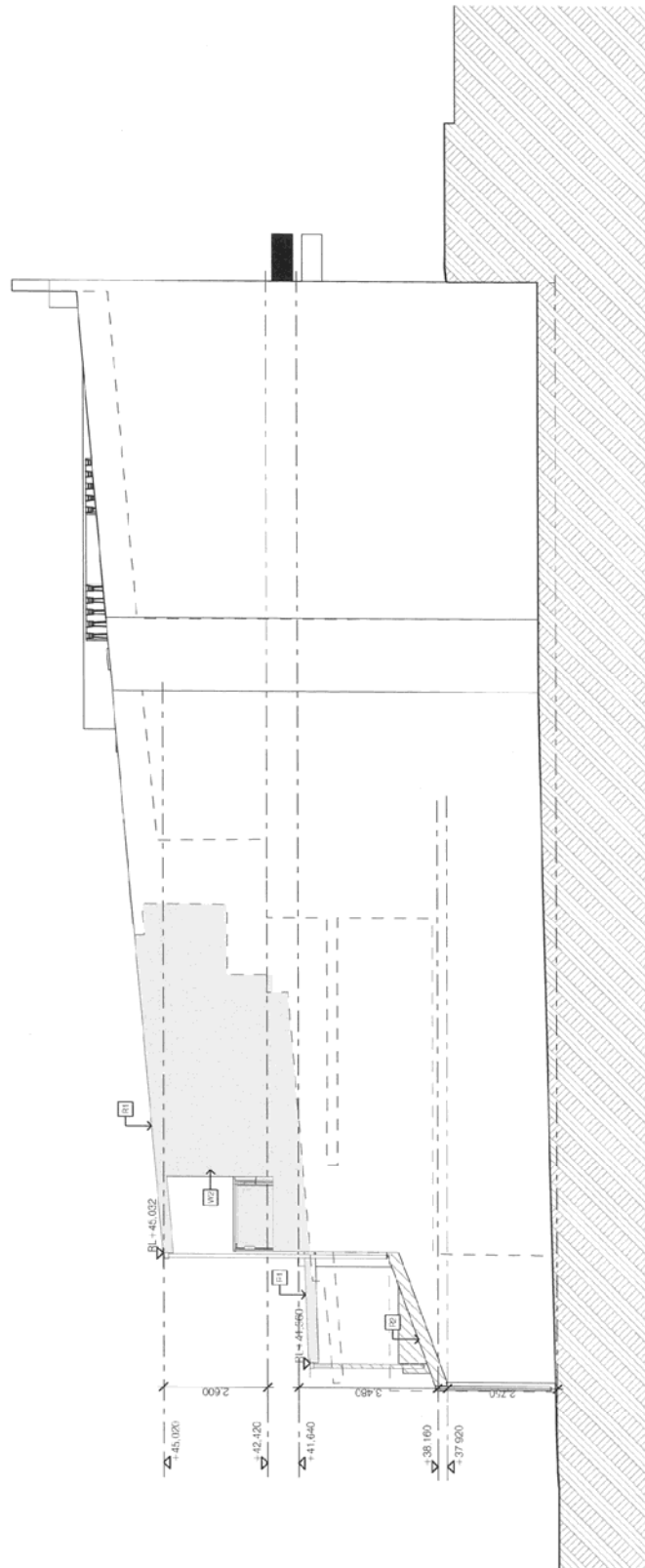
CLIENT NAME: TWARCHITECTS
PROJECT ADDRESS: 337 DARLING STREET, SYDNEY NSW 2014
SCALE: 1:50 (1:100 @ A3)
PROJECT DETAILS

EXISTING BUILDING FABRIC
PROPOSED BUILDING FABRIC
EXISTING FLOOR FINISH
PROPOSED NEW WORK WITH EXISTING FOOTPRINT



REV DATE AMENDMENT
A 29/08/16 ISSUE FOR DA
B 31/10/16 PAMP-01

NOTES: ALL DIMENSIONS IN THIS DRAWING ARE EXPRESSIONS. MINOR VARIATIONS MAY OCCUR. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS.

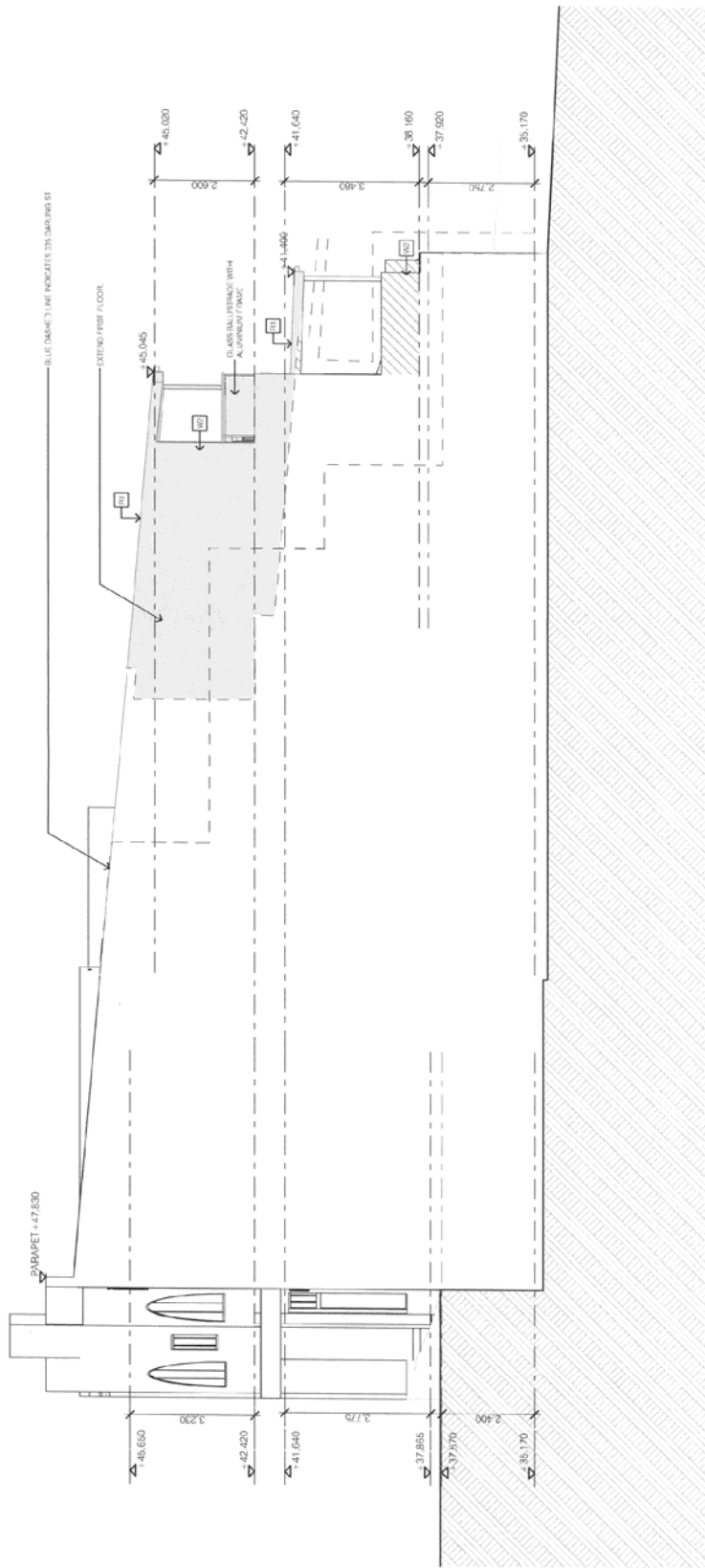


1 WEST ELEVATION
1:100

<p>REV# DATE REVISIONS</p> <p>A 22/08/16 ISSUE FOR DA</p> <p>B 21/10/16 RAMP REI</p>	<p>CLIENT NAME MAJURO KULLI II</p> <p>PROJECT ADDRESS 100/100A/100B/100C/100D/100E/100F/100G/100H/100I/100J/100K/100L/100M/100N/100O/100P/100Q/100R/100S/100T/100U/100V/100W/100X/100Y/100Z</p> <p>SCALE 1:100 @ A3</p>	<p>DATE: 16/02/2016 DRAWN BY: [Name] CHECKED BY: [Name] PROJECT NO: [Number]</p>	<p>DA 10 ELEVATIONS</p>	<p>twarchitects</p>
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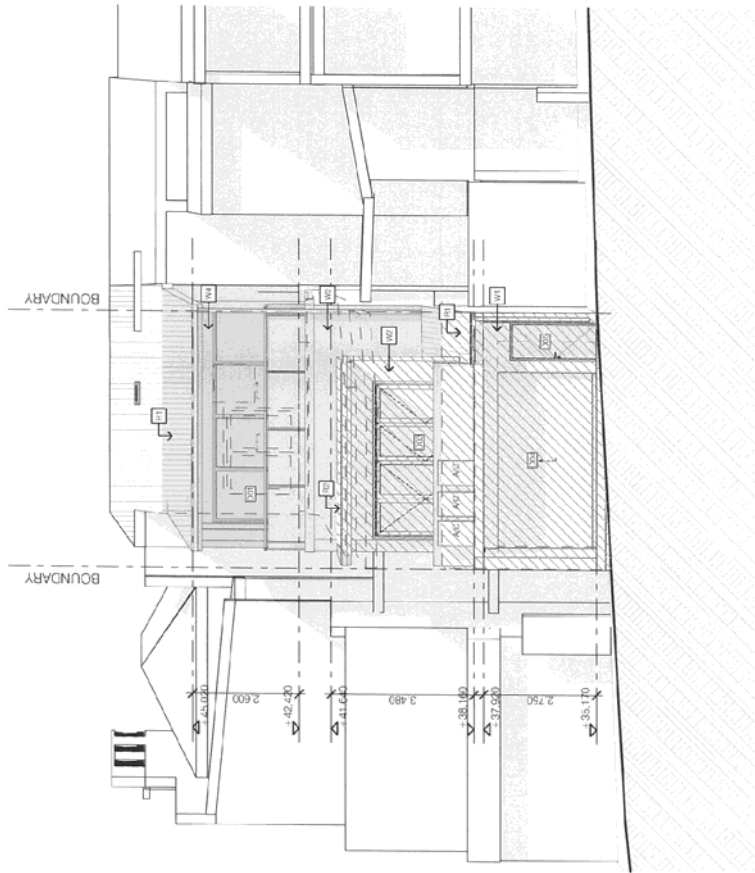
NOTES: ARCHITECTS
 1. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE STATED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED.
 3. ALL DIMENSIONS ARE TO BE TAKEN FROM THE FINISHED FLOOR LEVEL UNLESS OTHERWISE STATED.
 4. ALL DIMENSIONS ARE TO BE TAKEN FROM THE FINISHED FLOOR LEVEL UNLESS OTHERWISE STATED.
 5. ALL DIMENSIONS ARE TO BE TAKEN FROM THE FINISHED FLOOR LEVEL UNLESS OTHERWISE STATED.

LEGEND:
 [Symbol] EXISTING BUILDING FABRIC
 [Symbol] PROPOSED BUILDING FABRIC
 [Symbol] BUILDING FABRIC TO BE DEMOLISHED
 [Symbol] PROPOSED NEW WORKS OUTSIDE OF EXISTING FOOTPRINT
 [Symbol] PROPOSED NEW WORKS WITHIN EXISTING FOOTPRINT



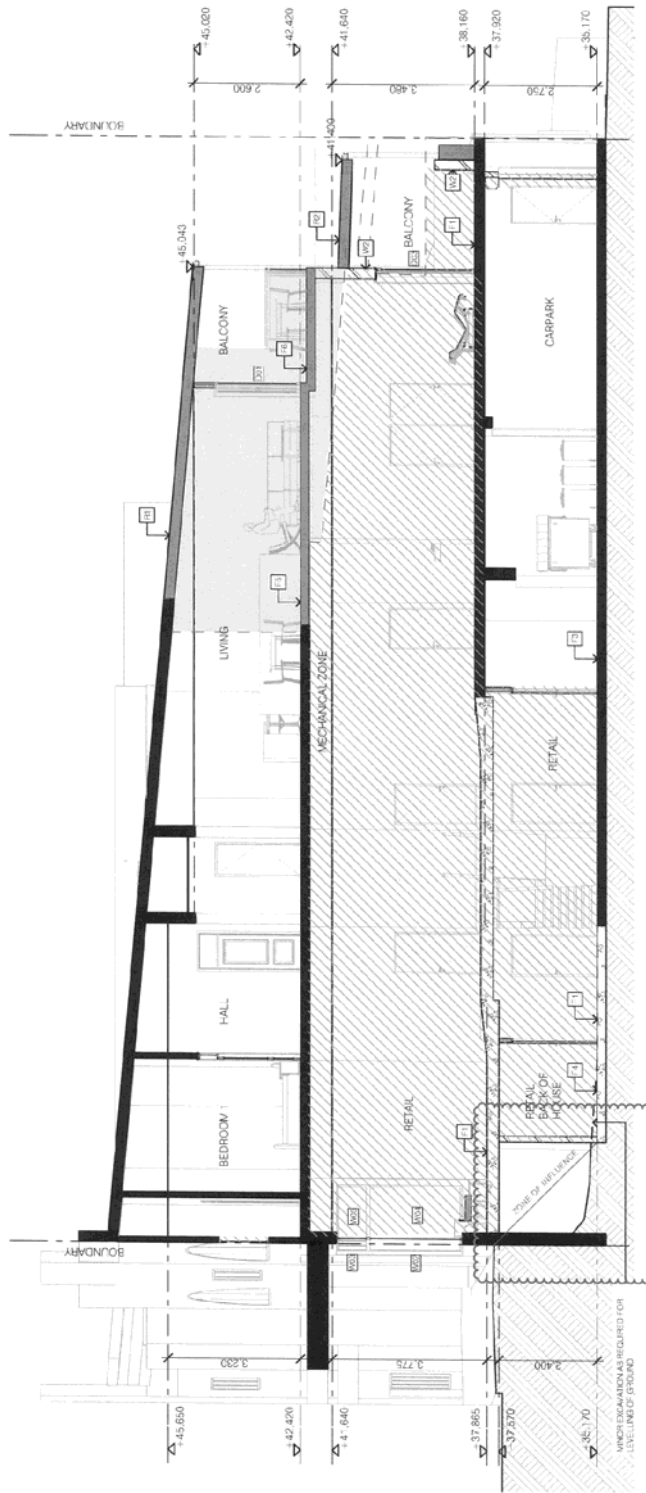
1 EAST ELEVATION
1:100

<p>REV DATE AMENDMENT A 22/08/16 ISSUE FOR DA B 31/10/16 RAMP RE I</p>	<p>CLIENT NAME WAIPO TOLE TI PROJECT ADDRESS 10 BIRNINGS STREET (MILMANN RD) W 2041 SCALE 1:100 @ A3</p>	<p>EXISTING BUILDING FABRIC PROPOSED BUILDING FABRIC BUILDING FABRIC TO BE DEMOLISHED PROPOSED NEW WORKS OUTSIDE OF EXISTING FOOTPRINT PROPOSED NEW WORKS WITHIN EXISTING FOOTPRINT</p>	<p>PROJECT DETAILS</p>	<p>PROJECT NO: 15002 DATE: 22/08/16 DRAWN BY: J. BROWN CHECKED BY: J. BROWN SCALE: 1:100 @ A3 PROJECT: 10 BIRNINGS STREET (MILMANN RD) W 2041</p>	<p>twarchitects</p>
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1 NORTH ELEVATION
1:100

<p>REV# DATE DESCRIPTION</p> <p>A 20/08/16 ISSUE FOR IGA</p> <p>B 31/10/16 HWP/RTI</p>	<p>CLIENT NAME MANUFCOLE PTI</p> <p>PROJECT ADDRESS 357 DORRINGTON STREET BALMAIN NSW 2041</p> <p>PROJECT DETAILS 1:100 @ A3</p>	<p>EXISTING BUILDINGS FABRIC PROPOSED BUILDING FABRIC BUILDING FABRIC TO BE DEMOLISHED PROPOSED NEW WORKS OUTSIDE OF EXISTING FOOTPRINT PROPOSED NEW WORKS WITHIN EXISTING FOOTPRINT</p>	<p>LEGEND</p>	<p>DATE: 20/08/16 DRAWN BY: J. COOPER CHECKED BY: J. COOPER SCALE: 1:100 @ A3</p>	<p>DA 12 ELEVATIONS</p>	<p>tw architects</p> <p>2/100 WILSON STREET BALMAIN NSW 2041 PH: 02 9550 1000 WWW.TWARCHITECTS.COM.AU ABN 88 774 882 288 New South Wales Licence No: 100000000</p>
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1 SECTION AA
1:100

REV DATE AMENDMENT
 A 29.08.16 ISSUE FOR DA
 B 31.10.16 RAMP RFI

NOTES
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 BUILDING CODE OF PRACTICE (BCP) AND THE 2015 BUILDING REGULATIONS (BR).
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 BUILDING CODE OF PRACTICE (BCP) AND THE 2015 BUILDING REGULATIONS (BR).
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 BUILDING CODE OF PRACTICE (BCP) AND THE 2015 BUILDING REGULATIONS (BR).

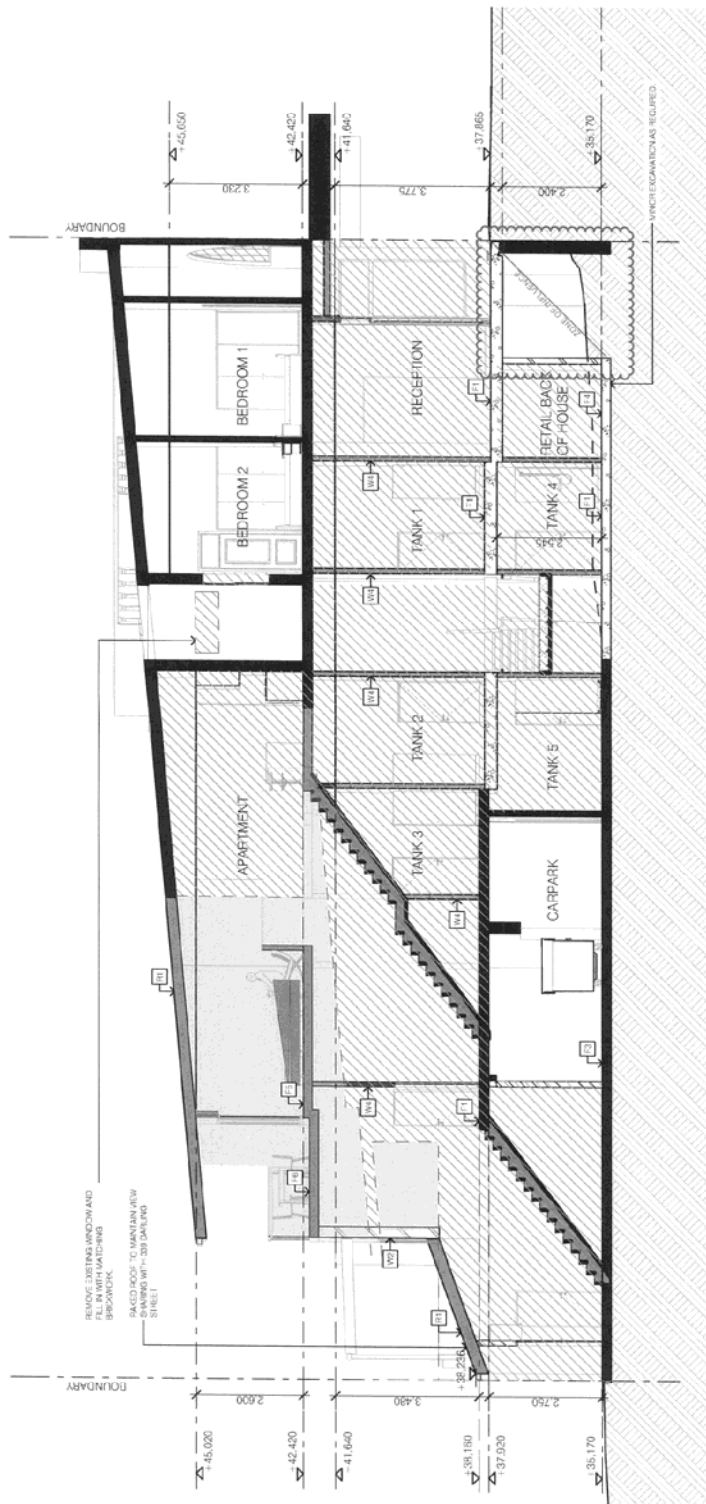
CLIENT NAME MAJURO PLETTI
 PROJECT ADDRESS 100/102 SPURRING STREET (EAST) BALMAIN NSW 2041
 SCALE 1:100 @ A3
 PROJECT DETAILS DA 13 SECTION AA

twarchitects
 100/102 Spurring Street
 Balmain NSW 2041
 t: 02 9550 4007
 e: info@twarchitects.com.au
 w: www.twarchitects.com.au
 ABN 66 716 002 218
 Business in Reg 1590

LEGEND
 EXISTING BUILDING FABRIC
 PROPOSED BUILDING FABRIC
 BUILDING FABRIC TO BE DEMOLISHED
 PROPOSED NEW WORKS OUTSIDE OF EXISTING FOOTPRINT
 PROPOSED NEW WORKS WITHIN EXISTING FOOTPRINT

FINISH
 FLOOR
 CEILING

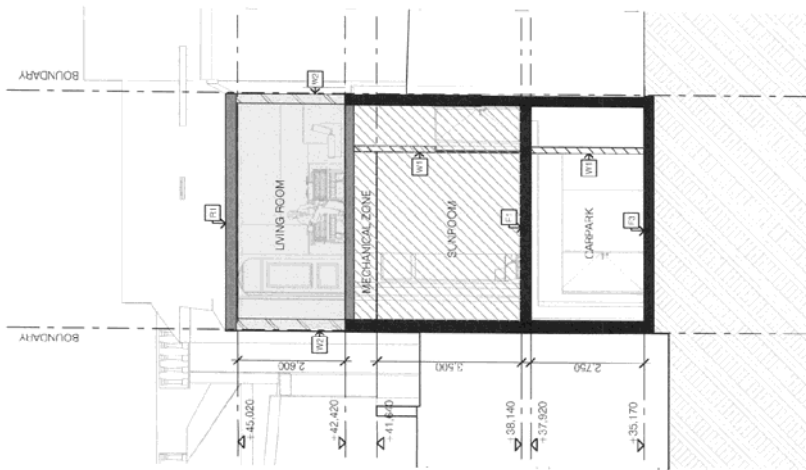
NORTH



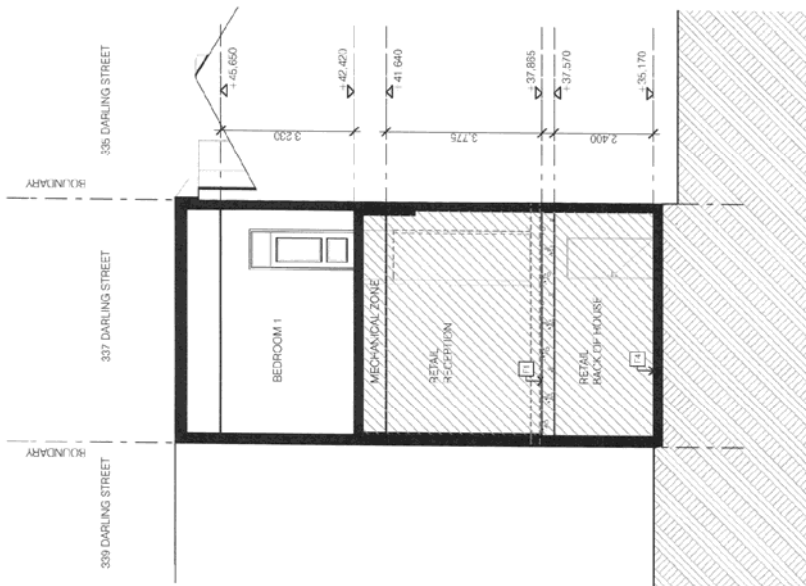
1 SECTION BB
1:100

<p>REV DATE AMENDMENT</p> <p>A 18.05.16 PRE-CIA ISSUE</p> <p>C 20.08.16 INTERIM STAMP OPTION</p>	<p>CLIENT NAME MUNICIPALITY OF 337 DARLING STREET PARRAMATTA NSW 2151</p> <p>PROJECT DETAILS SCALE 1:100 (E.A.)</p>	<p>EXISTING BUILDING FABRIC PROPOSED BUILDING FABRIC BUILDING FABRIC TO BE DEMOLISHED</p>	<p>DA 14 SECTION BB</p>	<p>twatchitects</p>
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NOTES: ALL DIMENSIONS IN METRES UNLESS OTHERWISE SPECIFIED. MANUFACTURING AND INSTALLATION OF ALL MATERIALS TO BE IN ACCORDANCE WITH THE RELEVANT STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.



2 SECTION DD
1:100



1 SECTION CC
1:100

REV DATE AMENDMENT
 A 15.05.16 PRF DA ESSIF
 C 20.08.16 INTERNAL STAIR OPTION

CLIENT NAME: WANGJIAO LIU
 PROJECT: 337 DARLING STREET FIRMANS NSW 7041
 SCALE: 1:100 @ A3
 SECTION CC/DD

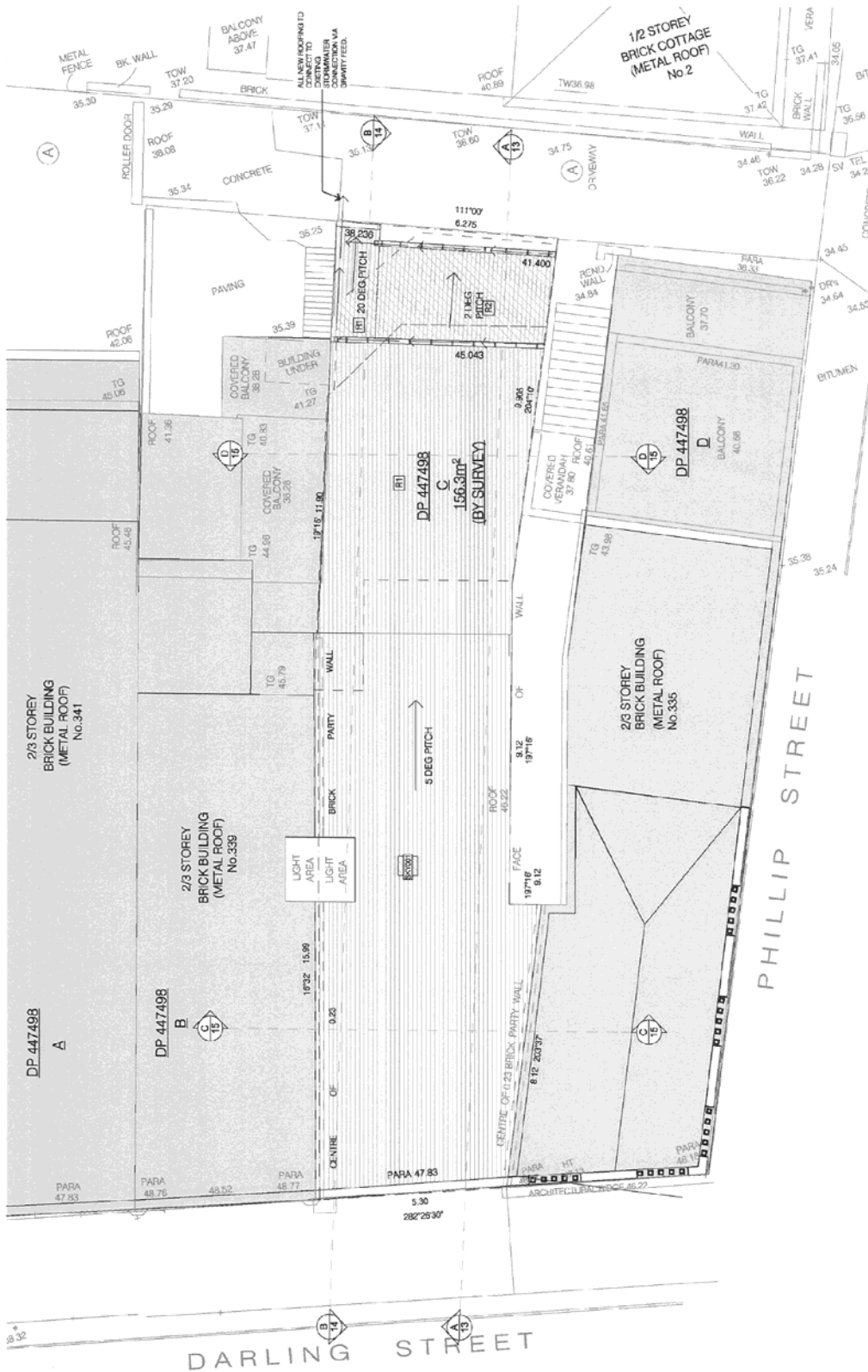
DA 15
 SECTION CC/DD

twarchitects
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 Sydney NSW 2041
 Tel: 02 9550 1234
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 Email: info@twarchitects.com.au
 www.twarchitects.com.au

EXISTING BUILDING FABRIC
 PROPOSED BUILDING FABRIC
 BUILDING FABRIC TO BE DEMOLISHED

NORTH
 35

NOTES:
 1. ALL DIMENSIONS ON THIS PLAN ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS ON THIS PLAN ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. ALL DIMENSIONS ON THIS PLAN ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 4. ALL DIMENSIONS ON THIS PLAN ARE TO FACE UNLESS OTHERWISE SPECIFIED.



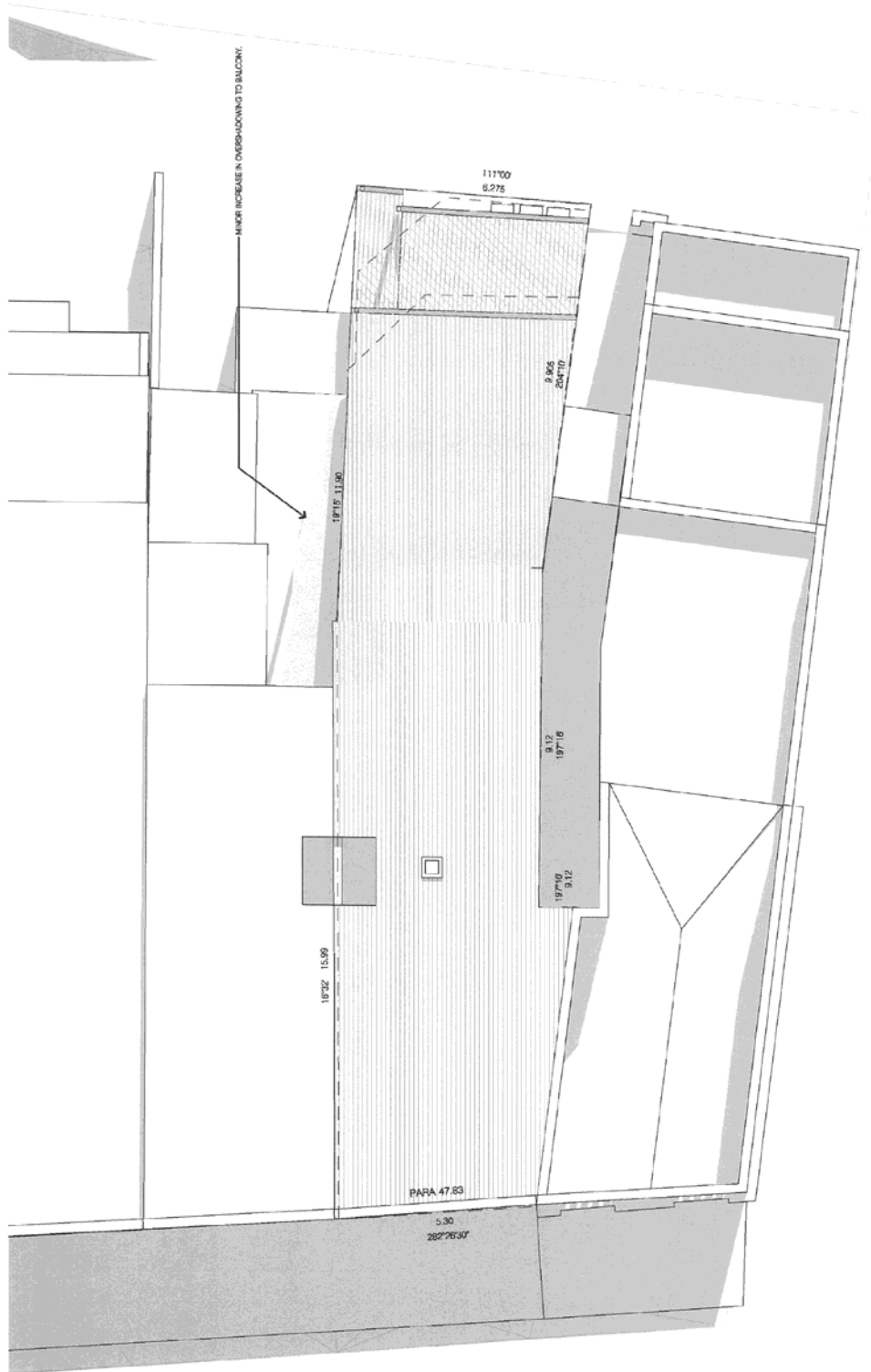
1 CONCEPT STORMWATER PLAN
1:100

CLIENT NAME: 337 DARLING STREET DULMAN NSW 2011
 PROJECT ADDRESS: 337 DARLING STREET DULMAN NSW 2011
 SCALE: 1:100 @ A3
 PROJECT DETAILS: DA 16
 CONCEPT STORMWATER PLAN
 twatchthecis

EXISTING BUILDING FABRIC: [Pattern]
 PROPOSED BUILDING FABRIC: [Pattern]
 BUILDING FABRIC TO BE DEMOLISHED: [Pattern]
 PROPOSED NEW WORKS WITH EXISTING FOOTPRINT: [Pattern]
 PROPOSED STORMWATER: [Pattern]

REV. DATE. AMENDMENT:
 A. 25.06.16 ISSUE FOR DA
 B. 31.10.16 PUMP SET

NOTES:
 ONLY THE WORKS SHOWN ON THIS PLAN ARE TO BE CONSTRUCTED UNLESS OTHERWISE SPECIFIED.
 ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE SPECIFIED.
 PROPOSED STORMWATER INFRASTRUCTURE IS SHOWN IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT'S STORMWATER MANAGEMENT PLAN.



1 SHADOW DIAGRAM - 9AM
1:100

REV	DATE	AMENDMENT
B.	21.10.18	RAMP DA
		RAMP BR1

NOTES AMENDMENTS

DATE: ALL INFORMATION ON THIS PLAN, SPECIFICATIONS AND SCHEDULES ARE THE PROPERTY OF TWEARCHITECTS. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TWEARCHITECTS.

LEGEND

- EXISTING BUILDING FABRIC
- PROPOSED BUILDING FABRIC
- PROPOSED NEW WORKS OUTSIDE OF EXISTING FOOTPRINT
- PROPOSED NEW WORKS WITHIN EXISTING FOOTPRINT
- ADDITIONAL OVER SHADOWING CAUSED BY PROPOSAL
- OUTLINE OF REFLECTOR OVER SHADOWING

CLIENT NAME: BULWAIN HOLDINGS PTY LTD
 CLIENT ADDRESS: 337 DARLING STREET, BULWAIN NSW 2041
 PROJECT ADDRESS: 337 DARLING STREET, BULWAIN NSW 2041
 SCALE: 1:100 (B1 A3)
 PROJECT DETAILS

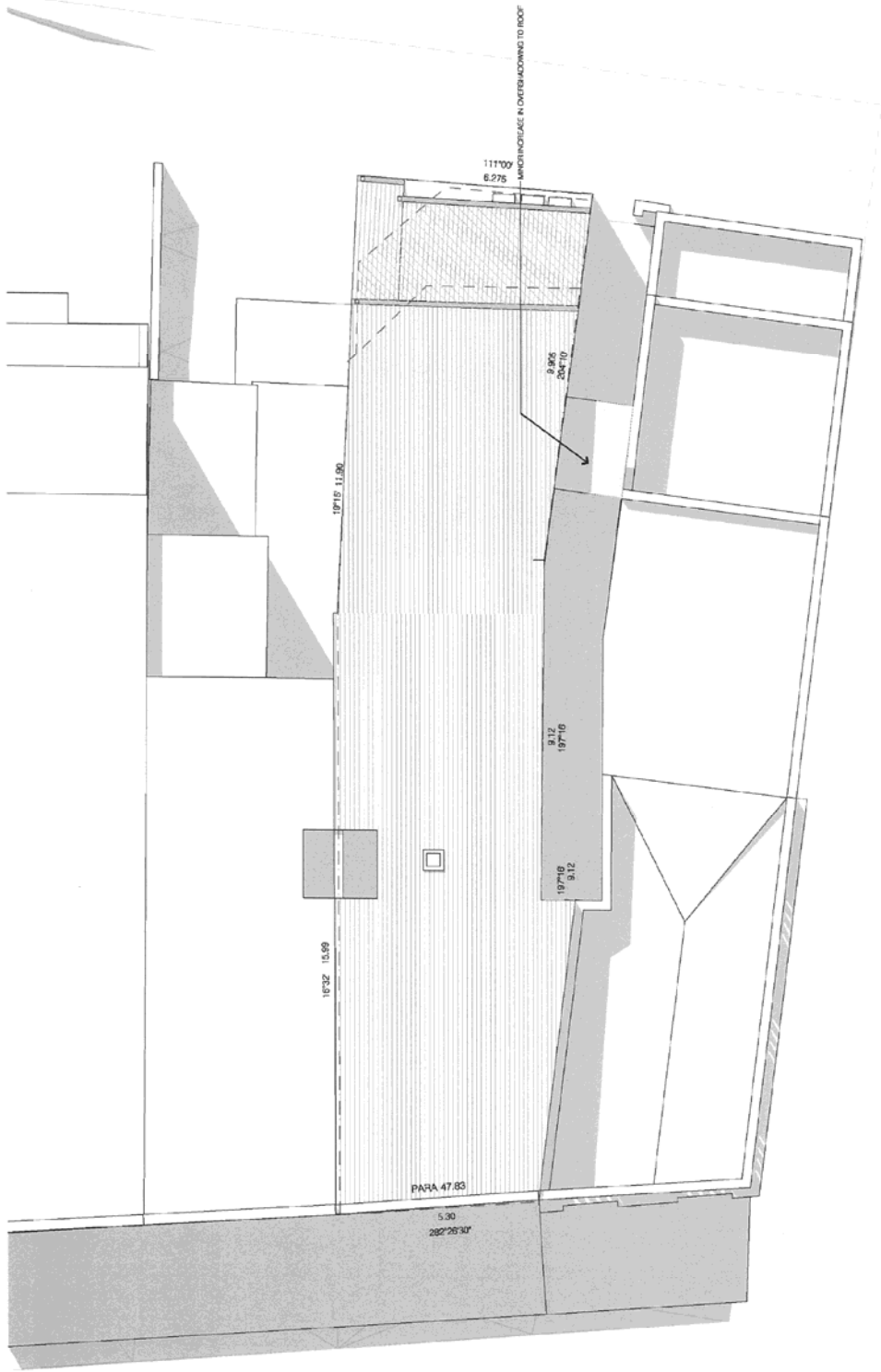
DA 17
 SHADOW DIAGRAM - 9AM

111'00 8.275
 187'16 9.12
 9.12 197'16
 8 AUG 2047/10
 9.12 197'16
 187'16 9.12
 18'32" 15.89
 18'15" 11.90
 5.30
 282°26'30"

MAKE INCREASE IN OVERSHADOWING TO BALCONY.

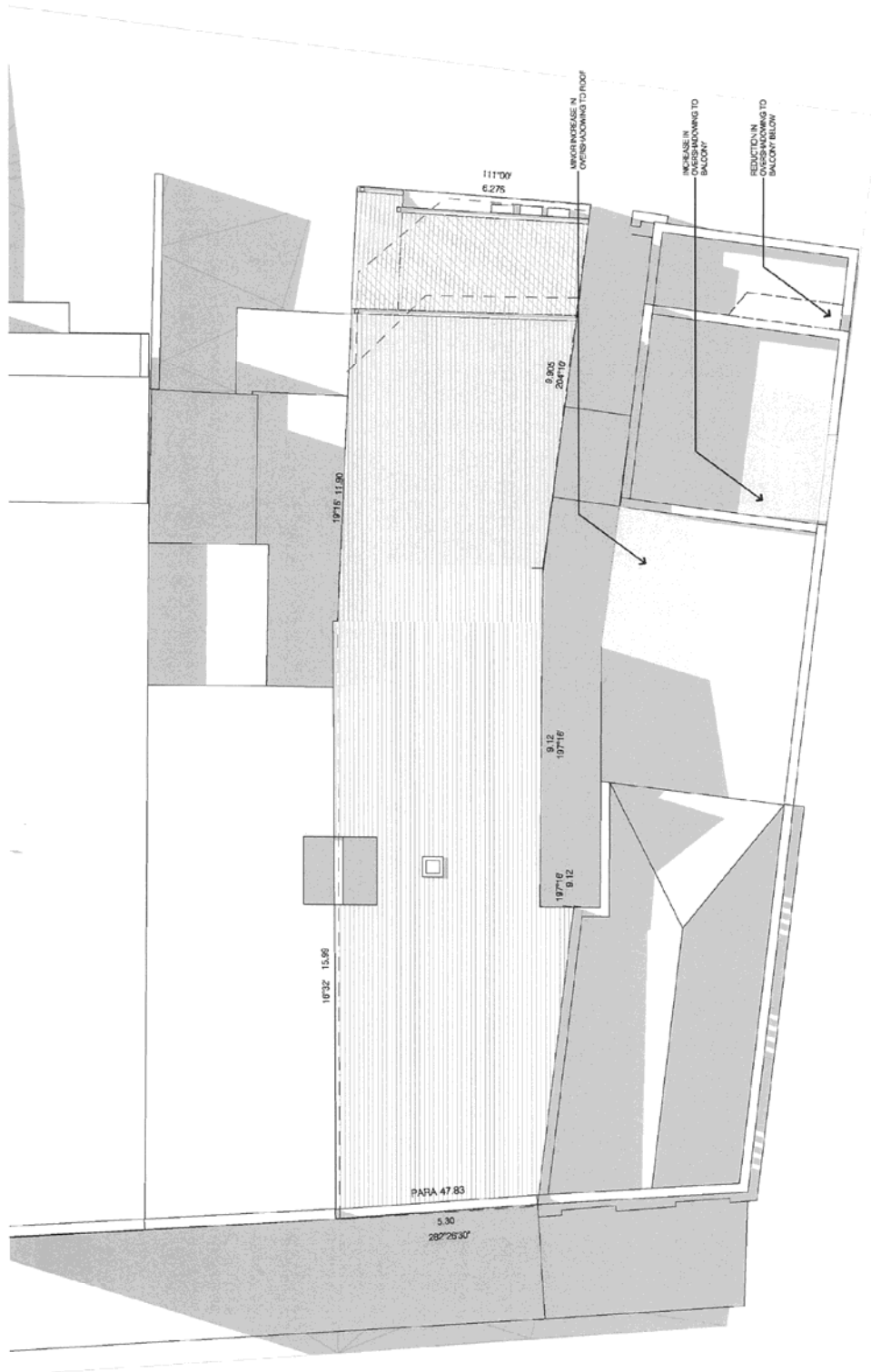
PARA 47.83

twarchitects
 1/100 8505 BEECH
 PT 104/2 604 376
 www.twarchitects.com.au
 A/NZ 65 739 022 488
 Newmarket, Auckland
 Phone: +64 9 488 1990



1 SHADOW DIAGRAM - 12 NOON
1:100

<p>REV. DATE AMENDMENT</p> <p>A. 27.06.16 ISSUE FOR DA</p> <p>B. 31.10.16 FINAL RFP</p>	<p>CLIENT NAME MAURO POLETTI</p> <p>PROJECT ADDRESS 30-32 WILKINS STREET BALMAIN NSW 2041</p> <p>SCALE 1:100 @ A3</p>	<p>DATE 18 DA</p> <p>SHADOW DIAGRAM - 12 NOON</p>	<p>twarchitects</p> <p>27/06/16 100 Darling Street Balmain NSW 2041 t: 02 9554 0027 p: 02 9554 0027 w: twarchitects.com.au n: 181 776 032 248 Thomas Mills 2010</p>
<p>LEGEND</p> <ul style="list-style-type: none"> EXISTING BUILDING FABRIC PROPOSED BUILDING FABRIC BUILDING FABRIC TO BE DEMOLISHED PROPOSED NEW WORKS OUTSIDE OF EXISTING FOOTPRINT PROPOSED NEW WORKS WITHIN EXISTING FOOTPRINT ADJACENT OVER-HANGING MASSING PROPOSAL CENTRE OF PROPOSED OVER-HANGING 		<p>NOTES</p> <p>AMENDMENTS</p> <p>1. TO CORRECT THE MISMATCH BETWEEN THE PROPOSED MASSING OF THE PROPOSED 2ND FLOOR AND THE EXISTING MASSING OF THE EXISTING 2ND FLOOR.</p> <p>2. TO CORRECT THE MISMATCH BETWEEN THE PROPOSED MASSING OF THE PROPOSED 3RD FLOOR AND THE EXISTING MASSING OF THE EXISTING 3RD FLOOR.</p>	



1 SHADOW DIAGRAM - 3PM
1:100

<p>REV. DATE. AMENDMENT.</p> <p>A. 22.06.16 ISSUE FOR DA</p> <p>B. 31.10.16 FINAL SET</p>	<p>CLIENT NAME (TO): PROJECT ADDRESS: SCALE: PROJECT DETAILS:</p> <p>EXISTING BUILDING FABRIC PROPOSED BUILDING FABRIC BUILDING FABRIC TO BE DEMOLISHED PROPOSED NEW WORKS WITHIN EXISTING FOOTPRINT ADDITIONAL OVER SHADOWING CAUSED BY PROPOSAL OUTLINE OF REDUCED OVER SHADOWING</p>	<p>LEGEND</p> <p>NORTH</p>	<p>PROJECT NAME (TO): PROJECT ADDRESS: SCALE: PROJECT DETAILS:</p> <p>EXISTING BUILDING FABRIC PROPOSED BUILDING FABRIC BUILDING FABRIC TO BE DEMOLISHED PROPOSED NEW WORKS WITHIN EXISTING FOOTPRINT ADDITIONAL OVER SHADOWING CAUSED BY PROPOSAL OUTLINE OF REDUCED OVER SHADOWING</p>	<p>DA 19</p> <p>SHADOW DIAGRAM - 3PM</p> <p>twarc Architects</p>
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CLIENT NAME (TO):
 PROJECT ADDRESS:
 SCALE:
 PROJECT DETAILS:
 EXISTING BUILDING FABRIC
 PROPOSED BUILDING FABRIC
 BUILDING FABRIC TO BE DEMOLISHED
 PROPOSED NEW WORKS WITHIN EXISTING FOOTPRINT
 ADDITIONAL OVER SHADOWING CAUSED BY PROPOSAL
 OUTLINE OF REDUCED OVER SHADOWING
 LEGEND
 NORTH
 DA 19
 SHADOW DIAGRAM - 3PM
 twarc Architects
 CLIENT NAME (TO):
 PROJECT ADDRESS:
 SCALE:
 PROJECT DETAILS:
 EXISTING BUILDING FABRIC
 PROPOSED BUILDING FABRIC
 BUILDING FABRIC TO BE DEMOLISHED
 PROPOSED NEW WORKS WITHIN EXISTING FOOTPRINT
 ADDITIONAL OVER SHADOWING CAUSED BY PROPOSAL
 OUTLINE OF REDUCED OVER SHADOWING
 LEGEND
 NORTH