





	
DEVELOPMENT ASSESSMENT PANEL REPORT	
Application No.	DA/2024/0604
Address	2 Goodsir Street ROZELLE
Proposal	Demolition of existing detached dwelling, construction of double storey dwelling, in-ground swimming pool and landscaping works
Date of Lodgement	17 July 2024
Applicant	Mr Mark McFarlane
Owner	Mr Mark D McFarlane Mrs Ashleigh R McFarlane
Number of Submissions	Initial: 15 Renotification: 19
Cost of works	\$608,252.00
Reason for determination at Planning Panel	Number of submissions
Main Issues	Nil
Recommendation	Approved with Conditions
Attachment A	Recommended conditions of consent
Attachment B	Plans of proposed development
Attachment C	Statement of Heritage Significance
	
LOCALITY MAP	
Subject Site	
Objectors	
Notified Area	
Supporters	
 N	
Note: Due to scale of map, not all objectors could be shown.	

1. Executive Summary

This report is an assessment of the application submitted to Council for the demolition of the existing detached dwelling, construction of a double storey dwelling, in-ground swimming pool and landscaping works at 2 Goodsir Street Rozelle.

The application was notified to surrounding properties between 23 July 2024 to 06 August 2024 and 15 written submissions were received in response to the initial notification.

The application was amended and re-notified between 11 March 2025 to 23 March 2025 and 19 written submissions were received in response to the second notification.

The main issues that have arisen from the application include:

- Solar Access
- Bulk and scale
- Parking
- Implied easement
- Tree removal
- Privacy

The modest DCP non-compliances are acceptable given the applicant has worked with Council to address all matters and therefore the application is recommended for approval.

2. Proposal

The proposal seeks consent for the demolition of the existing single storey dwelling and construction of a new two storey dwelling with pool, landscaping, tree removal and off-street parking. The works are detailed as follows:

- Demolition of the existing single storey dwelling and ancillary structures
- Ground floor – Living, kitchen, dining, laundry bedroom and bathroom
- First Floor – three bedrooms, bathroom and ensuite
- Landscaping including alfresco area and swimming pool
- Off-street parking within the access handle of the battle-axe allotment
- The proposal includes the removal of 2 x *Elaeocarpus reticulatus* (Trees 3-4, Blueberry Ash) and 1 x *Yucca aloifolia* (Tree 5, Spanish Bayonet)

3. Site Description

The subject site is located on the northern side of Goodsir Street. The site consists of a battle axe allotment with service handle and vehicular access from Goodsir Street with a total area of 278.2 sqm inclusive of the access handle and is legally described as Lot 5 in DP204208.

The site is zoned R1 – General Residential, pursuant to the Inner West Local Environmental Plan 2022 (IWLEP 2022). The site supports a single storey dwelling house that is not visible

from the street due to being sited on a battle-axe allotment, behind a row of two storey semi-detached and attached terraces (4-10 Goodsir Street). The surrounding properties support a mix of single and two storey dwellings including two storey terrace adjoining to the east and a part two / three storey terraces and warehouse building adjoining the site to the west.

There are five trees located on the site of which three are proposed to be removed. Two Blueberry Ash trees located next to the boundary with 4 and 6 Goodsir Street are proposed to be retained.

A sewerage easement traverses across the east-west of the site towards the southern boundary.

The subject site is within The Valley Heritage Conservation Area. The site is not identified as flood prone however is in vicinity to land identified as flood prone to the north east. The site adjoins land which was previously identified as potentially contaminated, located to the north east.



Figure 1 – Aerial map of subject site outlined in yellow

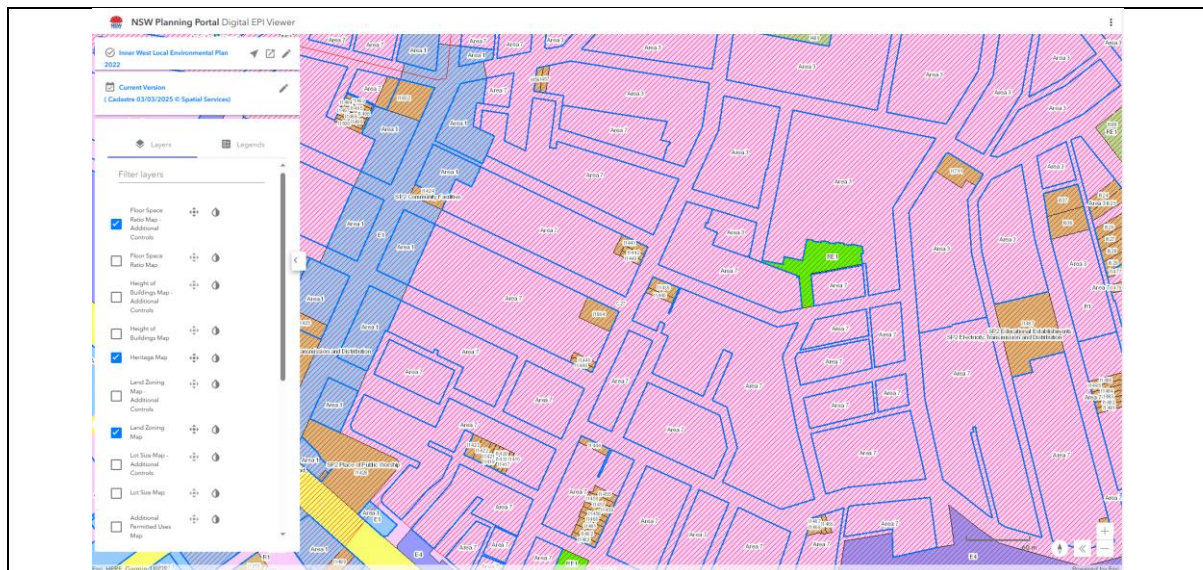


Figure 2 – NSW Planning Portal Digital EPI Viewer – R1 Residential Zone



Figure 3 – Streetscape frontage of access handle (Dwelling is located to the rear of the of the battle axe allotment and not readily visible from the street)



Figure 4 – Southern setback of the site (trees to be removed)

4. Background

Site history

The following application outlines the relevant development history of the subject site and any relevant applications on surrounding properties.

Subject Site

Application	Proposal	Decision & Date
DA/2024/0134	Demolition of parts of existing dwelling and entire existing roof. Alts and ads to dwelling - proposing 1st floor addition, external pool, ground floor extension, landscaping.	Rejected – 11/03/2024
REV/2023/0024	Demolition of parts of existing dwelling and entire existing roof. Alts and ads to dwelling - proposing 1st floor addition, external pool, ground floor extension, landscaping.	Withdrawn – 02/02/2024
DA/2022/0779	Demolition of existing dwelling, construction of a new two storey dwelling, pool, removal of five trees and landscaping	Refused – 08/08/2022

D/2014/305	Demolition of an existing dwelling & construction of two storey dwelling with basement plus parking a Goodsir Street boundary with carport and garage door	Withdrawn – 20/08/2014
DA/1325/1968	Construct new dwelling	Approved – 25/06/1968
DA/2934/1966	Erect 6 lock-up garages	Approved – 04/10/1966

Application history

The following table outlines the relevant history of the subject application.

Date	Discussion / Letter / Additional Information
22/11/2024	Request for further information – amendments.
26/11/2024	Meeting held between Council and applicant to discuss outstanding concerns with the proposal.
07/02/2025	Amended plans received
11/03/2025	Application re notified
15/04/2025	Email correspondence to all objectors to arrange site visit
17/04/2025 29/04/2025 01/05/2025 02/05/2025 06/05/2025	Site visit to all responding objectors.
09/05/2025	Meeting held between Council and applicant to discuss outstanding concerns with the proposal in response to site visits
13/05/2025	Final revised plans provided

5. Assessment

The following is a summary of the assessment of the application in accordance with Section 4.15 of the *Environmental Planning and Assessment Act 1979* (EPA Act 1979).

a. Environmental Planning Instruments

The application has been assessed and the following provides a summary of the relevant Environmental Planning Instruments.

State Environmental Planning Policies (SEPPs)

SEPP (Resilience and Hazards) 2021

Chapter 4 Remediation of land

Section 4.6(1) of the *Resilience and Hazards SEPP* requires the consent authority not consent to the carrying out of any development on land unless:

- (a) *it has considered whether the land is contaminated, and*
- (b) *if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
- (c) *if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

The subject site is located adjacent to properties that have been previously identified as contaminated; 46 Evans Street and 1 Henry Street.

1 Henry Street - An existing double storey dwelling on the allotment was constructed under D/2007/444 which approved the following: Remediation of site, demolition of existing cottage and construction of double storey dwelling with a car space in front of setback area.

46 Evans Street - Has been redeveloped into two residential dwellings under D/2006/466 which approved the following: Demolition of existing structures and construction two dwellings with basement carparking and removal of one street tree. The application included the remediation of the site.

Both sites have been remediated as part of their development. The two sites are located to the north of the subject site and are located generally downhill from 2 Goodsir Street. Council considers that the site therefore would not be contaminated and is suitable for development.

In considering the above, there is no evidence of contamination on the site.

There is also no indication of uses listed in Table 1 of the contaminated land planning guidelines within Council's records. The land will be suitable for the proposed use as there is no indication of contamination.

SEPP (Sustainable Buildings) 2022

The applicant has included a BASIX Certificate as part of the lodgment of the application (lodged within 3 months of the date of the lodgment of this application) in compliance with the *EPA Regulation 2021*.

A. *SEPP (Biodiversity and Conservation) 2021*

Chapter 2 Vegetation in non-rural areas

The *Biodiversity and Conservation SEPP* requires consideration for the protection and/or removal of vegetation and gives effect to the local tree preservation provisions of C1.14 Tree Management of the LDCP 2013.

The proposal includes the removal of 2 x *Elaeocarpus reticulatus* (Trees 3-4, Blueberry Ash) and 1 x *Yucca aloifolia* (Tree 5, Spanish Bayonet).

The above-mentioned vegetation is subject to the Arboricultural Impact Assessment (AIA) report prepared by Urban Arbor, Rev 4 dated 7 February 2025.

Whilst as a group the four (4) Blueberry Ash (Trees 1-4) provide good screening for both the subject site and the adjacent properties, when assessed individually they are of a 'low' landscape value. The AIA notes that trees 1-3 are 5m in height however they are estimated to be closer to 6m. These trees are in good health however only in fair condition, with trees 2 and 3 having phototropic leans towards the dwelling. Trees 3 - 5 are not considered (individually) such that they should be a constraint to development. It should be noted when the initial DA was assessed the DCP covered trees greater than 6 metres in height which these trees were not at the time.

Tree 5 (*Yucca*) is in good health however has a significant phototropic lean towards the dwelling.

Council's Tree Officer has noted the following;

*It is noted that the proposal to excavate for a pool has the potential to impact a semi mature tree (*Pyrus species*) at the rear of 6 Goodsir Street. This has been taken into consideration and a setback of 1.2 metres from the south western boundary, within 2.2 metres of the *Pyrus* is recommended for the pool excavation to avoid roots should they be in the subject site.*

Comment:

On inspection the semi mature tree (*Pyrus species*) at the rear of 6 Goodsir Street is elevated above natural ground level and is located 600mm from the northern elevation. Therefore, the pool excavation can be supported at the location indicated.

The submission from number 6 Goodsir Street also mentioned the screening that the Blueberry Ash provides however this cannot be a reason to retain the trees given their form and low retention value and it is considered that they should provide their own screening and not rely on plantings on other sites that they have no control over.

Comment:

The applicant is retaining Tree 1 and 2 Blueberry Ash located to the rear setback of No. 4 and 6 Goodsir Street, this is considered sufficient screening in addition to the existing rear boundary fence.

Overall, the proposal is considered acceptable with regard to the *Biodiversity and Conservation SEPP* and C1.14 Tree Management of the LDCP 2013 subject to the imposition of conditions, which have been included in the recommendation of this report.

Chapter 6 Water Catchments

Section 6.6 under Part 6.2 of the *Biodiversity and Conservation SEPP* provides matters for consideration which apply to the proposal. The subject site is located within the designated hydrological catchment of the Sydney Harbour Catchment and is subject to the provisions contained within Chapter 6 of the above *Biodiversity Conservation SEPP*.

It is considered that the proposal remains consistent with the relevant general development controls under Part 6.2 of the *Biodiversity Conservation SEPP* and would not have an adverse effect in terms of water quality and quantity, aquatic ecology, flooding, or recreation and public access.

Inner West Local Environmental Plan 2022

The application was assessed against the following relevant sections of the *Inner West Local Environmental Plan 2022 (IWLEP 2022)*.

Part 1 – Preliminary

Section	Proposed	Compliance
Section 1.2 Aims of Plan	<p>The proposal satisfies the section as follows:</p> <ul style="list-style-type: none"> • The proposal encourages development that demonstrates efficient and sustainable use of energy and resources in accordance with ecologically sustainable development principles, • The proposal conserves and maintains the natural, built and cultural heritage of Inner West, • The proposal prevents adverse social, economic and environmental impacts on the local character of Inner West, • The proposal prevents adverse social, economic and environmental impacts, including cumulative impacts 	Yes

Part 2 – Permitted or prohibited development

Section	Proposed	Compliance
Section 2.3 Zone objectives and Land Use Table	<ul style="list-style-type: none"> • The application proposes a dwelling house, dwelling houses are permissible with consent in the R1 General Residential Zone. • The proposal is consistent with the relevant objectives of the zone, to provide residential development that maintains the character of built and natural features in the surrounding area 	Yes
Section 2.7 Demolition requires development consent	<p>The proposal satisfies the section as follows:</p> <ul style="list-style-type: none"> • Demolition works are proposed, which are permissible with consent; and 	Yes, subject to conditions

Section	Proposed	Compliance
	<ul style="list-style-type: none"> Standard conditions are recommended to manage impacts which may arise during demolition. 	

Part 4 – Principal development standards

Section	Proposed		Compliance
Section 4.3C (3)(a) Landscaped Area	Minimum	20% or 55.64sqm	Yes
	Proposed	30.86% or 85.64sqm	
Section 4.3C (3)(b) Site Coverage	Maximum	60% or 166.92sqm	Yes
	Proposed	46% or 127.76sqm	
Section 4.4 Floor space ratio	Maximum	0.8:1 or 222.56sqm	Yes
	Proposed	0.54:1 or 152.57sqm	
Section 4.5 Calculation of floor space ratio and site area	The site area and floor space ratio for the proposal has been calculated in accordance with the section.		Yes

NB – the site is not burdened or benefited by any right of way or easement; therefore, the entire site area of 278.2 sqm is used to calculate the key principle development standards.

Part 5 – Miscellaneous provisions

Section	Compliance	Compliance
Section 5.10 Heritage conservation	<p>The site is located in The Valley Heritage Conservation Area (HCA). The building is not considered to be contributory.</p> <p>The proposal achieves the objectives of this section as follows:</p> <p>Generally, the proposal to substantially replace the existing dwelling with a two-storey dwelling is acceptable on heritage grounds as the current building dates from the 1960s. The proposal is acceptable from a heritage perspective subject to conditions relating to materials and finishes.</p> <p>Given the above the proposal preserves the environmental heritage of the Inner West</p>	Yes

Part 6 – Additional local provisions

Section	Proposed	Compliance
Section 6.1 Acid sulfate soils	<ul style="list-style-type: none"> The site is identified as containing Class 5 acid sulfate soils. The proposal is considered to adequately satisfy this section as the application does not propose any works that would result in any significant adverse impacts to the watertable. 	Yes

Section	Proposed	Compliance
Section 6.2 Earthworks	<ul style="list-style-type: none"> The proposed earthworks are unlikely to have a detrimental impact on environmental functions and processes, existing drainage patterns, or soil stability. 	Yes
Section 6.3 Stormwater Management	<ul style="list-style-type: none"> The development maximises the use of permeable surfaces, includes on site retention as an alternative supply and subject to standard conditions would not result in any significant runoff to adjoining properties or the environment. 	Yes, subject to conditions

B. Development Control Plans

Summary

The application has been assessed and the following provides a summary of the relevant provisions of Leichhardt Development Control Plan 2013 (LDCP 2013)

LDCP 2013	Compliance
Part A: Introductions	
Section 3 – Notification of Applications	Yes
Part C	
C1.0 General Provisions	Yes
C1.1 Site and Context Analysis	Yes
C1.2 Demolition	Yes
C1.4 Heritage Conservation Areas and Heritage Items	Yes
C1.7 Site Facilities	Yes
C1.8 Contamination	Yes
C1.11 Parking	Yes – see discussion
C1.12 Landscaping	Yes – see discussion
C1.14 Tree Management	Yes
Part C: Place – Section 2 Urban Character	
C2.2.5.1 The Valley Distinctive Neighbourhood	Yes
Part C: Place – Section 3 – Residential Provisions	
C3.1 Residential General Provisions	Yes – see discussion
C3.2 Site Layout and Building Design	Yes – see discussion
C3.3 Elevation and Materials	Yes – see discussion
C3.5 Front Gardens and Dwelling Entries	Yes
C3.6 Fences	Yes
C3.7 Environmental Performance	Yes
C3.8 Private Open Space	Yes

C3.9 Solar Access	Yes – see discussion
C3.11 Visual Privacy	Yes – see discussion
C3.12 Acoustic Privacy	Yes – see discussion
Part D: Energy	
Section 1 – Energy Management	Yes
Section 2 – Resource Recovery and Waste Management	
D2.1 General Requirements	Yes
D2.2 Demolition and Construction of All Development	Yes
D2.3 Residential Development	Yes
Part E: Water	
Section 1 – Sustainable Water and Risk Management	
E1.1 Approvals Process and Reports Required with Development Applications	Yes
E1.1.1 Water Management Statement	Yes
E1.1.3 Stormwater Drainage Concept Plan	Yes
E1.2 Water Management	Yes
E1.2.1 Water Conservation	Yes
E1.2.2 Managing Stormwater within the Site	Yes
E1.2.5 Water Disposal	Yes
E1.2.7 Wastewater Management	Yes

The following provides discussion of the relevant issues:

C1.11 Parking

The proposal does not change the existing situation of parking vehicles on the battle axe handle with the exception of the gate and modified material finish of the driveway.

C1.12 Landscaping

As referred to in this report the proposed removal of existing vegetation is supported subject to the replacement planting as indicated on the Landscape Plan.

The applicant is retaining Tree 1 and 2 Blueberry Ash located to the rear setback of No. 4 and 6 Goodsir Street providing sufficient screening in addition to the existing rear boundary fence.

C3.1 Residential General Provisions

O3 To ensure that alterations, additions to residential buildings and new residential development are compatible with the established setting and character of the suburb and neighbourhood and compatible with the desired future character and heritage significance of the place and its setting.

Comment: The proposed double storey dwelling has been designed to ensure that the siting and built form reasonably protects the amenity of the site and surrounding sites despite being a complex and constrained battle axe block. Being a non-contributory building in a heritage

conservation area and not readily seen from the street, the built form and materiality is considered to meet the objective.

O4 To ensure that all residential development is compatible with the scale, form, siting and materials of existing adjacent buildings.

Comment: The proposed double storey dwelling is considered to be compatible with the scale and form of the surrounding double and part three storey dwellings in the immediate locale despite being located on a battle axe block.

O5 To ensure that all residential development is consistent with the density of the local area as established by the Inner West LEP 2022.

Comment: The proposed dwelling complies with key development principles outlined under the Inner West LEP 2022 for Site Coverage, Landscape Area and Floor Space Ratio.

O6 To promote optimal environmental performance of all residential buildings.

Comment: The siting of the dwelling and issued BASIX Certificate confirms the dwelling can optimise environmental performance on the constrained battle axe block.

O7 To ensure that the amenity, including solar access and visual privacy, of the development and adjacent properties is not adversely impacted.

Comment: The siting, bulk and scale of the proposed dwelling has been amended several times to ensure that the amenity of solar access and privacy is not adversely impacted to the 10 adjacent properties surrounding the constrained battle axe block.

C3.2 Site Layout and Building Design

Building Location Zone

The proposal seeks to bring forward and extend the front building line from what is existing on the site, whilst providing a new first floor where the current development is single storey.

The Building Location Zone (BLZ) is the part of the subject site where it can be reasonably expected that a building can be located. The BLZ is determined by having regard to the main building on the adjacent properties.

The proposal entails the provision of a new two storey dwelling on a battle-axe allotment, therefore there is no comparable BLZ pertaining to the proposed development.

Where a development has a front or rear setback that is clearly uncharacteristic of the general pattern of development within the street, Council may exercise some flexibility in consideration of a proposed BLZ in the context of the overarching objectives and following parameters pursuant to control C6 of C3.2:

- a) *amenity to adjacent properties (i.e. sunlight, privacy, views) is protected and compliance with the solar access controls of this Development Control Plan is achieved.*

Comment: the proposed development has been substantially modified in height and siting to address bulk and scale, privacy, views and solar access. The solar access is near compliant with the exception of 9am solar access to the private open space to the 3 of the 4 southern neighbours on June 21 winter solstice. Refer to assessment under C3.9 in this report.

- b) *the proposed development will be compatible with the existing streetscape, desired future character and scale of surrounding development;*

Comment: the proposed development will not be readily visible from the public domain and is generally of a scale (two storeys) that is commensurate to surrounding developments. Matters of amenity impacts have been resolved through reduction in height, siting, articulation, first floor setbacks and materiality.

- c) *the proposal is compatible in terms of size, dimensions privacy and solar access of private open space, outdoor recreation and landscaping;*

Comment: the proposed development complies with the minimum landscaped area, site coverage and private open space provisions as required by the IWLEP 2022 and Leichhardt Development Control Plan 2023. The reconfigured private open space to the north of the dwelling ensures compliant solar access is provided to this space.

- d) *retention of existing significant vegetation and opportunities for new significant vegetation is maximised; and*

Comment: The applicant is retaining Tree 1 and 2 Blueberry Ash located to the rear setback of No. 4 and 6 Goodsir Street, resulting in providing sufficient screening in addition to the existing rear boundary fence.

- e) *the height of the development has been kept to a minimum to minimise visual bulk and scale, as viewed from adjoining properties, in particular when viewed from the private open space of adjoining properties.*

Comment: The overall height of the development has been kept to a minimum to address amenity impacts to neighbouring properties. The proposed first floor ceiling height of 2.6m, and sliding scale first floor between 2.4m and 1.8m coupled with relocated footprint of the first floor component, results in acceptable bulk and scale and overshadowing impacts to the southern neighbouring properties. In consideration of the above the proposed development in its current form is acceptable in terms of BLZ where the cumulative impacts of the proposed first floor scale, siting and orientation have minimal impacts on solar access and bulk and scale.

Subsequently, the objectives and requirements of this Part have been met. The overall height of the amended development combined with minimal setback breaches to the first floor northern and western elevations and compliance with the prescribed key development standards of the Inner West Local Environmental Plan 2022 for Floor Space Ratio, Site Coverage and Landscape Area the amended design, modified siting articulation and materiality address previous matters of overshadowing and bulk and scale impacts to the southern and western neighbouring properties.

Side Setbacks

The proposal alters the ground floor side setbacks established by the existing dwelling house whilst providing a new first floor addition. The proposal has articulated maximum side building wall height of 5.9m, 5.6m and 4.5m to the eastern, northern and western elevations to the first floor, with varied ground and first floor side setbacks which address the side setback controls provided in C7 of this part as outlined below

Elevation	Wall Height (m)	Required Setback (m)	Proposed Setback (m)	Complies	Variation
Eastern	5.9m (max)	1.8m	2.4m	Yes	N/A
Western	5.9m (max)	1.8m	1.4 to 1.5m	No	0.3 & 0.4m
Southern	4.9m (max)	1.2m	4m	Yes	N/A
Northern	5.6m (max)	1.6m	1.12m to 3m	No	0.48m

Pursuant to Clause C3.2 of the LDCP 2013, where a proposal seeks a variation of the side setback control graph, various tests need to be met. These tests are assessed below:

Merit Test	Comment
Building typology	The proposal is a double storey detached dwelling. The surrounding development is predominantly attached double and part three storey dwellings and a commercial dwelling to the southwest. On assessment, the double storey building typology is the most prominent, which this development matches.
Pattern of Development	The unique battle axe allotment results in the pattern of development not matching that of those surrounding it, the siting of the dwelling is located off all boundaries and affords separation and a green scape corridor compared with its neighbours.
Bulk and Scale	The matters of bulk and scale have been addressed by way of materiality and articulation
Amenity Impacts	There are no amenity impacts regarding privacy, all first-floor windows are either screened, opaque glass or have a sill height of 1.6m Solar access is acceptable as outlined within this report.
Maintenance of adjoining properties	All surrounding allotments are not impacted by way of maintenance with the proposed first floor setbacks

Accordingly, the proposed setbacks to the first floor are acceptable

C3.3 Elevation and Materials

The proposed development will not be readily visible from the public domain and is generally of a scale (two storeys) that is commensurate to surrounding developments. Matters of materiality have been considered by Councils Heritage Officer and subject to conditions is acceptable.

C3.11 Visual Privacy

New windows are proposed in the northern elevation at first floor level with 1.6m high sill windows with the exception of a fixed floor to ceiling windows in opaque glass serving a hallway.

The western first floor windows have been deleted and the first-floor eastern window serving a bedroom is located 2.5m from the eastern boundary adjacent to a shed on the boundary located at 12 Goodsir Street.

The first floor south facing bedroom window is adequately screened by 25-degree roof pitch roof battens on the southern roof plane.

All ground floor windows are adequately separated by the building's setback and existing boundary fences.

C3.9 Solar Access

Shadow diagrams portraying the shadow cast by the existing structures and the proposed development for the winter solstice were submitted with the application.

New Dwellings

As the proposal includes a new dwelling, C4 (Private Open Space) and C9 (Main Living room) of the LDCP 2013 are applicable. The proposal satisfies these controls as follows:

- *New residential dwellings are to obtain a minimum of three (3) hours of direct sunlight to the main living room between 9am and 3pm during the winter solstice.*
- *Private open space is to receive a minimum three hours of direct sunlight over 50% of the required private open space between 9am and 3pm at the winter solstice.*

The primary living area is serviced by southeast, northeast windows to the ground and first floor (by way of condition) and will achieve 3 hours of solar access between 9am and 3pm on June 21 winter solstice. To improve solar access to the living room, Window 15 a condition is included in the recommendation requiring the window to be amended such that it is obscurely glazed but increased in size to increase opportunity for solar access.

The solar access diagrams demonstrate that the proposed reconfigured POS to the north of the site will receive solar access between 9am and 11am in mid-winter which does not meet the 3 hour requirement. It is noted that this is largely attributed to site constraints being a battle axe allotment and requiring the bulk of the development to be sited to the north to minimise overshadowing impacts to southern neighbouring properties.

The applicant demonstrates the equinox solar access to the northern and southern located POS will receive solar access to 50% of the POS between 9am and 3pm. To ensure minimal amenity impact to solar access to the POS and living areas of the southern neighbours due to the constraints of the battle axe block, the solar access demonstrated can meet the following objectives under Clause 3.9 – Solar Access.

O1 Development shall:

- a. provide adequate sunlight to main living room and private open space;*

- b. provide daylight to all habitable rooms;*
- c. provide a high level of amenity;*
- d. protect residential amenity for adjoining development;*
- e. increase energy efficiency; and*
- f. Controls minimise the degree of overshadowing to neighbouring properties.*

Minimise impact to neighbouring properties – Living areas

Street Address	Orientation	Control
1 Henry Street 3 Henry Street 3a Henry Street 7 Henry Street	South	2 hours - to north facing glazing serving the main living room
48 Evans Street 46 Evans Street 46a Evans Street	East/West	2 hours - to north facing glazing serving the main living room
18 Goodsir Street 12 Goodsir Street 10 Goodsir Street 8 Goodsir Street 6 Goodsir Street 4 Goodsir Street	North	3 hours – to north facing glazing serving the main living room

Complies: the development has no impact to the existing solar access to East, West and North facing living areas as a result of the proposed buildings siting, height, bulk and scale.

Minimise impact to neighbouring properties – Private open space

The control seeks to minimise overshadowing to neighbouring properties based on the orientation of the private open space with solar access to 50% of the total area for hours as noted below. The surrounding allotments private open space is orientated as follows:

Street Address	Orientation	Control
1 Henry Street 3 Henry Street 3a Henry Street 7 Henry Street	South facing	2 hours
18 Goodsir Street 12 Goodsir Street 10 Goodsir Street 8 Goodsir Street 6 Goodsir Street 4 Goodsir Street	North facing	3 hours
48 Evans Street 46 Evans Street 46a Evans Street	East/west	2.5 hours

The submitted shadow diagrams indicate that the private open space at 10 Goodsir Street which is approx. 26sqm in size will meet control C19:

C19 Where surrounding dwellings currently receive less than the required amount of solar access to their private open space between 9am and 3pm during the winter solstice, no further reduction of solar access is permitted.

The submitted shadow diagrams for winter solstice indicate the solar access to the private open space at 4, 6 and 8 Goodsir Street which is approx. 26sqm (8 Goodsir) and approx. 25sqm (4 and 6 Goodsir) remain unchanged between 10am and 3pm as a result of the proposed development. However, there would be additional overshadowing between 9.00am and 10.00am midwinter – see below

No. 4 – approx. 25sqm POS 50% equalling 12.5sqm

Time	Existing %	Proposed %
9am	3.86sqm or 11%	Nil

No. 6 – approx. 26sqm POS 50% equalling 13sqm

Time	Existing %	Proposed %
9am	4.14sqm or 12.07%	Nil

No.8 – approx. 26sqm POS 50% equalling 13sqm

Time	Existing %	Proposed %
9am	5.31sqm or 17%	1.93sqm or 6%

None of the southern adjoining dwellings (Nos 4-10 Goodsir Street) receive the minimum of three hours of solar access to 50% of their respective north facing private open space at present nor as a result of the proposed development.

The applicant has made a number of changes to the originally proposed design in an effort to reduce amenity impacts to neighbouring properties. Council considers that the reduction of overshadowing from the original design is a positive outcome given the constraints of the site.

As the proposed development does not comply with the controls, consideration of the objectives of the control have found as follows:

- Reasonableness: The proposed building meets the key development principles of site coverage, landscaped area and floor space ratio, and complies with those development standards. Council considers a balanced outcome of development and protection of amenity has been achieved and this is considered to be a reasonable approach
- Site orientation: the site is a constrained battle axe block with 10 adjoining allotments with private open space (POS) to each boundary and with 4 immediate dwellings to the south that require protection of privacy and solar access. The orientation of the dwelling on the site needs to be located to the northwest to ensure a reasonable protection of amenity can be achieved.
- Relative levels: The dwelling has reduced the floor to ceiling levels of the building from 3m to 2.6m on the ground floor and 3.1m to a sliding height of 2.4m to 1.8m on the second floor.
- Designed to minimise impact: The dwelling has been through four (4) design amendments to achieve a balance of the applicants needs while considering the needs of the adjacent neighbours in terms of protection of amenity.

- Reasonably available alternative design solutions: Eliminating the overshadowing at 9am to the POS of 4, 6 and 8 Goodsir Street would require more than 50% of the first floor to be deleted. Council considers that all reasonable efforts have been exhausted to achieve a double storey dwelling on the constrained battle axe block.

C3.12 Acoustic Privacy

The location of the pool pump and air conditioner condenser, located on the plans, will be required to operate under manufacturers specifications in terms of complying with relevant standards for noise levels.

The location of the pool and POS and the dwelling are considered to produce noise associated with residential living and are acceptable as they are unlikely to result in adverse amenity impacts to surrounding dwellings.

C. The Likely Impacts

These matters have been considered as part of the assessment of the development application. It is considered that the proposed development will not have significant adverse environmental, social or economic impacts upon the locality.

D. The Suitability of the Site for the Development

The proposal is of a nature in keeping with the overall function of the site. The premises are in a residential surrounding and amongst similar uses to that proposed.

E. Submissions

The application was required to be notified in accordance with Council's Community Engagement Strategy between 23 July 2024 to 06 August 2024 for a period of 14 days to surrounding properties and a further 14 days between 11 March 2025 to 23 March 2025 notifying the amended proposal.

- Nineteen (19) submissions were received in response to the initial notification.
- Fifteen (15) submissions were received in response to renotification of the amended application.

The following issues raised in submissions have been discussed in this report:

- Bulk and scale – Discussed in Part 5(c), C3.2 Site Layout and Building Design
- Visual Privacy – Discussed in Part 5(c), C3.11 Visual Privacy
- Overshadowing - Discussed in Part 5(c), C3.9 Solar Access
- Tree Removal – Discussed in Part 5(a)(ii)

- Contamination – Discussed in Part 5(a)(i)
- Impact on Heritage – Discussed in Part 5(a)(iv), C5.10 Heritage Conservation
- Setbacks – Discussed in Part 5(c), C3.2 Site Layout and Building Design
- Building Location Zone - Discussed in Part 5(c), C3.2 Site Layout and Building Design
- Bulk and scale - Discussed in Part 5(c), C3.2 Site Layout and Building Design
- Impact on streetscape - Discussed in Part 5(a)(iv), C5.10 Heritage Conservation and Part 5(c) C1.4 Heritage Conservation Areas and Heritage Items.

Issue: Noise

Comment: The proposal retains the existing use of the site for residential purposes. All living areas are located on the ground floor and orientated adjacent to respective outdoor living areas of neighbouring properties with no elevated external living spaces. The proposed pool, located along the southern boundary, is adjacent to the POS of the neighbouring properties of 8 and 10 Goodsir Street and is now located over 1m from the boundary. Pool equipment is located to the eastern boundary with adequate acoustic housing incorporated.

Air conditioning condensers are located to the eastern boundary and will comply with relevant requirements regarding noise when in operation.

Issue: Stormwater management

Comment: Councils' Development Engineer has reviewed the application inclusive of the Stormwater Management Plan and concludes that adequate stormwater management provisions have been adopted for the proposal, subject to the imposition of conditions which are included in the recommendation of this report.

Issue: Non-compliant and unsafe car parking in battle axe access handle

Comment: The parking is an existing arrangement and there is no impediment to the continued use of the access handle as there is no substantive change to this area.

Issue: View loss

Comment: The development will not result in the loss of any significant views or of views that would be protected under planning controls.

Issue: Energy Efficiency

Comment: A current revised BASIX certificate has been provided which demonstrates that the new dwelling will achieve adequate energy efficiency provisions.

Issue: Demolition (partial demolition to justify alterations and additions)

Comment: The proposal includes demolition of the existing dwelling

Further issues raised in the submissions received are discussed below:

Concern	Comment
Implied Easement	Council acknowledges that there might be services located on the access handle of No. 2 Goodsir Street associated with the row of terraces identified at No. 4, 6, 8 & 10 Goodsir Street. Council also acknowledges that there is no registered right of way

	<p>or easement on Lot 5 in DP204208 that benefits or burdens another property adjacent to the survey boundaries.</p> <p>Matters relating to the subject of access / service are of a civil nature and can not be assessed nor conditioned under the relevant legislation under the assessment of this application.</p>
Property value	It is considered that matters that may affect property value, such as amenity impacts, have been assessed and considered above. Furthermore, the proposal is consistent with the zoning objectives of the site.
FSR Breach (first floor FSR greater than FSR within adjacent dwellings)	The site is not burdened or benefited by any right of way or easement; therefore, the entire site area is 278.2 sqm is used to calculate the key principle development standards. The FSR is calculated by dividing the entire gross floor area over the site and is not calculated by separation of each floor.
Cost of works	The cost of works schedule was accepted at lodgement.
Reasonableness test	The site is located in a general residential zone, although the site is constrained by being adjacent to ten (10) allotments, double storey dwellings are permissible in the zone. To assess the amenity impacts against the controls and objectives of the Leichhardt Development Control Plan 2013 against the planning principles of the Inner West Local Environmental Plan 2022 has resulted in a recommendation for approval.
Removal of hedge	The applicant is retaining Tree 1 and 2 Blueberry Ash located to the rear setback of No. 4 and 6 Goodsir Street, providing sufficient screening in addition to the existing rear boundary fence.

F. The Public Interest

The public interest is best served by the consistent application of the requirements of the relevant Environmental Planning Instruments, and by Council ensuring that any adverse effects on the surrounding area and the environment are appropriately managed.

This has been achieved in this instance.

6. Section 7.11 / 7.12 Contributions

Section 7.11 contributions are payable for the proposal.

The carrying out of the development would result in an increased demand for public amenities and public services within the area. A contribution of \$13,008.00 would be required for the development under the Inner West Local Infrastructure Contributions Plan 2023.

A condition requiring that contribution to be paid is included in the recommendation.

7. Referrals

The following internal referrals were made, and their comments have been considered as part of the above assessment:

- Heritage Specialist
- Development Engineer
- Urban Forest

8. Conclusion

The proposal generally complies with the aims, objectives and design parameters contained in *Inner West Local Environmental Plan 2022* and *Leichhardt Development Control Plan 2013*

The development will not result in any significant impacts on the amenity of the adjoining premises/properties and the streetscape and is considered to be in the public interest.

The application is considered suitable for approval subject to the imposition of appropriate conditions.

9. Recommendation

That the Inner West Local Planning Panel exercising the functions of the Council as the consent authority, pursuant to s4.16 of the *Environmental Planning and Assessment Act 1979*, grant consent to Development Application No. DA/2024/0604 for the demolition of the existing detached dwelling, construction of a double storey dwelling, in-ground swimming pool and landscaping works at 2 Goodsir Street ROZELLE subject to the conditions listed in Attachment A below.

Attachment A – Recommended conditions of consent

CONDITIONS OF CONSENT

GENERAL CONDITIONS

	Condition
1.	<p>Boundary Alignment Levels</p> <p>Alignment levels for the site at all pedestrian and vehicular access locations must match the existing back of footpath levels at the boundary unless levels are otherwise approved by Council via a S138 approval.</p> <p>Reason: To allow for pedestrian and vehicular access.</p>
2.	<p>Permits</p> <p>Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent must obtain all applicable Permits from Council in accordance with Section 68 (Approvals) of the Local Government Act 1993 and/or Section 138 of the Roads Act 1993. Permits are required for the following activities:</p> <ul style="list-style-type: none"> • Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application; • A concrete pump across the roadway/footpath; • Mobile crane or any standing plant; • Skip Bins; • Scaffolding/Hoardings (fencing on public land); • Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.; • Awning or street veranda over the footpath; • Partial or full road closure; and • Installation or replacement of private stormwater drain, utility service or water supply. <p>If required contact Council's Road Access team to ensure the correct Permit applications are made for the various activities. Applications for such Permits must be submitted and approved by Council prior to the commencement of the works associated with such activity.</p> <p>Reason: To ensure works are carried out in accordance with the relevant legislation.</p>
3.	<p>Insurances</p> <p>Any person acting on this consent or any contractors carrying out works on public roads or Council controlled lands is required to take out Public Liability Insurance with a minimum cover of twenty (20) million dollars in relation to the occupation of, and approved works within those lands. The Policy is to note, and provide protection for Inner West Council, as an interested party and a copy of the Policy must be submitted to Council prior to commencement of the works. The Policy must be valid for the entire period that the works are being undertaken on public property.</p> <p>Reason: To ensure Council assets are protected.</p>

4.

Documents related to the consent

The development must be carried out in accordance with plans and documents listed below:

Plan, Revision and Issue No.	Plan Name	Date Issued/Received	Prepared by
A0000 Issue E	Site Analysis	09/05/2025	MAP Architects
A0001 Issue E	Site Plan	09/05/2025	MAP Architects
A0002 Issue E	Demolition Plan	09/05/2025	MAP Architects
A2100 Issue E	Ground Floor Plan	09/05/2025	MAP Architects
A2101 Issue E	First Floor Plan	09/05/2025	MAP Architects
A2102 Issue E	Roof Floor Plan	09/05/2025	MAP Architects
A3000 Issue E	North / East Elevation	09/05/2025	MAP Architects
A3001 Issue E	South / West Elevation	09/05/2025	MAP Architects
A3002 Issue E	Streetscape Elevation	09/05/2025	MAP Architects
A3100 Issue E	Section AA/CC	09/05/2025	MAP Architects
A3101 Issue E	Section BB/DD	09/05/2025	MAP Architects
22042 C1.00 Rev 1	Stormwater - General Notes	20/07/2022	Cates Consulting Engineers
22042 C2.00 Rev 4	Stormwater - General Notes	13/11/2023	Cates Consulting Engineers
22042 C3.00 Rev 1	Stormwater - General Notes	20/07/2022	Cates Consulting Engineers
A467232_06	BASIX Certificate	04/02/2025	AENEC
C1 Rev O	Rear Landscape plan	13/05/2025	Contour Landscape Architecture
C2 Rev O	Front Landscape plan	13/05/2025	Contour Landscape Architecture
C3 Rev O	Planting plan	13/05/2025	Contour Landscape Architecture
C4 Rev O	Planting palette 1	13/05/2025	Contour Landscape Architecture

	C5 Rev O	Planting palette 2	13/05/2025	Contour Landscape Architecture
	C6 Rev O	Landscape details	13/05/2025	Contour Landscape Architecture
	C7 Rev O	Landscape Specifications	13/05/2025	Contour Landscape Architecture
	Rev 4	Arboricultural Impact Assessment	7/07/02/2025	Urban Arbor
	As amended by the conditions of consent.			
	Reason: To ensure development is carried out in accordance with the approved documents.			
5.	Noise Levels and Enclosure of Pool/spa Pumping Units			
	Noise levels associated with the operation of the pool/spa pumping units must not exceed the background noise level (L90) by more than 5dBA above the ambient background within habitable rooms of adjoining properties. Pool plant and equipment must be enclosed in a sound absorbing enclosure or installed within a building so as not to create an offensive noise as defined under the Protection of the Environment Operations Act 1997 and Protection of the Environment Operations (Noise Control) Regulation 2008.			
	Domestic pool pumps and filters must not be audible in nearby dwellings between 8:00pm to 7:00am Monday to Saturday and 8:00pm to 8:00am Sundays and Public Holidays.			
	Reason: To ensure that acoustic privacy treatment protects the amenity of the neighbourhood.			
6.	Works Outside the Property Boundary			
	This development consent does not authorise works outside the property boundaries on adjoining lands.			
	Reason: To ensure works are in accordance with the consent.			
7.	Storage of materials on public property			
	The placing of any materials on Council's footpath or roadway is prohibited, without the prior consent of Council.			
	Reason: To protect pedestrian safety.			

8.	<p>Other works</p> <p>Works or activities other than those approved by this Development Consent will require the submission of a new Development Application or an application to modify the consent under Section 4.55 of the <i>Environmental Planning and Assessment Act 1979</i>.</p> <p>Reason: To ensure compliance with legislative requirements.</p>
9.	<p>National Construction Code (Building Code of Australia)</p> <p>A complete assessment of the application under the provisions of the National Construction Code (Building Code of Australia) has not been carried out. All building works approved by this consent must be carried out in accordance with the requirements of the National Construction Code.</p> <p>Reason: To ensure compliance with legislative requirements.</p>
10.	<p>Notification of commencement of works</p> <p>Residential building work within the meaning of the Home Building Act 1989 must not be carried out unless the PCA (not being the council) has given the Council written notice of the following information:</p> <ol style="list-style-type: none"> a. In the case of work for which a principal contractor is required to be appointed: <ol style="list-style-type: none"> i. The name and licence number of the principal contractor; and ii. The name of the insurer by which the work is insured under Part 6 of that Act. b. In the case of work to be done by an owner-builder: <ol style="list-style-type: none"> i. The name of the owner-builder; and ii. If the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit. <p>Reason: To ensure compliance with legislative requirements.</p>
11.	<p>Dividing Fences Act</p> <p>The person acting on this consent must comply with the requirements of the <i>Dividing Fences Act 1991</i> in respect to the alterations and additions to the boundary fences.</p> <p>Reason: To ensure compliance with legislative requirements.</p>
12.	<p>Swimming Pools</p> <p>Applicants are advised of the following requirements under the <i>Swimming Pools Act 1992</i>:</p> <ol style="list-style-type: none"> a. The owner of the premises is required to register the swimming pool on the NSW State Government's Swimming Pool Register. Evidence of registration should be provided to the Certifying Authority. b. Access to the pool/spa is restricted by a child resistant barrier in accordance with the regulations prescribed in the. The pool must not be filled with water or be allowed to collect stormwater until the child resistant barrier is installed. The barrier is to conform to the requirements of Australian Standard AS 1926:2012. c. A high level overflow pipe has been provided from the back of the skimmer box to the filter backwash line discharging to the sewer. This line must not

	<p>directly vent the receiving Sydney Water sewer. Evidence from the installer, indicating compliance with this condition must be submitted to the Principal Certifier prior to the issue of an Occupation Certificate.</p> <p>d. Permanently fixed water depth markers are to be clearly and prominently displayed on the internal surface above the water line at the deep and shallow ends on in-ground pools / spas and on the outside of aboveground pools / spas.</p> <p>e. A durable cardiopulmonary resuscitation information poster sign authorised by the Life Saving Association is to be displayed in the pool / spa area in accordance with Clause 10 of the <i>Swimming Pool Regulation 2008</i>.</p> <p>f. Access to the swimming pool/spa must be restricted by fencing or other measures as required by the <i>Swimming Pools Act 1992</i> at all times.</p> <p>All drainage, including any overland waters associated with the pool/spa, must be pipe-drained via the filter to the nearest sewer system in accordance with the requirements of Council & Sydney Water. No drainage, including overflow from the pool or spa must enter Council's stormwater system.</p> <p>Reason: To ensure the pool does not result in any ongoing safety or amenity issues.</p>
13.	<p>Dial Before You Dig</p> <p>Contact "Dial Before You Dig" prior to commencing any building activity on the site.</p> <p>Reason: To protect assets and infrastructure.</p>
14.	<p>Bin Storage - Residential</p> <p>All bins are to be stored within the property. Bins are to be returned to the property within 12 hours of having been emptied.</p> <p>Reason: To ensure resource recovery is promoted and residential amenity is protected.</p>
15.	<p>Asbestos Removal</p> <p>Hazardous and industrial waste arising from the use must be removed and / or transported in accordance with the requirements of the NSW Environment Protection Authority (EPA) and the New South Wales WorkCover Authority.</p> <p>Reason: To ensure compliance with the relevant environmental legislation.</p>

BUILDING WORK

BEFORE ISSUE OF A CONSTRUCTION CERTIFICATE

	Condition
16.	<p>Security Deposit - Custom</p> <p>Prior to the commencement of demolition works or prior to the issue of a Construction Certificate, the Certifying Authority must be provided with written evidence that a security deposit and inspection fee has been paid to Council to cover the cost of making good any damage caused to any Council property or the physical environment</p>

	<p>as a consequence of carrying out the works and as surety for the proper completion of any road, footpath and drainage works required by this consent.</p> <table border="1"> <tr> <td>Security Deposit:</td><td>\$5,992.00</td></tr> <tr> <td>Inspection Fee:</td><td>\$389.90</td></tr> </table> <p>Payment will be accepted in the form of cash, bank cheque, EFTPOS/credit card (to a maximum of \$10,000) or bank guarantee. Bank Guarantees must not have an expiry date.</p> <p>The inspection fee is required for the Council to determine the condition of the adjacent road reserve and footpath prior to and on completion of the works being carried out.</p> <p>Should any of Council's property and/or the physical environment sustain damage during the course of the demolition or construction works, or if the works put Council's assets or the environment at risk, or if any road, footpath or drainage works required by this consent are not completed satisfactorily, Council may carry out any works necessary to repair the damage, remove the risk or complete the works. Council may utilise part or all of the security deposit to restore any damages, and Council may recover, in any court of competent jurisdiction, any costs to Council for such restorations.</p> <p>A request for release of the security may be made to the Council after all construction work has been completed and a final Occupation Certificate issued.</p> <p>The amount nominated is only current for the financial year in which the initial consent was issued and is revised each financial year. The amount payable must be consistent with Council's Fees and Charges in force at the date of payment.</p> <p>Reason: To ensure required security deposits are paid.</p>	Security Deposit:	\$5,992.00	Inspection Fee:	\$389.90
Security Deposit:	\$5,992.00				
Inspection Fee:	\$389.90				
17.	<p>Dilapidation Report – Pre-Development – Minor</p> <p>Prior to the issue of a Construction Certificate or any demolition, the Certifying Authority must be provided with a dilapidation report including colour photos showing the existing condition of the footpath and roadway adjacent to the site.</p> <p>Reason: To ensure Council assets are protected.</p>				
18.	<p>Stormwater Drainage System – Minor Developments (OSD is not required)</p> <p>Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with stormwater drainage design plans certified by a suitably qualified Civil Engineer that the design of the site drainage system complies with the following specific requirements:</p> <ol style="list-style-type: none"> The design must generally be in accordance with the Stormwater Drainage Concept plan on Drawing No. 22042 revision (4) prepared by CATES CONSULTING ENGINEERS and dated 13 November 2023 - subject to the relocation of the pool and water tank - noting the excavation and location of 				

	<p>the water tank is to be positioned under the entrance paving and excavation of the tank be located no closer than 1m from any boundary.</p> <ul style="list-style-type: none"> b. Stormwater runoff from all roof and paved areas within the property must be collected in a system of gutters, pits and pipelines and be discharged together overflow pipelines from any rainwater tank(s) by gravity to the kerb and gutter of a public road. c. Comply with Council's Stormwater Drainage Code, Australian Rainfall and Runoff (A.R.R.), Australian Standard AS3500.3-2018 'Stormwater Drainage' and Council's DCP. d. Charged or pump-out stormwater drainage systems are not permitted including for roof drainage other than to drain downpipes to the rainwater tanks. e. The Drainage Plan must detail the existing and proposed site drainage layout, size, class and grade of pipelines, pit types, roof gutter and downpipe sizes. f. Only roof water is permitted to be connected to the rainwater tank. The overflow from the rainwater tank must be connected by gravity to the kerb and gutter of a public road. g. An overland flowpath must be provided within the setback to the rear and western side boundary between the rear of the dwelling and the Goodsir Street frontage. The rear courtyard must be graded so that bypass flows from the site drainage system are directed to the overland flow path h. A 150mm step up must be provided between the finished surface level of the external area and the finished floor level of the internal room unless a reduced step is permitted by Part 3.3.3. of the National Construction Code for Class 1 buildings. i. The design must make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands. j. No nuisance or concentration of flows to other properties. k. The stormwater system must not be influenced by backwater effects or hydraulically controlled by the receiving system. l. Plans must specify that any components of the existing system to be retained must be certified during construction to be in good condition and of adequate capacity to convey the additional runoff generated by the development and be replaced or upgraded if required. m. An inspection opening or stormwater pit must be installed inside the property, adjacent to the boundary, for all stormwater outlets. n. Only a single point of discharge is permitted to the kerb and gutter, per frontage of the site. o. New pipelines within the footpath area that are to discharge to the kerb and gutter must be hot dipped galvanised steel hollow section with a minimum
--	---

	<p>wall thickness of 4.0mm and a maximum section height and width of 100mm or sewer grade uPVC pipe with a maximum diameter of 100mm.</p> <p>p. All stormwater outlets through sandstone kerbs must be carefully core drilled in accordance with Council standard drawings.</p> <p>q. All redundant pipelines within footpath area must be removed and footpath/kerb reinstated.</p> <p>r. Stormwater drainage must be located such that any waters leaving the pool must drain to pervious areas prior to potentially draining to the site stormwater drainage system.</p> <p>s. No impact to street tree(s) required by condition to be planted on the site or protected on Council land.</p> <p>Reason: To ensure that the adequate provision of stormwater drainage is provided.</p>
19.	<p>Changes to Levels</p> <p>Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans incorporating the following amendments:</p> <p>A 150mm step down must be provided between the finished floor level of the internal room and the finished surface level of the external area unless a reduced step is permitted by Part 3.3.3. of the National Construction Code</p> <p>Reason: To protect buildings from overland flow.</p>
20.	<p>Long Service Levy</p> <p>Prior to the issue of a Construction Certificate, written evidence must be provided to the Certifying Authority that the long service levy in accordance with Section 34 of the Building and Construction Industry Long Service Payments Act 1986 has been paid at the prescribed rate of 0.25% of the total cost of the work to either the Long Service Payments Corporation or Council for any work costing \$250,000 or more.</p> <p>Reason: To ensure the long service levy is paid.</p>
21.	<p>Sydney Water – Tap In</p> <p>Prior to the issue of a Construction Certificate, the Certifying Authority is required to ensure approval has been granted through Sydney Water's online 'Tap In' program to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met.</p> <p>Note: Please refer to the web site http://www.sydneywater.com.au/tapin/index.htm for details on the process or telephone 13 20 92.</p> <p>Reason: To ensure relevant utility and service provides requirements are provided to the certifier.</p>

22.

Section 7.11 Contribution

In accordance with section 7.11 of the *Environmental Planning and Assessment Act 1979* and the Inner West Local Infrastructure Contribution Plan 2023 (the Plan), the following monetary contributions shall be paid to Council to cater for the increased demand for local infrastructure resulting from the development:

Contribution Category	Amount
Open Space & Recreation	\$9,300.00
Community Facilities	\$1,724.00
Transport	\$1,223.00
Drainage	\$641.00
Plan Administration	\$119.00
TOTAL	\$13,008.00

At the time of payment, the contributions payable will be adjusted for inflation in accordance with indexation provisions in the Plan in the following manner:

$$C_{\text{payment}} = C_{\text{consent}} \times (CPI_{\text{payment}} \div CPI_{\text{consent}})$$

Where:

C_{payment} = is the contribution at time of payment

C_{consent} = is the contribution at the time of consent, as shown above

CPI_{consent} = is the Consumer Price Index (All Groups Index) for Sydney at the date the contribution amount above was calculated being 140.9 for the July 2025 quarter.

CPI_{payment} = is the Consumer Price Index (All Groups Index) for Sydney published by the Australian Bureau of Statistics that applies at the time of payment

Note: The contribution payable will not be less than the contribution specified in this condition.

The monetary contributions must be paid to Council (i) if the development is for subdivision – prior to the issue of the subdivision certificate, or (ii) if the development is for building work – prior to the issue of the first construction certificate, or (iii) if the development involves both subdivision and building work – prior to issue of the subdivision certificate or first construction certificate, whichever occurs first, or (iv) if the development does not require a construction certificate or subdivision certificate – prior to the works commencing.

It is the professional responsibility of the principal certifying authority to ensure that the monetary contributions have been paid to Council in accordance with the above timeframes.

Council's Plan may be viewed at www.innerwest.nsw.gov.au or during normal business hours at any of Council's customer service centres.

Please contact any of Council's customer service centres at council@innerwest.nsw.gov.au or 9392 5000 to request an invoice confirming the

	<p>indexed contribution amount payable. Please allow a minimum of 2 business days for the invoice to be issued.</p> <p>Once the invoice is obtained, payment may be made via (i) BPAY (preferred), (ii) credit card / debit card (AMEX, Mastercard and Visa only; log on to www.innerwest.nsw.gov.au/invoice; please note that a fee of 0.75 per cent applies to credit cards), (iii) in person (at any of Council's customer service centres), or (iv) by mail (make cheque payable to 'Inner West Council' with a copy of your remittance to PO Box 14 Petersham NSW 2049).</p> <p>The invoice will be valid for 3 months. If the contribution is not paid by this time, please contact Council's customer service centres to obtain an updated invoice. The contribution amount will be adjusted to reflect the latest value of the Consumer Price Index (All Groups Index) for Sydney.</p> <p>Reason: To ensure payment of the required development contribution.</p>
23.	<p>Design amendments</p> <p>Prior to the issue of a Construction Certificate the certifier is to be satisfied that the following has been achieved:</p> <p>a. Window W15 is to be amended to a fixed opaque floor to ceiling height window with a width matching the width of the stairwell</p> <p>Reason: To ensure improved amenity to the dwelling.</p>

BEFORE BUILDING WORK COMMENCES

	Condition
24.	<p>Hoardings</p> <p>The person acting on this consent must ensure the site is secured with temporary fencing prior to any works commencing.</p> <p>If the work involves the erection or demolition of a building and is likely to cause pedestrian or vehicular traffic on public roads or Council controlled lands to be obstructed or rendered inconvenient, or building involves the enclosure of public property, a hoarding or fence must be erected between the work site and the public property. An awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling onto public property.</p> <p>Separate approval is required from the Council under the Roads Act 1993 to erect a hoarding or temporary fence or awning on public property.</p> <p>Reason: To ensure the site is secure and that the required permits are obtained if enclosing public land.</p>
25.	<p>Tree Protection</p> <p>No trees on public property (footpaths, roads, reserves etc.) are to be removed or damaged during works unless specifically approved in this consent. Prescribed trees protected by Council's Tree Management Controls on the subject property and/or any vegetation on surrounding properties must not be damaged or removed during works unless specific approval has been provided under this consent. Any public tree within 5 metres of the development must be protected in accordance with AS4970—</p>

	<p><i>Protection of trees on development sites</i> and Council's Development Fact Sheet—Trees on Development Sites. No activities, storage or disposal of materials taking place beneath the canopy of any tree (including trees on neighbouring sites) protected under Council's Tree Management Controls at any time.</p> <p>Reason: To ensure that trees to be retained are protected.</p>						
26.	<p>Tree Protection</p> <p>To protect the following tree, trunk protection must be installed prior to any works commencing:</p> <table border="1"><thead><tr><th>Tree No.</th><th>Botanical/Common Name</th><th>Location</th></tr></thead><tbody><tr><td>-</td><td><i>Callistemon viminalis</i> (Weeping Bottlebrush)</td><td>Street tree outside 4 Goodsir Street</td></tr></tbody></table> <p>The protection must be installed and certified by a person holding a minimum Australian Qualification Framework (AQF) Level 3, Certificate of Arboriculture, and must include the following in accordance with AS4970—<i>Protection of trees on development sites</i> / Council's Development Fact Sheet—Trees on Development sites;</p> <ol style="list-style-type: none">Tree trunk/s and/or major branches must be protected by wrapped thick carpet underlay or similar padding material to limit damage;Timber planks (50mm x 100mm must be placed around tree trunk/s. The timber planks must be spaced at 100mm intervals and must be fixed against the trunk with tie wire, or strapping. The thick carpet underlay or padding material and timber planks must not be fixed to the tree in any instance, or in any fashion;Tree trunk and major branch protection is to remain in place for the duration of construction and development works and must be removed at the completion of the project. <p>Reason: To protect and retain trees.</p>	Tree No.	Botanical/Common Name	Location	-	<i>Callistemon viminalis</i> (Weeping Bottlebrush)	Street tree outside 4 Goodsir Street
Tree No.	Botanical/Common Name	Location					
-	<i>Callistemon viminalis</i> (Weeping Bottlebrush)	Street tree outside 4 Goodsir Street					
27.	<p>Waste Management Plan</p> <p>Prior to the commencement of any works (including any demolition works), the Certifying Authority is required to be provided with a Recycling and Waste Management Plan (RWMP) in accordance with the relevant Development Control Plan.</p> <p>Reason: To ensure resource recovery is promoted and local amenity is maintained.</p>						

28.	Erosion and Sediment Control <p>Prior to the issue of a commencement of any works (including any demolition works), the Certifying Authority must be provided with an erosion and sediment control plan and specification. Sediment control devices must be installed and maintained in proper working order to prevent sediment discharge from the construction site.</p> <p>Reason: To ensure resource recovery is promoted and local amenity is maintained.</p>
29.	Standard Street Tree Protection <p>Prior to the commencement of any work, the Certifying Authority must be provided with details of the methods of protection of all street trees adjacent to the site during demolition and construction.</p> <p>Reason: To protect and retain trees.</p>
30.	Dilapidation Report <p>Prior to any works commencing (including demolition), the Certifying Authority and owners of identified properties, must be provided with a colour copy of a dilapidation report prepared by a suitably qualified person. The report is required to include colour photographs of all the identified properties southeastern wall of No. 50-58 Evans Street; northwestern wall of No. 4 Goodsir Street and any associated infrastructure under the access handle of the subject site (2 Goodsir Street) to the Certifying Authority's satisfaction. In the event that the consent of the adjoining property owner cannot be obtained to undertake the report, copies of the letter/s that have been sent via registered mail and any responses received must be forwarded to the Certifying Authority before work commences.</p> <p>Reason: To establish and document the structural condition of adjoining properties and public land for comparison as site work progresses and is completed and ensure neighbours and council are provided with the dilapidation report.</p>
31.	Construction Fencing <p>Prior to the commencement of any works (including demolition), the site must be enclosed with suitable fencing to prohibit unauthorised access. The fencing must be erected as a barrier between the public place and any neighbouring property.</p> <p>Reason: To protect the built environment from construction works.</p>

DURING BUILDING WORK

	Condition
32.	Tree Protection <p>No trees on public property (footpaths, roads, reserves etc.) are to be removed or damaged during works unless specifically approved in this consent. Prescribed trees protected by Council's Tree Management Controls on the subject property and/or any vegetation on surrounding properties must not be damaged or removed during works unless specific approval has been provided under this consent. Any public tree within 5 metres of the development must be protected in accordance with AS4970—<i>Protection of trees on development sites</i> and Council's Development Fact Sheet—</p>

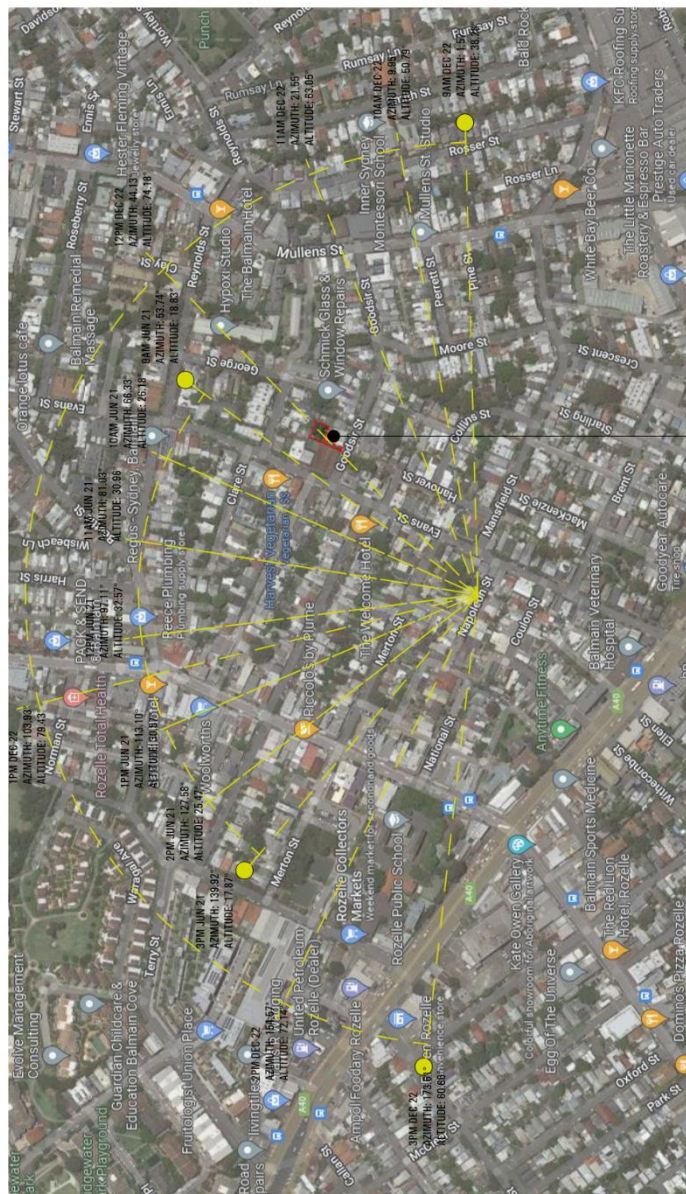
	<p>Trees on Development Sites. No activities, storage or disposal of materials taking place beneath the canopy of any tree (including trees on neighbouring sites) protected under Council's Tree Management Controls at any time.</p> <p>Reason: To ensure that trees to be retained are protected.</p>									
33.	<p>Works to Trees</p> <p>Approval is given for the following tree/s to be removed, after the issue of a Construction Certificate:</p> <table><tr><th>Tree No.</th><th>Botanical/Common Name</th><th>Location</th></tr><tr><td>3-4</td><td><i>Elaeocarpus reticulatus</i> (Blueberry Ash)</td><td>Side boundary</td></tr><tr><td>5</td><td><i>Yucca aloifolia</i> (Spanish Bayonet)</td><td>Side boundary</td></tr></table> <p>All tree works shall be undertaken by an arborist with minimum Australian Qualification Framework (AQF) Level 3, Certificate of Arboriculture, as defined by the Australian Qualification Framework and in compliance with Australian Standard AS 4373—<i>Pruning of amenity trees</i> and Safe Work Australia's Guide to Managing Risks of Tree Trimming and Removal Work.</p> <p>The trees to be removed must be included on all Construction Certificate plans shown in red.</p> <p>Reference should be made to the Arboricultural Impact Assessment Report prepared by Urban Arbor (Rev 4) dated 7/2/25 for tree numbering and locations.</p> <p>Reason: To identify trees permitted to be removed.</p>	Tree No.	Botanical/Common Name	Location	3-4	<i>Elaeocarpus reticulatus</i> (Blueberry Ash)	Side boundary	5	<i>Yucca aloifolia</i> (Spanish Bayonet)	Side boundary
Tree No.	Botanical/Common Name	Location								
3-4	<i>Elaeocarpus reticulatus</i> (Blueberry Ash)	Side boundary								
5	<i>Yucca aloifolia</i> (Spanish Bayonet)	Side boundary								
34.	<p>Advising Neighbours Prior to Excavation</p> <p>At least 7 days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, reasonable notice must be provided to the owner of the adjoining allotment of land including particulars of the excavation.</p> <p>Reason: To ensure surrounding properties are adequately notified of the proposed works.</p>									
35.	<p>Construction Hours – Class 1 and 10</p> <p>Unless otherwise approved by Council, excavation, demolition, construction or subdivision work are only permitted between the hours of 7:00am to 5.00pm, Mondays to Saturdays (inclusive) with no works permitted on, Sundays or Public Holidays.</p> <p>Reason: To protect the amenity of the neighbourhood.</p>									
36.	<p>Survey Prior to Footings</p> <p>Upon excavation of the footings and before the pouring of the concrete, the Certifying Authority must be provided with a certificate of survey from a registered land surveyor to verify that the structure will not encroach over the allotment boundaries.</p> <p>Reason: To ensure works are in accordance with the consent.</p>									

BEFORE ISSUE OF AN OCCUPATION CERTIFICATE

	Condition
37.	<p>No Encroachments</p> <p>Prior to the issue of an Occupation Certificate, the Principal Certifier must ensure that any encroachments on to Council road or footpath resulting from the building works have been removed, including opening doors, gates and garage doors with the exception of any awnings or balconies approved by Council.</p> <p>Reason: To maintain and promote vehicular and pedestrian safety.</p>
38.	<p>Certification of Tree Planting</p> <p>Prior to the issue of any Occupation Certificate, the Certifying Authority is to be provided with evidence in the form of an image and a purchase invoice to confirm that: A minimum of 1 x 75 litre size tree (<i>Banksia integrifolia</i>) have been shown on the Planting Plan prepared by Contour Landscape Architecture (Rev O) dated 13/05/2025 with the amendment that the <i>Banksia integrifolia</i> must be planted a minimum distance of 0.5m from the boundary and centred between the rear boundary of No. 4 Goodsir Street and where it will not suppress trees on adjacent sites as it matures. The trees must meet the requirements of AS2303—<i>Tree stock for landscape use</i>.</p> <p>Trees required by this condition must be maintained and protected until they are protected by Council's Tree Management DCP. Any replacement trees found damaged, dying or dead must be replaced with the same species in the same container size within one month.</p> <p>Reason: To ensure appropriate landscaping is undertaken.</p>
39.	<p>Finishes Schedule</p> <ol style="list-style-type: none"> 1. Prior to the issue of the Construction Certificate, the Certifying Authority must be provided with an amended Finishes Schedule in accordance with the following: <ol style="list-style-type: none"> a. Colorbond "Surfmist" proposed for the gutters and downpipes and "Woodland Grey" for the roofing must be replaced with a colour equivalent to Colorbond colours "Windspray" or "Wallaby". b. The proposed cream bricks to the western external wall and south western corner (containing the guest bed and laundry to the ground floor, and same portion to the level above) that will be visible from the public domain must be replaced with a brick similar in colour and texture to the Bowral Blends "Burradoo" or "Bargo". Alternatively, the brickwork may be rendered or bagged then painted to match the Dulux "Regency White" finish already specified in the revised schedule of colours and materials. <p>Reason: To ensure materials and colours are compatible with the character of complementary colours and materials in the streetscape in The Valley Heritage Conservation Area.</p>

40.	<p data-bbox="440 311 651 338">Dilapidation Report</p> <p data-bbox="440 338 1284 595">Prior to the issue of an Occupation Certificate, the Certifying Authority and owners of identified properties must be provided with a second colour copy of a dilapidation report prepared by a suitably qualified person. The report is required to include colour photographs of all the identified properties southeastern wall of No. 50-58 Evans Street; northwestern wall of No. 4 Goodsir Street and any associated infrastructure under the access handle of the subject site (2 Goodsir Street) to the Certifying Authority's satisfaction. In the event that the consent of the adjoining property owner cannot be obtained to undertake the report, copies of the letter/s that have been sent via registered mail and any responses received must be forwarded to the Certifying Authority before work commences.</p> <p data-bbox="440 607 963 633">Reason: To determine potential construction impacts.</p>
-----	---

Attachment B – Plans of proposed development



EXISTING FRONT VIEW 2 GOODSIR STREET ROZELLE



EXISTING FRONT VIEW 2 GOODSBY STREET ROZELLE

DRAWING SCHEDULE			LAYOUT NAME		Rev
DRAWING #	DATE	DESCRIPTION	DATE	DESCRIPTION	REV
0000	2020-01-01	CORR SHEET/ST ANALYSIS	2020-01-01	STATION PLAN	E
0001	2020-01-01	SECTION A	2020-01-01	SECTION A	E
0002	2020-01-01	SECTION B	2020-01-01	SECTION B	E
0003	2020-01-01	RAILWAY PROFILES	2020-01-01	RAILWAY PROFILES	E
0004	2020-01-01	RAILWAY PLAN	2020-01-01	RAILWAY PLAN	E
0005	2020-01-01	RAILWAY ELEVATION	2020-01-01	RAILWAY ELEVATION	E
0006	2020-01-01	RAILWAY CROSS SECTION	2020-01-01	RAILWAY CROSS SECTION	E
0007	2020-01-01	RAILWAY DRAINAGE	2020-01-01	RAILWAY DRAINAGE	E
0008	2020-01-01	RAILWAY STRUCTURE	2020-01-01	RAILWAY STRUCTURE	E
0009	2020-01-01	RAILWAY FURNITURE	2020-01-01	RAILWAY FURNITURE	E
0010	2020-01-01	RAILWAY LIGHTING	2020-01-01	RAILWAY LIGHTING	E
0011	2020-01-01	RAILWAY SIGNALING	2020-01-01	RAILWAY SIGNALING	E
0012	2020-01-01	RAILWAY SECURITY	2020-01-01	RAILWAY SECURITY	E
0013	2020-01-01	RAILWAY MAINTENANCE	2020-01-01	RAILWAY MAINTENANCE	E
0014	2020-01-01	RAILWAY OPERATIONS	2020-01-01	RAILWAY OPERATIONS	E
0015	2020-01-01	RAILWAY PASSENGER	2020-01-01	RAILWAY PASSENGER	E
0016	2020-01-01	RAILWAY FREIGHT	2020-01-01	RAILWAY FREIGHT	E
0017	2020-01-01	RAILWAY INFRASTRUCTURE	2020-01-01	RAILWAY INFRASTRUCTURE	E
0018	2020-01-01	RAILWAY ENVIRONMENT	2020-01-01	RAILWAY ENVIRONMENT	E
0019	2020-01-01	RAILWAY ECONOMICS	2020-01-01	RAILWAY ECONOMICS	E
0020	2020-01-01	RAILWAY POLICY	2020-01-01	RAILWAY POLICY	E
0021	2020-01-01	RAILWAY LEGISLATION	2020-01-01	RAILWAY LEGISLATION	E
0022	2020-01-01	RAILWAY STANDARDS	2020-01-01	RAILWAY STANDARDS	E
0023	2020-01-01	RAILWAY BEST PRACTICES	2020-01-01	RAILWAY BEST PRACTICES	E
0024	2020-01-01	RAILWAY RESEARCH	2020-01-01	RAILWAY RESEARCH	E
0025	2020-01-01	RAILWAY INNOVATION	2020-01-01	RAILWAY INNOVATION	E
0026	2020-01-01	RAILWAY FUTURE VISION	2020-01-01	RAILWAY FUTURE VISION	E
0027	2020-01-01	RAILWAY CONCLUSION	2020-01-01	RAILWAY CONCLUSION	E
0028	2020-01-01	RAILWAY APPENDIX	2020-01-01	RAILWAY APPENDIX	E
0029	2020-01-01	RAILWAY GLOSSARY	2020-01-01	RAILWAY GLOSSARY	E
0030	2020-01-01	RAILWAY INDEX	2020-01-01	RAILWAY INDEX	E

ISSUE	AMENDMENT	DATE	NOTES
1	DA APPLICATION	16.02.24	ALL WORK SHOULD BE STANDARDISED AND
2	DA APPLICATION	11.11.24	SHALL CONFORM TO SPECIFICATIONS
3	DA APPLICATION	13.12.24	SCHEDULES ALL CONSTRUCTION
4	DA APPLICATION	20.03.25	CONSTRUCTION
5	DA APPLICATION	09.05.25	CONSTRUCTION

[illegible]

Special thanks to the authors and the referees for their constructive comments and suggestions, which have improved the quality of the manuscript.

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025

Site Access
Provide a single stabilised entry/exit point.
Sediment or building waste should be removed from the road by sweeping, blowing or sparging; not washing.

Roof Water Drainage
Connect temporary or permanent downpipes to the storm water system as soon as the roof is complete, to reduce the risk of water damage.

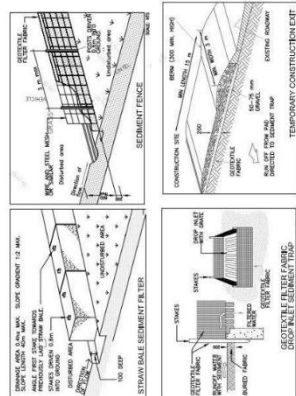
Dust Controls
Minimise dust emissions.
Cover stockpiles.
Use water when necessary, but control run off.

Diversion of Water
Divert run off away from disturbed areas and stockpiles using banks and channels.
Run off should be treated by sediment fences or the like before leaving the site.

DETAIL 1
Sedimentation Fences
Fences should be installed down slope to treat site runoff.
To be effective, they need to be installed properly and maintained regularly.

DETAIL 2
Silt Protection
Gravel Sumpages, gravel bags or sand bags should be installed at the entrance to the site to prevent the risk of untreated run off entering the waterway.

DETAIL 3
Stockpiles
Stockpiles should be located upslope away from drainage lines.
Run off should be directed away from the stockpiles.
Install a sediment control device on the downslope side of the stockpile.
Stockpiles must not be stored on footpaths.



AS1926.1-2012 Swimming pool safety –
Safety barriers for swimming pools.
AS1926.2-2007 Swimming pool safety –
Location of safety barriers for swimming pools.
AS/NZS2416.1-2010 Water safety signs and beach safety flags.

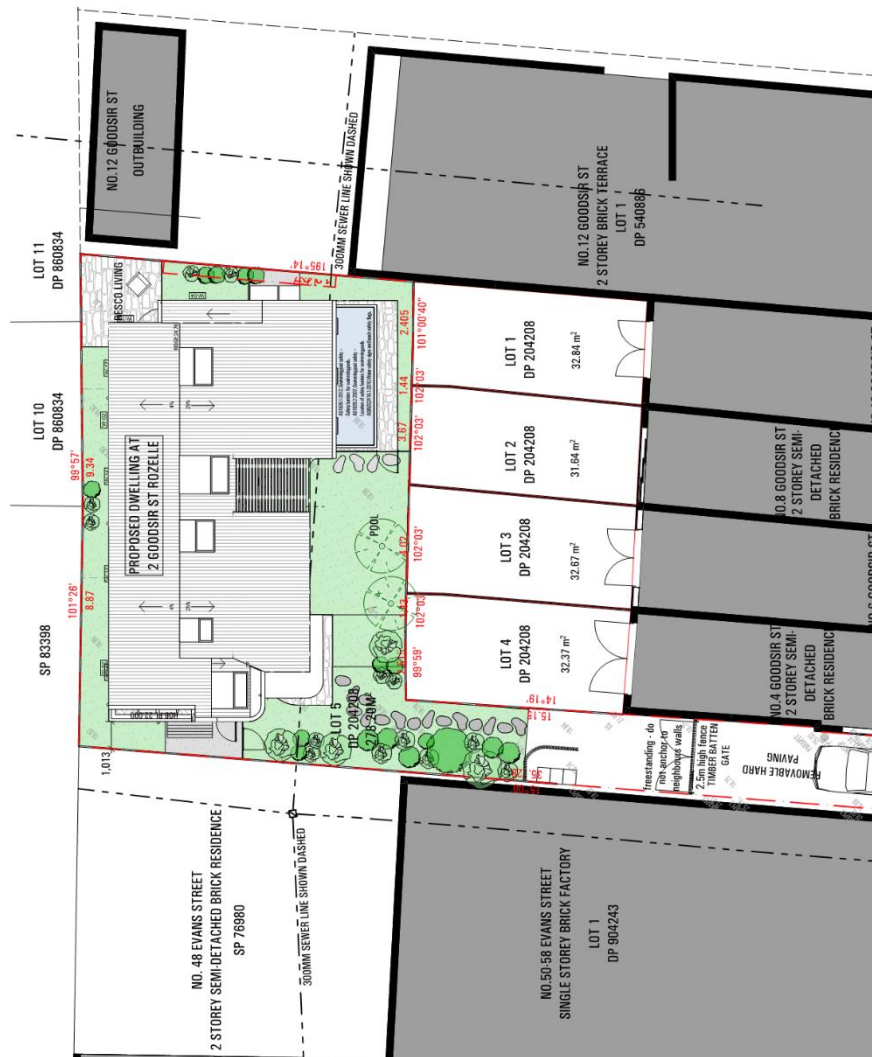
Earthwork is to comply with BCA 2016 Table 3.1.1.1 as referenced in Figure 3.1.2.1 & Clause 3.1.1.0(b) for determination of a normal site as referenced by Clause 3.2.1.1. AS/NZS 3500.3:2015 or
- Drainage is to comply with AS/NZS 3500.3:2015 or
- Termite Management is to comply with BCA 2016 Part 3.1.3 and AS 3660.1-2014. A durable notice is to be installed in accordance with BCA 2016 Part 3.1.3.2(b). Where a chemical termite management system is used, the chemical must be included on the appropriate authority's pesticides register.

NOTES

1. The site is to be developed in accordance with the relevant Australian Standards and Building Code of Australia (BCA) 2016. The site is to be developed in accordance with the relevant Australian Standards and Building Code of Australia (BCA) 2016. The site is to be developed in accordance with the relevant Australian Standards and Building Code of Australia (BCA) 2016.

2. The site is to be developed in accordance with the relevant Australian Standards and Building Code of Australia (BCA) 2016. The site is to be developed in accordance with the relevant Australian Standards and Building Code of Australia (BCA) 2016. The site is to be developed in accordance with the relevant Australian Standards and Building Code of Australia (BCA) 2016.

Document Set ID: 4064802
Version: 1, Version Date: 13/05/2025



ARCHITECTS
MAP ARCHITECTS
10/100 ROZELLE RD, ROZELLE NSW 1580
Phone: 02 9550 1111
www.maparchitects.com.au

DEVELOPMENT APPLICATION
Project: 2 GOODSIR STREET
Site: ROZELLE
Drawing: SITE PLAN/SCOP
Drawn: RV
Checked: MA
Date: 20/03/25
Scale: 1:150 @ A3
Project no: 2_21_40
Drawing no: A0001
Issue: E



MAP
ARCHITECTS

Registered B2B Architects Reg. 9041 - Mark P. Allen
 10000 15th Avenue S.W. Suite 100
 Seattle 4, Building B, 17 Alexandra St. Everett 16 2118
 WA 98201
 Tel: 206.835.1100 Fax: 206.835.1101
 www.maparchitects.com

DEVELOPMENT APPLICATION

project 2 GOODSHIR STREET
 ROZELLE

drawing
 BASIX SPECIFICATIONS
 checked MA

drawn IVU	scale	1:100 @ A3
date 20.03.25	sheet	drawing no
project no	21	issue
price	21,40	addres

ISSUE	AMENDMENT	DATE	NOTES
A	DA APPLICATION	16.07.24	ALL HARPAS SUBMITTED WITHIN BELLEVILLE AUSTRALIAN
B	DA APPLICATION	21.11.24	RECEIVED FROM THE CONTRACT DOCUMENTS MANAGER
C	DA APPLICATION	13.12.24	FINAL COMMENTS TO THE CHAIRMAN, ALL ADDENDUMS, PROPOSAL
D	DA APPLICATION	13.12.24	CONNECTIONS IN THE CHAIRMAN, ALL ADDENDUMS, PROPOSAL
E	DA APPLICATION	09.05.25	EXPLOSION AND DISPERSED MATERIAL, IN CASE OF CONFLICT BETWEEN
F	DA APPLICATION	09.05.25	STRUCTURAL ELEMENTS, MATERIALS IMPROVEMENT

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025

EXISTING WALLS
PROPOSED WALLS
WALLS TO DEMOLISH





MAP
ARCHITECTS

Registered BSR Architects Reg. 9041 • Mark P. Davis
 10000 15th Avenue SW • Suite 100 • Seattle, WA 98148
 Ken A. Hildner, B. 17 Anderson St., Kenmore 100 • Seattle, WA 98108
 www.maparch.com

DEVELOPMENT APPLICATION
 project 2 GOODSHIR STREET
 ROZELLE
 drawing

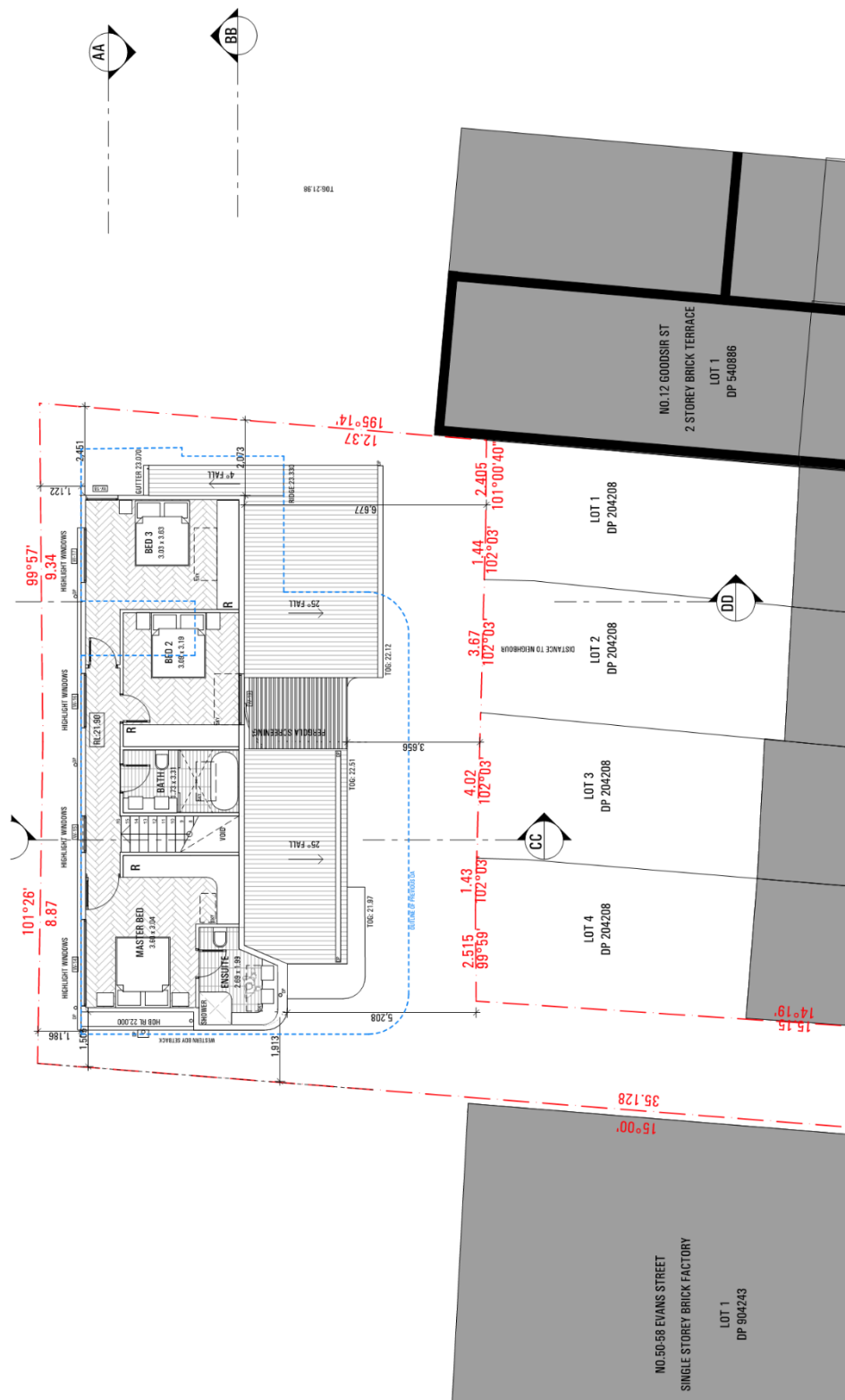
GROUND FLOOR PLAN
 sheet MA
 date 10/01/03 scale 1:100 @ A3
 drawn RVJ
 project time 2,21 hr
 drawing time 2,40 min
 issue E

BUILDING OUTLINE OF PREVIOUS DA

EXISTING WALLS
PROPOSED WALLS
WALLS TO DEMOLISH

ISSUE	AMENDMENT	DATE	NOTES
A	DA APPLICATION	16.07.24	All areas shown on drawings are to be constructed in accordance with the specifications.
B	DA APPLICATION	12.11.24	Amendment to specifications for the construction of the structure.
C	DA APPLICATION	13.12.24	Amendment to specifications for the construction of the structure.
D	DA APPLICATION	20.03.25	Amendment to specifications for the construction of the structure.
E	DA APPLICATION	09.05.25	Amendment to specifications for the construction of the structure.

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025





10000 RIVER AVENUE, SUITE 100
 GREENWOOD VILLAGE, CO 80120
 TEL 303.733.8800 FAX 303.733.8801
www.maparch.com

DEVELOPMENT APPLICATION
 project 2 GOODSHIR STREET
 ROZELLE

FIRST FLOOR PLAN
 drawing

date	20.02.25	scale	1:100 @ A3
drawn	RV	checked	MA

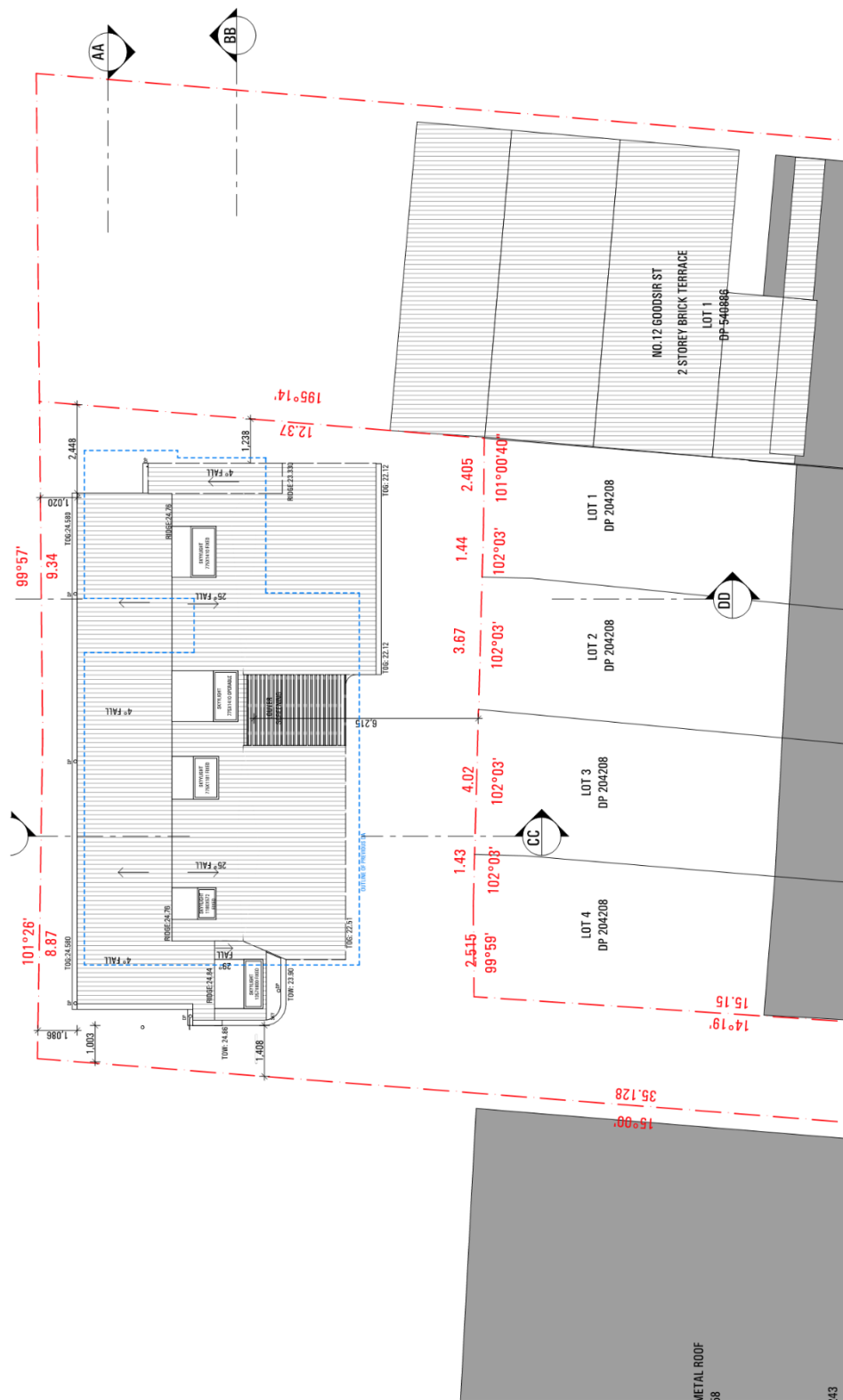
drawing no. 2101

project title
 21.21.40
 drawing no. 2101

P L D (R) 01/05
 a = 100%
 100% = 100%
 www.maparch.com

[illegible]

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025

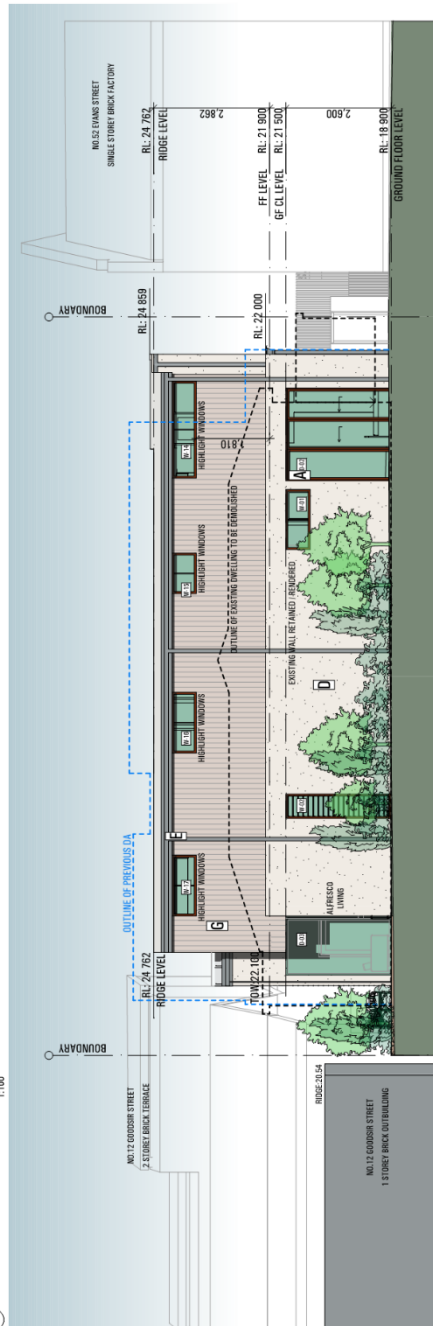
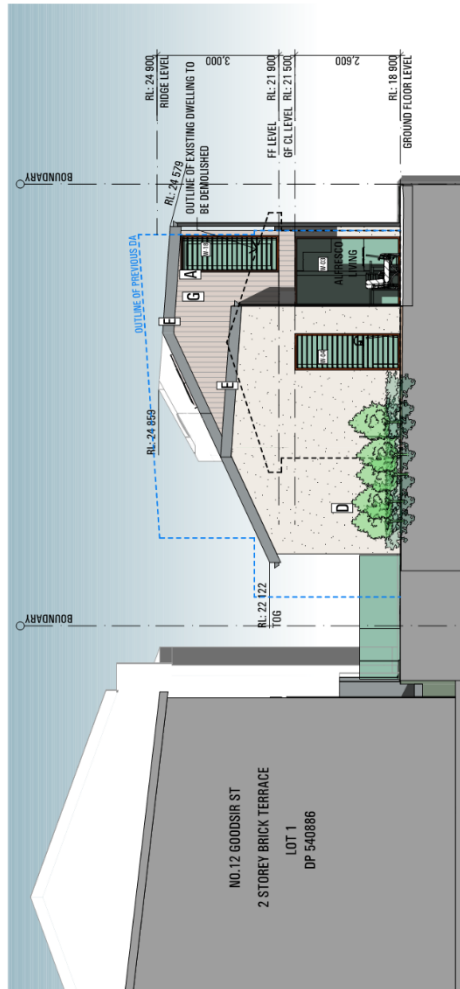
[illegible]

BUILDING OUTLINE OF PREVIOUS DA

EXISTING WALLS
PROPOSED WALLS
WALLS TO DEMOLISH

ISSUE	AMENDMENT	DATE	NOTES
A	DA APPLICATION	16.07.24	All areas shown on drawings are to be excavated and reinforced with 10mm dia reinforcement bars.
B	DA APPLICATION	12.11.24	Excavation to be carried out to a depth of 1.5m below the existing ground level.
C	DA APPLICATION	13.12.24	Excavation to be carried out to a depth of 1.5m below the existing ground level.
D	DA APPLICATION	20.03.25	Excavation to be carried out to a depth of 1.5m below the existing ground level.
E	DA APPLICATION	09.05.25	Excavation to be carried out to a depth of 1.5m below the existing ground level.

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025



FINISHES SCHEDULE

TIMBER OR TIMBER LOOK
WINDOWS DOOR FRAMES

COLORBOND SURFUMIST ROOFING
ROOFING

COLORBOND WINGS
FASCIAS, BUTTERS & DOWNPIPES

RENDER, PAINTED FINISH -
REGENCY WHITE

RENDER, PAINTED FINISH -
REGENCY WHITE

RENDER, PAINTED FINISH -
REGENCY WHITE

RENDER, PAINTED FINISH -
REGENCY WHITE

RENDER, PAINTED FINISH -
REGENCY WHITE

ISSUE	DATE	NOTES
A	15.07.24	STANDARD AND BUILDING CODES OF AUSTRALIA (NCA) HAVE
B	15.07.24	BEEN REVIEWED AND THE BUILDING CODES HAVE BEEN
C	15.07.24	UPDATED TO REFLECT THE LATEST BUILDING CODES
D	15.07.24	AND THE BUILDING CODES HAVE BEEN
E	15.07.24	UPDATED TO REFLECT THE LATEST BUILDING CODES
F	15.07.24	AND THE BUILDING CODES HAVE BEEN
G	15.07.24	UPDATED TO REFLECT THE LATEST BUILDING CODES
H	15.07.24	AND THE BUILDING CODES HAVE BEEN
I	15.07.24	UPDATED TO REFLECT THE LATEST BUILDING CODES
J	15.07.24	AND THE BUILDING CODES HAVE BEEN
K	15.07.24	UPDATED TO REFLECT THE LATEST BUILDING CODES
L	15.07.24	AND THE BUILDING CODES HAVE BEEN
M	15.07.24	UPDATED TO REFLECT THE LATEST BUILDING CODES
N	15.07.24	AND THE BUILDING CODES HAVE BEEN
O	15.07.24	UPDATED TO REFLECT THE LATEST BUILDING CODES
P	15.07.24	AND THE BUILDING CODES HAVE BEEN
Q	15.07.24	UPDATED TO REFLECT THE LATEST BUILDING CODES
R	15.07.24	AND THE BUILDING CODES HAVE BEEN
S	15.07.24	UPDATED TO REFLECT THE LATEST BUILDING CODES
T	15.07.24	AND THE BUILDING CODES HAVE BEEN
U	15.07.24	UPDATED TO REFLECT THE LATEST BUILDING CODES
V	15.07.24	AND THE BUILDING CODES HAVE BEEN
W	15.07.24	UPDATED TO REFLECT THE LATEST BUILDING CODES
X	15.07.24	AND THE BUILDING CODES HAVE BEEN
Y	15.07.24	UPDATED TO REFLECT THE LATEST BUILDING CODES
Z	15.07.24	AND THE BUILDING CODES HAVE BEEN

NOTES

1. THE BUILDING CODES OF AUSTRALIA (NCA) HAVE BEEN REVIEWED AND THE BUILDING CODES HAVE BEEN UPDATED TO REFLECT THE LATEST BUILDING CODES.

2. THE BUILDING CODES OF AUSTRALIA (NCA) HAVE BEEN REVIEWED AND THE BUILDING CODES HAVE BEEN UPDATED TO REFLECT THE LATEST BUILDING CODES.

3. THE BUILDING CODES OF AUSTRALIA (NCA) HAVE BEEN REVIEWED AND THE BUILDING CODES HAVE BEEN UPDATED TO REFLECT THE LATEST BUILDING CODES.

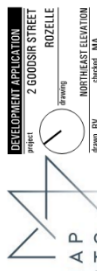
4. THE BUILDING CODES OF AUSTRALIA (NCA) HAVE BEEN REVIEWED AND THE BUILDING CODES HAVE BEEN UPDATED TO REFLECT THE LATEST BUILDING CODES.

5. THE BUILDING CODES OF AUSTRALIA (NCA) HAVE BEEN REVIEWED AND THE BUILDING CODES HAVE BEEN UPDATED TO REFLECT THE LATEST BUILDING CODES.

6. THE BUILDING CODES OF AUSTRALIA (NCA) HAVE BEEN REVIEWED AND THE BUILDING CODES HAVE BEEN UPDATED TO REFLECT THE LATEST BUILDING CODES.

7. THE BUILDING CODES OF AUSTRALIA (NCA) HAVE BEEN REVIEWED AND THE BUILDING CODES HAVE BEEN UPDATED TO REFLECT THE LATEST BUILDING CODES.

8. THE BUILDING CODES OF AUSTRALIA (NCA) HAVE BEEN REVIEWED AND THE BUILDING CODES HAVE BEEN UPDATED TO REFLECT THE LATEST BUILDING CODES.



MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

DEVELOPMENT APPLICATION

2 GOODSIR STREET

ROZELLE

NORTH-EAST ELEVATION

drawn by

scale

1:100 @ A3

sheet no

2, 21, 40

A3000

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

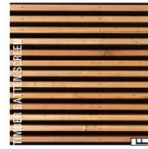
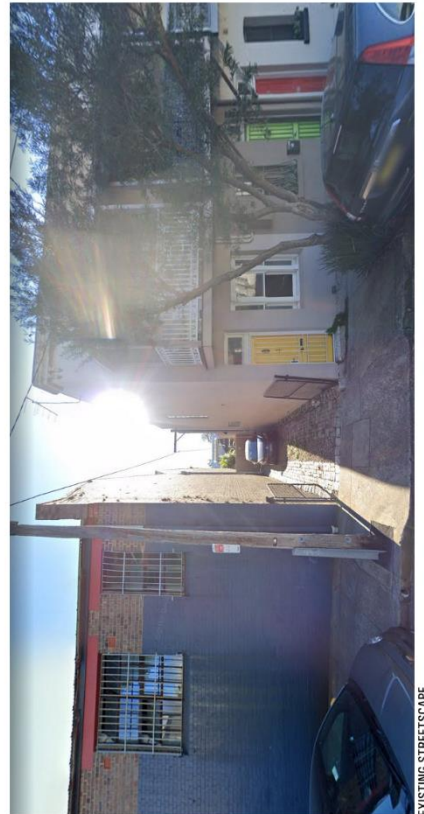
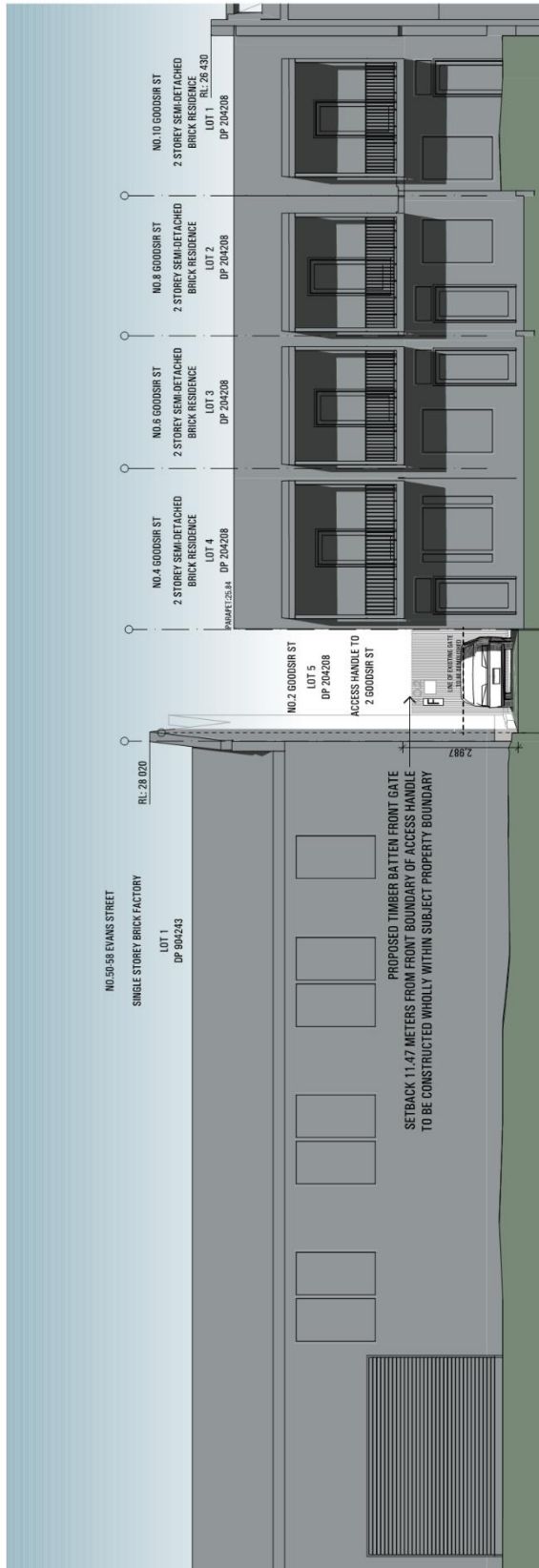
MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS

MAP TECTS



DEVELOPMENT APPLICATION

Project: 2 GOOSDSR STREET
Drawing: ROZELLE
Drawn: RV
Checked: MA
Scale: 1:100 @ A3
Date: 20.03.25
Project no: 2_21_40
Drawing no: A3002
Issue: E

MAP ARCHITECTS

Registered NSW Architects Reg. 8637 Mark P. Jones
if 02 9596 9976
www.maparchitects.com.au
Suite A, Building B, 37 Alexandra St, Newtown NSW 2118

NOTES

1. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

2. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

3. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

4. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

5. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

6. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

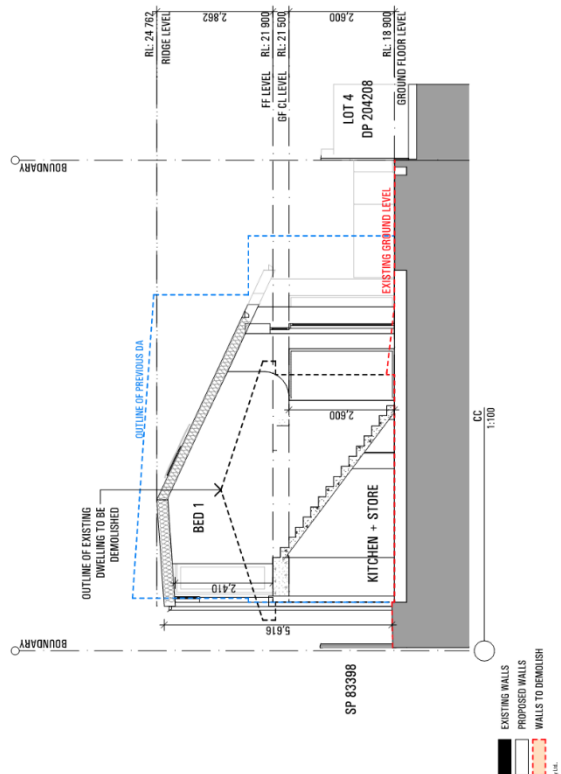
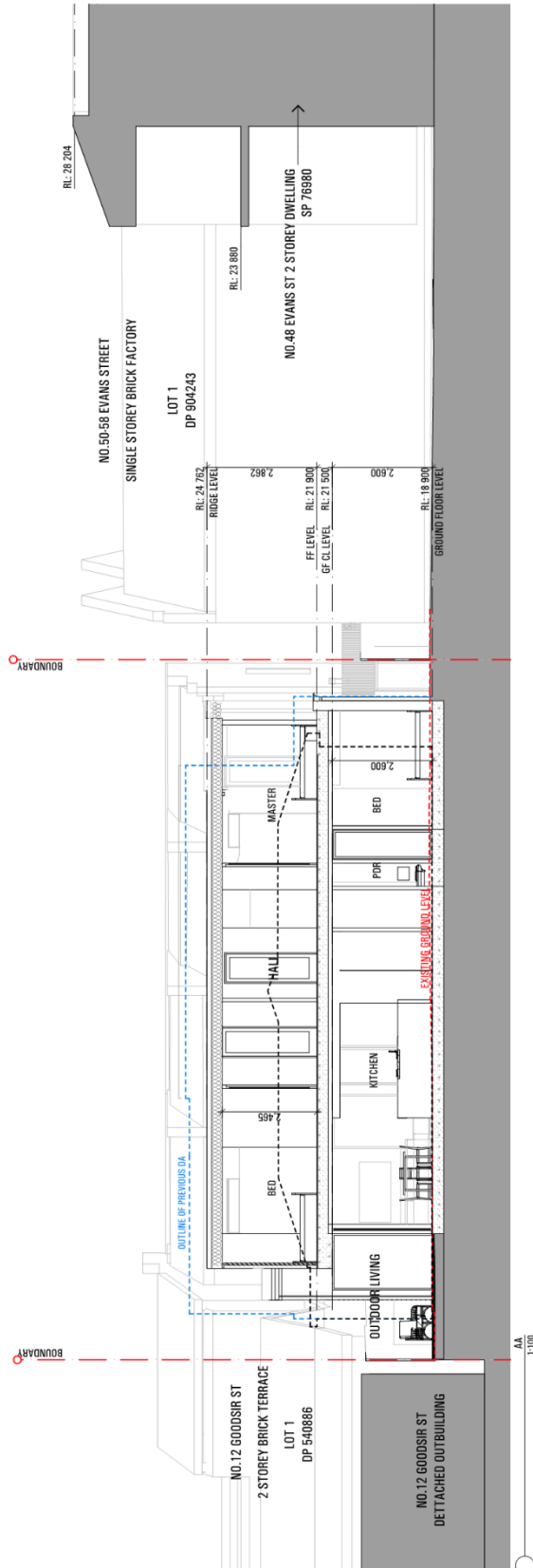
7. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

8. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

9. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

10. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025



MAP ARCHITECTS

Development Application
Project: 2 GOODSIR STREET ROZELLE
Drawing: 1:100 @ A3
Date: 20.03.25
Scale: 1:100 @ A3
Project no: 2_21_40
Drawing no: A3100
Issue: E

Registered NSW Architects Reg. 8647 Mark P. Allen
Director, 11/11-11/11
Director, 11/11-11/11
www.maparchitects.com.au

NOTES

1. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

2. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

3. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

4. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

5. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

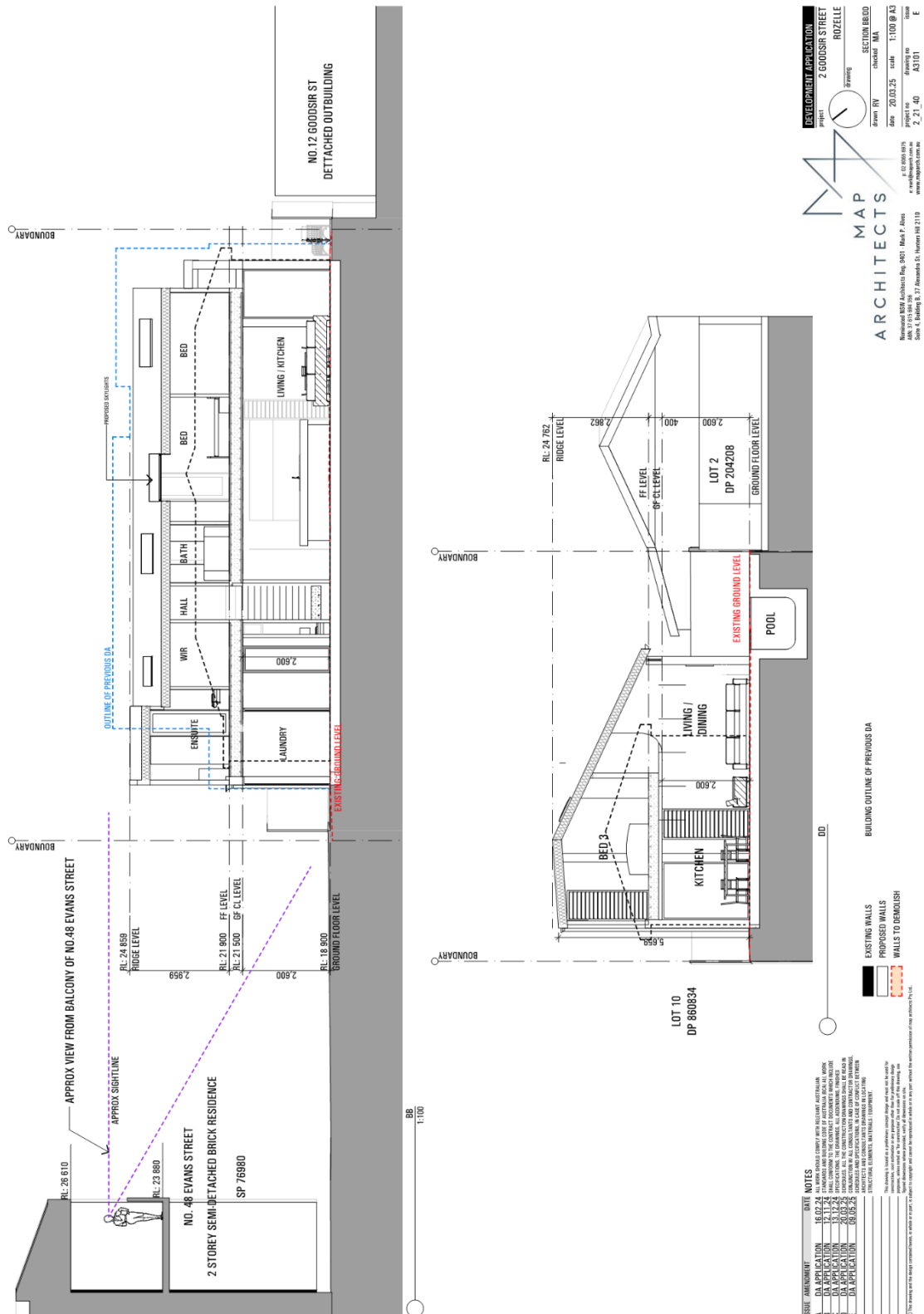
6. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

7. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

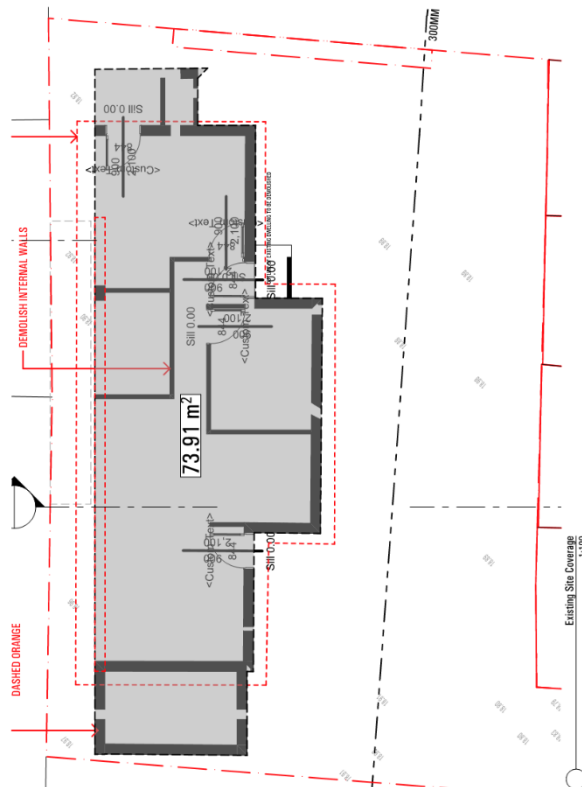
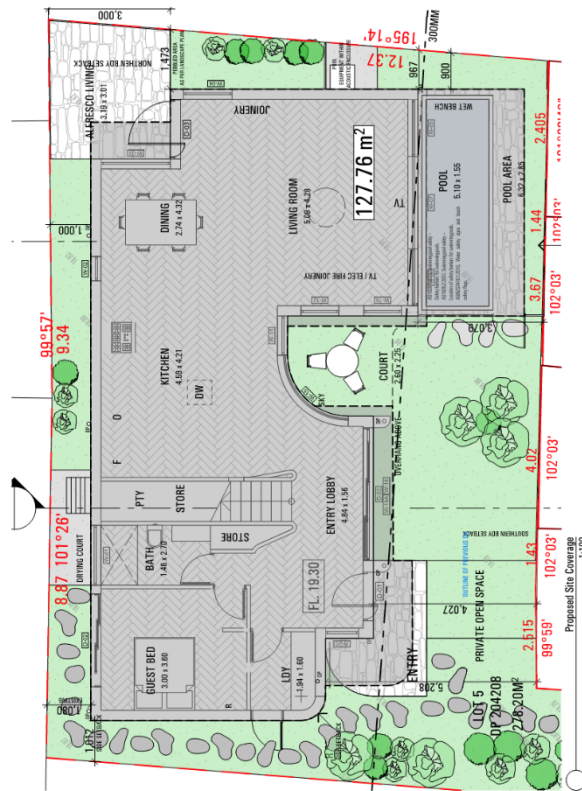
8. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

9. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

10. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.







Existing Site Coverage 1:100	
DEVELOPMENT SCHEDULE	
SITE AREA	276.20m²
SITE COVERAGE	
EXISTING	73.91m² (27%)
ALLOWED	166.92m² (60%)
PROPOSED	127.76m² (46%)

MAP ARCHITECTS

DEVELOPMENT APPLICATION
Project: 2 GOODSIR STREET
ROZELLE
Drawing: 1:100 @ A3
Date: 20.03.25
Scale: 1:100 @ A3
Drawing no: 2_21_40
Project no: 44001
E

Registered NSW Architects Reg 8617 Mark P. Allen
150 @ A3
Date: 20.03.25
Drawing no: 2_21_40
Project no: 44001
E

NOTES

1. THIS DEVELOPMENT IS TO BE CONSIDERED AS A DEVELOPMENT OF A RESIDENTIAL NATURE.

2. THE DEVELOPMENT IS TO BE CONSIDERED AS A DEVELOPMENT OF A RESIDENTIAL NATURE.

3. THE DEVELOPMENT IS TO BE CONSIDERED AS A DEVELOPMENT OF A RESIDENTIAL NATURE.

4. THE DEVELOPMENT IS TO BE CONSIDERED AS A DEVELOPMENT OF A RESIDENTIAL NATURE.

5. THE DEVELOPMENT IS TO BE CONSIDERED AS A DEVELOPMENT OF A RESIDENTIAL NATURE.

6. THE DEVELOPMENT IS TO BE CONSIDERED AS A DEVELOPMENT OF A RESIDENTIAL NATURE.

7. THE DEVELOPMENT IS TO BE CONSIDERED AS A DEVELOPMENT OF A RESIDENTIAL NATURE.

8. THE DEVELOPMENT IS TO BE CONSIDERED AS A DEVELOPMENT OF A RESIDENTIAL NATURE.

9. THE DEVELOPMENT IS TO BE CONSIDERED AS A DEVELOPMENT OF A RESIDENTIAL NATURE.

10. THE DEVELOPMENT IS TO BE CONSIDERED AS A DEVELOPMENT OF A RESIDENTIAL NATURE.

SOLAR ACCESS CALCULATIONS

21st of June (winter Solstice)

4 Goodsir St - LOT 4

Time	Total D.O.B	Existing District Sample Area	% Soil across POD Easting	Proposed District Sample Area	% Soil across POD Proposed	Difference in Area Proposed - Existing	Difference in percentage Proposed - Existing
0 m	32.22 m ²	3.68 m ²	11%	0 m ²	0%	-3.68 m ²	-11%
10 mm	22.22 m ²	11.35 m ²	35%	11.35 m ²	25%	0 m ²	0%
11 mm	22.22 m ²	13.71 m ²	41%	13.71 m ²	41%	0 m ²	0%
12 mm	22.22 m ²	15.56 m ²	48%	15.56 m ²	48%	0 m ²	0%
13 mm	22.22 m ²	5.90 m ²	19%	5.90 m ²	19%	0 m ²	0%
14 mm	22.22 m ²	5.90 m ²	19%	5.90 m ²	19%	0 m ²	0%
2 mm	22.22 m ²	0.21 m ²	1%	0.21 m ²	1%	0 m ²	0%

6 Goodsir St - LOT 3

Time	Total D.O.B	Existing Direct Sampled Area	% Soil across POC	Proposed Direct Sampled Area	% Soil across POC	Difference in Area Proposed - Existing	Difference in percentage Proposed - Existing
0 min	31.64 m ²	4.13 m ²	13%	0 m ²	0%	-4.13 m ²	0%
5 min	31.64 m ²	12.02 m ²	38%	12.02 m ²	38%	0 m ²	0%
11 min	31.64 m ²	13.95 m ²	44%	13.95 m ²	44%	0 m ²	0%
17 min	31.64 m ²	15.88 m ²	50%	15.88 m ²	50%	0 m ²	0%
23 min	31.64 m ²	17.81 m ²	57%	17.81 m ²	57%	0 m ²	0%
29 min	31.64 m ²	19.74 m ²	62%	19.74 m ²	62%	0 m ²	0%
35 min	31.64 m ²	21.67 m ²	68%	21.67 m ²	68%	0 m ²	0%
41 min	31.64 m ²	23.60 m ²	74%	23.60 m ²	74%	0 m ²	0%
47 min	31.64 m ²	25.53 m ²	81%	25.53 m ²	81%	0 m ²	0%
53 min	31.64 m ²	27.46 m ²	87%	27.46 m ²	87%	0 m ²	0%
59 min	31.64 m ²	29.39 m ²	93%	29.39 m ²	93%	0 m ²	0%
65 min	31.64 m ²	31.32 m ²	100%	31.32 m ²	100%	0 m ²	0%

8 Goodsir St - LOT 2

Run	Total P.O.B.	Existing Street Shoulder Area	% Side access POB Existing	Proposed Street Shoulder Area	% Side access POB Proposed	Difference in Area Proposed - Existing	Difference in percentage Proposed - Existing
10 min	31.48 m ²	6.57 m ²	17%	1.65 m ²	6%	3.32 m ²	-11%
10 min	31.48 m ²	13.87 m ²	44%	13.87 m ²	44%	0 m ²	0%
10 min	31.48 m ²	15.27 m ²	48%	15.27 m ²	48%	0 m ²	0%
10 min	31.48 m ²	16.67 m ²	53%	16.67 m ²	53%	0 m ²	0%
2 min	31.48 m ²	8.31 m ²	26%	2.79 m ²	9%	5.52 m ²	18%
2 min	31.48 m ²	21.57 m ²	70%	21.57 m ²	70%	0 m ²	0%
2 min	31.48 m ²	25.31 m ²	81%	8.51 m ²	27%	22.80 m ²	73%

10 Goodwin St - LOT 1

Time	Total D.B.	Existing Direct Sample Area	% Soil across POC Existing	Proposed Direct Sample Area	% Soil across POC Proposed	Distance to Area Proposed (m ²)	Distance to Area Proposed (m ²)	Distance to Area Proposed (m ²)
0 min	31.04 m ²	3.03 m ²	15%	3.03 m ²	10%	0 m ²	0 m ²	0%
10 min	31.04 m ²	13.88 m ²	44%	13.88 m ²	44%	0 m ²	0 m ²	0%
20 min	31.04 m ²	13.88 m ²	44%	13.88 m ²	44%	0 m ²	0 m ²	0%
30 min	31.04 m ²	13.88 m ²	44%	13.88 m ²	44%	0 m ²	0 m ²	0%
1 pet	31.04 m ²	8.93 m ²	21%	8.93 m ²	21%	0 m ²	0 m ²	0%
2 pet	31.04 m ²	2.98 m ²	7%	2.98 m ²	7%	0 m ²	0 m ²	0%
3 pet	31.04 m ²	2.98 m ²	7%	2.98 m ²	7%	0 m ²	0 m ²	0%

12 Goodsir St - LOT 1

Time	Total D.O. m	Existing Direct Swamp Area	% Soil across FSC Estimating	Proposed Direct Swamp Area	% Soil across FSC Estimating	Distance to Area Proposed Estimating	Ultimate % Area of Subgrade across Proposed Estimating
0 min	57.28 m	38.8 m ²	17%	5.63 m ²	17%	0 m ²	0%
10 min	57.28 m	7.62 m ²	13%	7.62 m ²	13%	0 m ²	0%
20 min	57.28 m	11.93 m ²	16%	11.93 m ²	16%	0 m ²	0%
30 min	57.28 m	14.18 m ²	18%	14.60 m ²	25%	5.18 m ²	0.3%
1 hour	57.28 m	12.28 m ²	21%	12.7 m ²	22%	9.41 m ²	1%
2 hours	57.28 m	30.7 m ²	28%	29.8 m ²	28%	2.28 m ²	1%
3 hours	57.28 m	32.93 m ²	30%	32.93 m ²	30%	0 m ²	1%

2 Goodair St - Lot 5 (SUBJECT SITE)

Time	Total P.O.S	Proposed Direct Sunlight Area	% Solar access P.O.S Proposed
6 am	25.59 m ²	0 m ²	0%
10 am	25.59 m ²	1.17 m ²	5%
11 am	25.59 m ²	8.83 m ²	38%
12 pm	25.59 m ²	9.77 m ²	38%
1 pm	25.59 m ²	8.66 m ²	35%
2 pm	25.59 m ²	6.38 m ²	25%
3 pm	25.59 m ²	0.19 m ²	1%

* denotes improvement over existing shadowing.

ISSUE AMENDMENT	DATE	NOTES
-----------------	------	-------

A	DA APPLICATION	16.07.24	ALL WORKS AND SUPPLIES COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES OF AUSTRALIA (N.A. WORK SHALL CONFORM TO THE CONTRACT DOCUMENT WHICH INCLUDES THE RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES)
B	DA APPLICATION	12.11.24	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
C	DA APPLICATION	13.12.24	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
D	DA APPLICATION	20.03.25	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
E	DA APPLICATION	09.05.25	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

© The drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of our architects or engineers. Any reproduction, in whole or in part, without our written permission is prohibited. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of our architects or engineers. All rights reserved.

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025





MAP ARCHITECTS

200/202 GOSWORTHY ROAD, ROSSETT, NSW 1585
 Phone: 02 9339 0975
 Email: info@maparchitects.com.au
 www.maparchitects.com.au

DEVELOPMENT APPLICATION

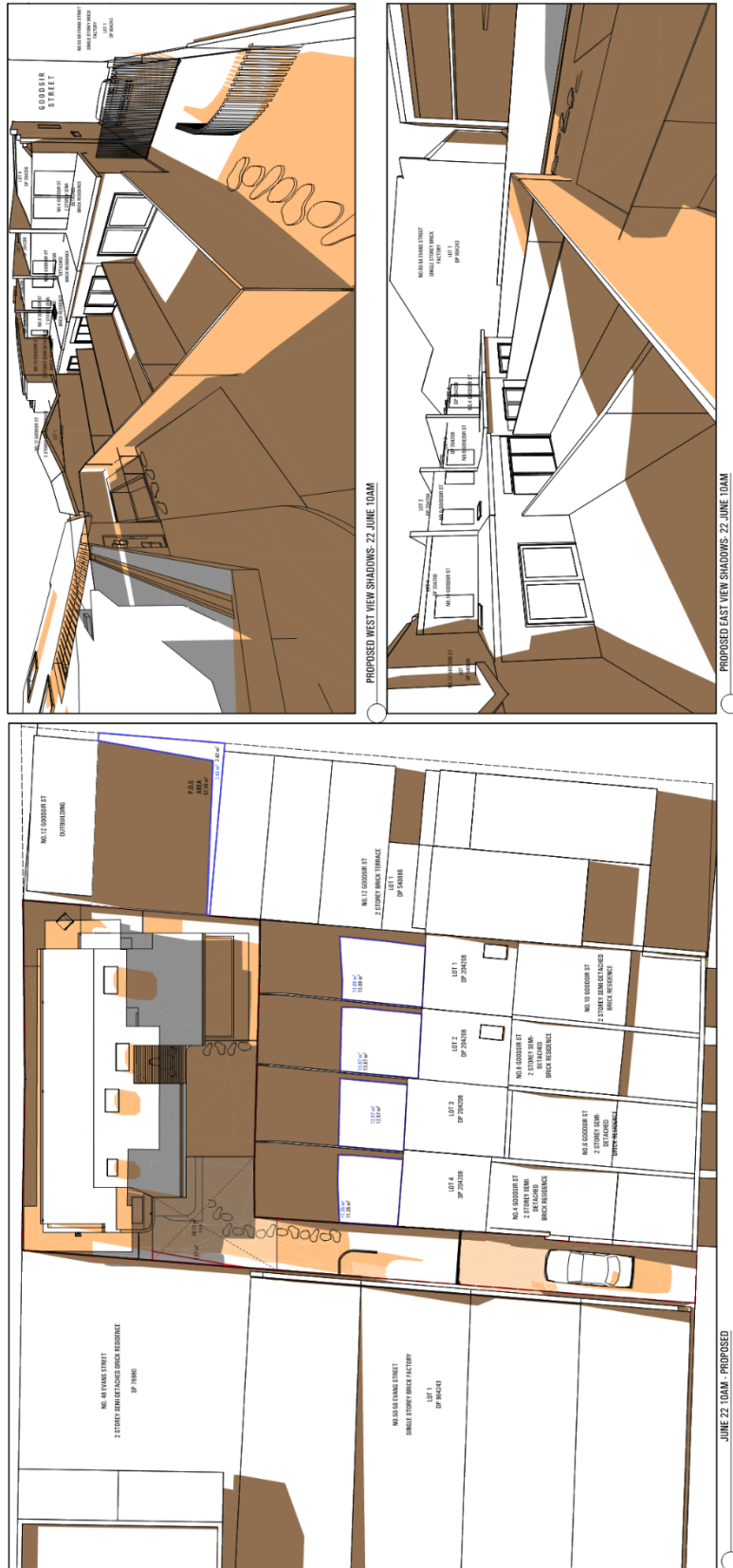
Project: 2 GOSWORTHY STREET
 Rossett
 SHADOW DIAGRAMS 22 JUNE 9AM
 Drawn: RV
 Checked: MA
 Date: 20.03.25
 Scale: 1:100 @ A3
 Project no: 2_21_40
 Drawing no: A5000
 Issue: E

LEGEND

EXISTING SHADOWS
 PROPOSED SHADOWS
 OVERLAPPING SHADOWS
 EXISTING DIRECT SUNLIGHT

NOTES

1. THIS SHADOW STUDY HAS BEEN PREPARED IN ACCORDANCE WITH THE SHADOW STUDY STANDARDS AND GUIDELINES (SSG) OF THE INNER WEST LOCAL GOVERNMENT AREA. THE SSG IS A TECHNICAL STANDARD THAT PROVIDES A FRAMEWORK FOR THE PREPARATION OF SHADOW STUDIES. IT IS NOT A DESIGN STANDARD AND DOES NOT PRESCRIBE SPECIFIC DESIGN OUTCOMES. THE SSG IS A TECHNICAL STANDARD THAT PROVIDES A FRAMEWORK FOR THE PREPARATION OF SHADOW STUDIES. IT IS NOT A DESIGN STANDARD AND DOES NOT PRESCRIBE SPECIFIC DESIGN OUTCOMES.



MAP ARCHITECTS

DEVELOPMENT APPLICATION

Project: 2 GOODWIN STREET
ROZELLE
SHADOW DIAGRAMS 22 JUNE 10AM

Drawn BY: checked MA
Date: 20.03.25 scale: 1:100 @ A3
Project no: 2_21_40
Drawing no: A5001

Map Architects Pty Ltd
10/100 Goodwin St, Rozelle NSW 1585
Phone: 02 9550 1111
www.maparchitects.com.au

LEGEND

EXISTING SHADOWS
PROPOSED SHADOWS
OVERLAPPING SHADOWS
EXISTING DIRECT SUNLIGHT

NOTES

1. THIS SHADOW STUDY HAS BEEN PREPARED IN ACCORDANCE WITH THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD AS/NZS 4566:2012.

2. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD AS/NZS 4566:2012.

3. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD AS/NZS 4566:2012.

4. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD AS/NZS 4566:2012.

5. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD AS/NZS 4566:2012.

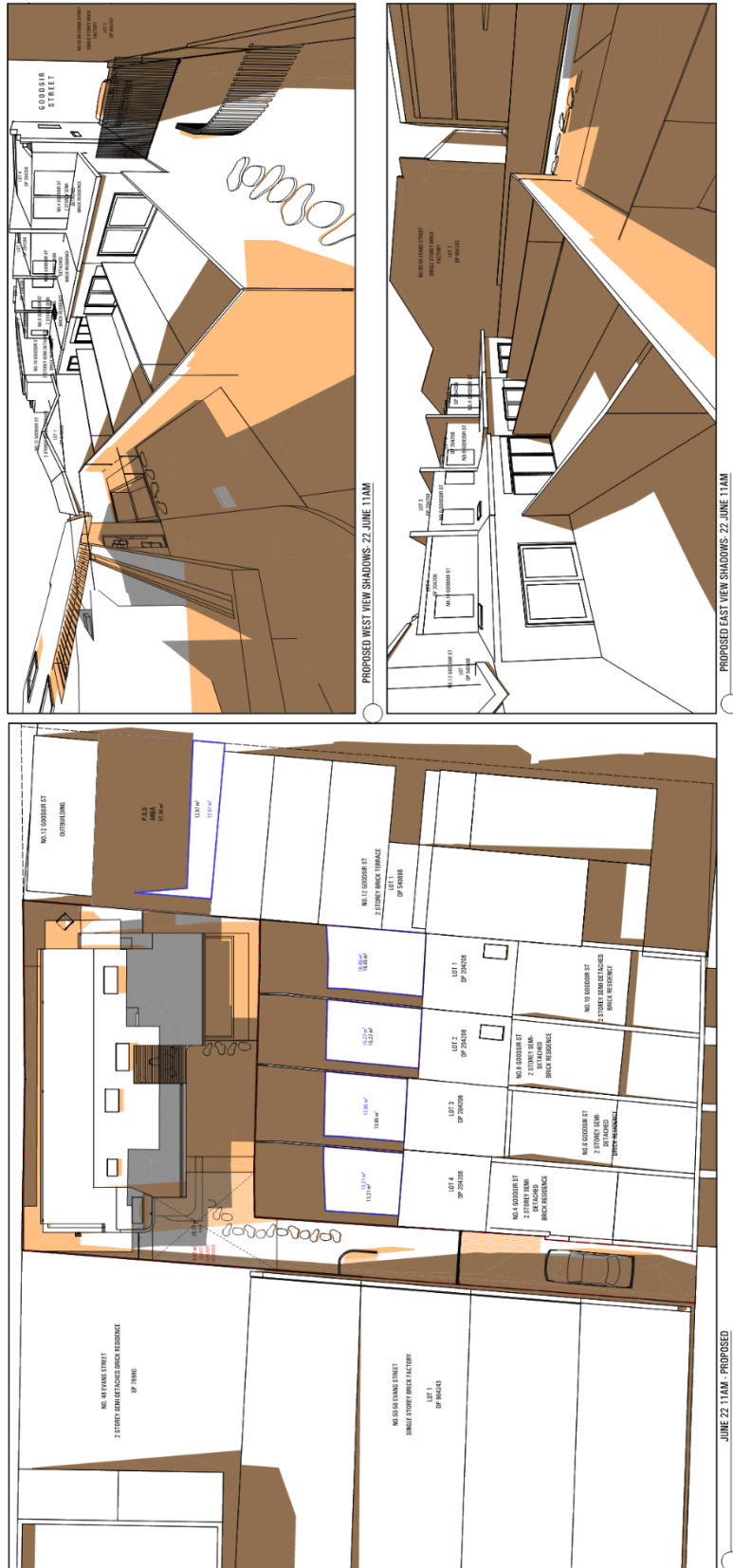
6. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD AS/NZS 4566:2012.

7. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD AS/NZS 4566:2012.

8. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD AS/NZS 4566:2012.

9. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD AS/NZS 4566:2012.

10. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD AS/NZS 4566:2012.



MAP ARCHITECTS
Rozelle
Shawinigan
22 June 11AM
Scale: 1:100 @ A3
Date: 20.03.25
Project no: 2_21_40
Drawing no: A5002
E

DEVELOPMENT APPLICATION
Project: 2 GOODWIN STREET
Rozelle
Shawinigan
22 June 11AM
Scale: 1:100 @ A3
Date: 20.03.25
Project no: 2_21_40
Drawing no: A5002
E

Map Architects Pty Ltd
10/100 Goodwin Street, Rozelle, NSW 1585
Phone: 02 9550 1111
www.maparchitects.com.au

DATE	NOTES
16.03.24	1. INITIAL DESIGN CONCEPTS COMPLETED WITH REGULAR AUSTRALIAN STANDARDS AND BUILDING CODES OF AUSTRALIA (NCA) ALL WORKS TO BE COMPLETED BY 16.03.24
16.03.24	2. PRELIMINARY DESIGN CONCEPTS COMPLETED WITH REGULAR AUSTRALIAN STANDARDS AND BUILDING CODES OF AUSTRALIA (NCA) ALL WORKS TO BE COMPLETED BY 16.03.24
16.03.24	3. PRELIMINARY DESIGN CONCEPTS COMPLETED WITH REGULAR AUSTRALIAN STANDARDS AND BUILDING CODES OF AUSTRALIA (NCA) ALL WORKS TO BE COMPLETED BY 16.03.24
16.03.24	4. PRELIMINARY DESIGN CONCEPTS COMPLETED WITH REGULAR AUSTRALIAN STANDARDS AND BUILDING CODES OF AUSTRALIA (NCA) ALL WORKS TO BE COMPLETED BY 16.03.24
16.03.24	5. PRELIMINARY DESIGN CONCEPTS COMPLETED WITH REGULAR AUSTRALIAN STANDARDS AND BUILDING CODES OF AUSTRALIA (NCA) ALL WORKS TO BE COMPLETED BY 16.03.24
16.03.24	6. PRELIMINARY DESIGN CONCEPTS COMPLETED WITH REGULAR AUSTRALIAN STANDARDS AND BUILDING CODES OF AUSTRALIA (NCA) ALL WORKS TO BE COMPLETED BY 16.03.24
16.03.24	7. PRELIMINARY DESIGN CONCEPTS COMPLETED WITH REGULAR AUSTRALIAN STANDARDS AND BUILDING CODES OF AUSTRALIA (NCA) ALL WORKS TO BE COMPLETED BY 16.03.24
16.03.24	8. PRELIMINARY DESIGN CONCEPTS COMPLETED WITH REGULAR AUSTRALIAN STANDARDS AND BUILDING CODES OF AUSTRALIA (NCA) ALL WORKS TO BE COMPLETED BY 16.03.24
16.03.24	9. PRELIMINARY DESIGN CONCEPTS COMPLETED WITH REGULAR AUSTRALIAN STANDARDS AND BUILDING CODES OF AUSTRALIA (NCA) ALL WORKS TO BE COMPLETED BY 16.03.24
16.03.24	10. PRELIMINARY DESIGN CONCEPTS COMPLETED WITH REGULAR AUSTRALIAN STANDARDS AND BUILDING CODES OF AUSTRALIA (NCA) ALL WORKS TO BE COMPLETED BY 16.03.24

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025



MAP ARCHITECTS
Rozelle NSW Architects Reg 2017 Mark P. Jones
Suite 4, Building B, 37 Alexandra St, Rozelle NSW 2110
www.maparchitects.com.au

DEVELOPMENT APPLICATION
Project: 2 GOODSIR STREET
Rozelle
SHADOW DIAGRAMS 22 JUNE 12PM
Drawn BY: checked MA
Date: 20.03.25 scale: 1:100 @ A3
Project no: 2_21_40
Drawing no: A5003
Issue: E

LEGEND

EXISTING SHADOWS
PROPOSED SHADOWS
OVERLAPPING SHADOWS
EXISTING DIRECT SUNLIGHT

NOTES

1. THIS SHADOW STUDY HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT 1995 AND THE LOCAL GOVERNMENT (SHADOW STUDIES) REGULATIONS 2017.

2. THE SHADOW STUDY HAS BEEN PREPARED USING THE FOLLOWING DATA:

3. THE SHADOW STUDY HAS BEEN PREPARED USING THE FOLLOWING DATA:

4. THE SHADOW STUDY HAS BEEN PREPARED USING THE FOLLOWING DATA:

5. THE SHADOW STUDY HAS BEEN PREPARED USING THE FOLLOWING DATA:

6. THE SHADOW STUDY HAS BEEN PREPARED USING THE FOLLOWING DATA:

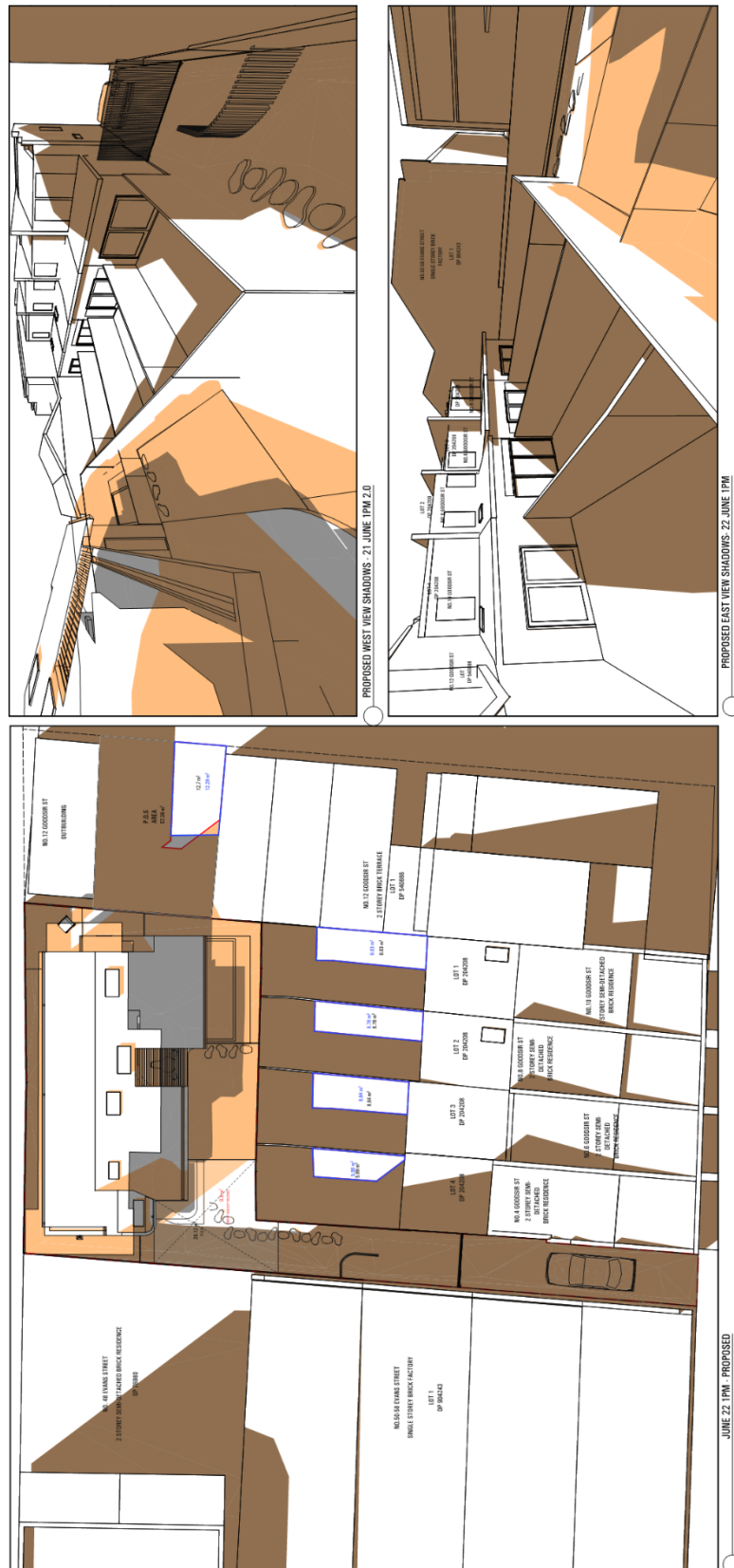
7. THE SHADOW STUDY HAS BEEN PREPARED USING THE FOLLOWING DATA:

8. THE SHADOW STUDY HAS BEEN PREPARED USING THE FOLLOWING DATA:

9. THE SHADOW STUDY HAS BEEN PREPARED USING THE FOLLOWING DATA:

10. THE SHADOW STUDY HAS BEEN PREPARED USING THE FOLLOWING DATA:

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025





MAP
ARCHITECTS

2 GOODSOR STREET
 ROZELLE
 SYDNEY
 SHADOW DIAGRAMS 22
 JUNE 17PM
 checked MA
 down 1PM
 date 20.03.25
 scale 1:100 @ A3
 drawing no
 project no
 21, 40
 E
 issue

DEVELOPMENT APPLICATION
 project

P L 01 (REV) 0/0
 1
 a = 1
 Sien A. Haidley B. A. 17
 www.maparch.com.au

Remastered BDP Architects Rev. 04/11 - Mark P. Allen
 Sien A. Haidley B. A. 17
 www.maparch.com.au

[illegible]

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025





MAP
ARCHITECTS

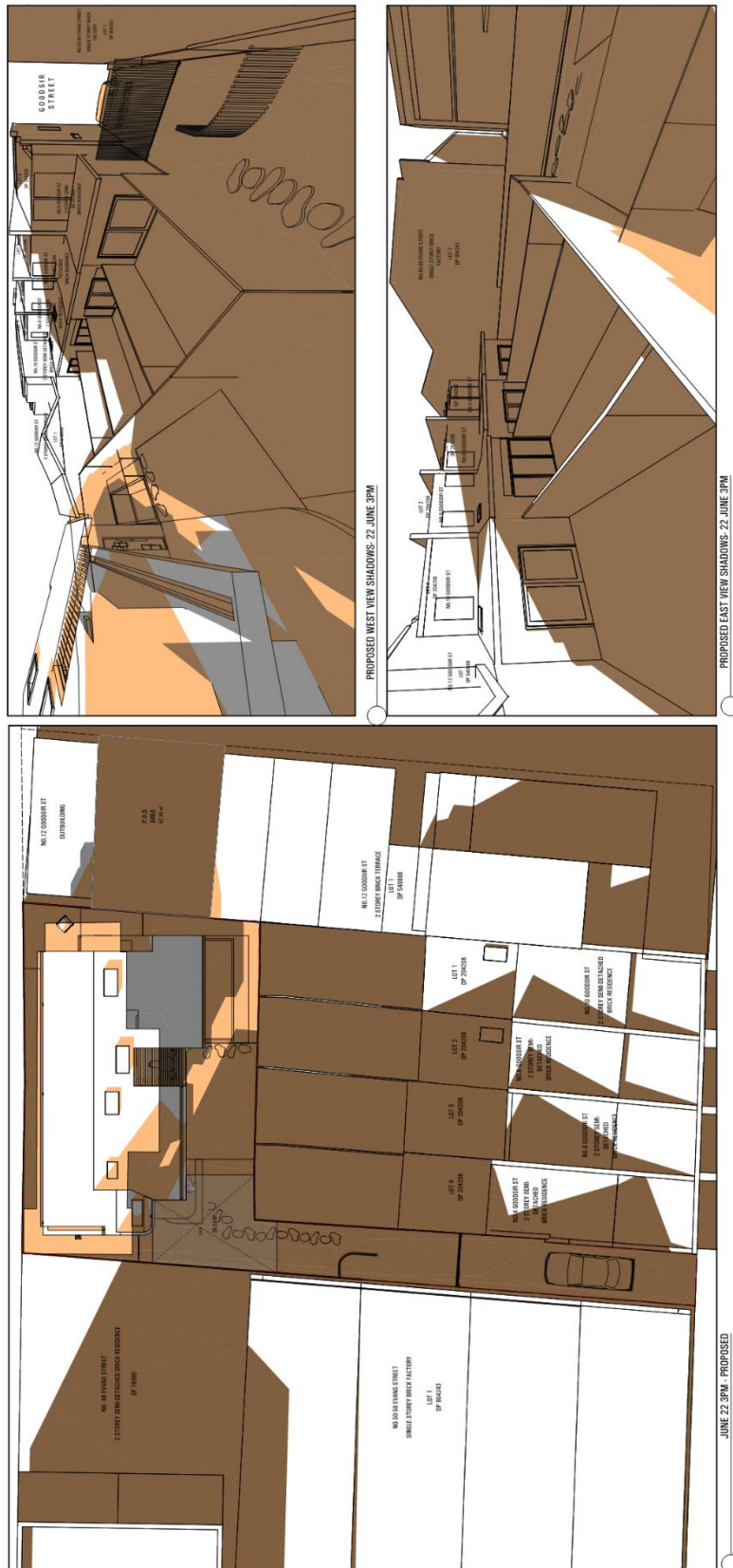
Registered BSR Architects Reg. 9041 • Main P. 213
 Fax P. 214
 Sci A, Building B, 15000 Ave. H, Montreal H6T 1S5
 www.maparch.com

DEVELOPMENT APPLICATION

project 2 GOODSOR STREET
 address ROZELLE
 SHADOW DAVENANTS 22
 JUNE 22M
 checked MA
 down 20.00.25 scale 1:100 @ A3
 date 20.01.25 drawing no
 project 2, 21 40
 issue E

SSU#	AMENDMENT	DATE	NOTES
01	DA APPL CA 100	10/27/24	STANDARD AND BUILDING CODE OF AUSTRALIA ALK ALI, AMONG OTHERS, IS INCORPORATED BY REFERENCE INTO THE SPECIFICATIONS.
02	DA APPL CA 100	11/17/24	REVISION TO THE SPECIFICATIONS TO REFLECT THE REVISIONS TO THE SPECIFICATIONS AND THE REVISIONS TO THE SPECIFICATIONS TO REFLECT THE REVISIONS TO THE SPECIFICATIONS.
03	DA APPL CA 100	08/05/25	REVISION TO THE SPECIFICATIONS TO REFLECT THE REVISIONS TO THE SPECIFICATIONS AND THE REVISIONS TO THE SPECIFICATIONS TO REFLECT THE REVISIONS TO THE SPECIFICATIONS.
04	DA APPL CA 100	08/05/25	REVISION TO THE SPECIFICATIONS TO REFLECT THE REVISIONS TO THE SPECIFICATIONS AND THE REVISIONS TO THE SPECIFICATIONS TO REFLECT THE REVISIONS TO THE SPECIFICATIONS.

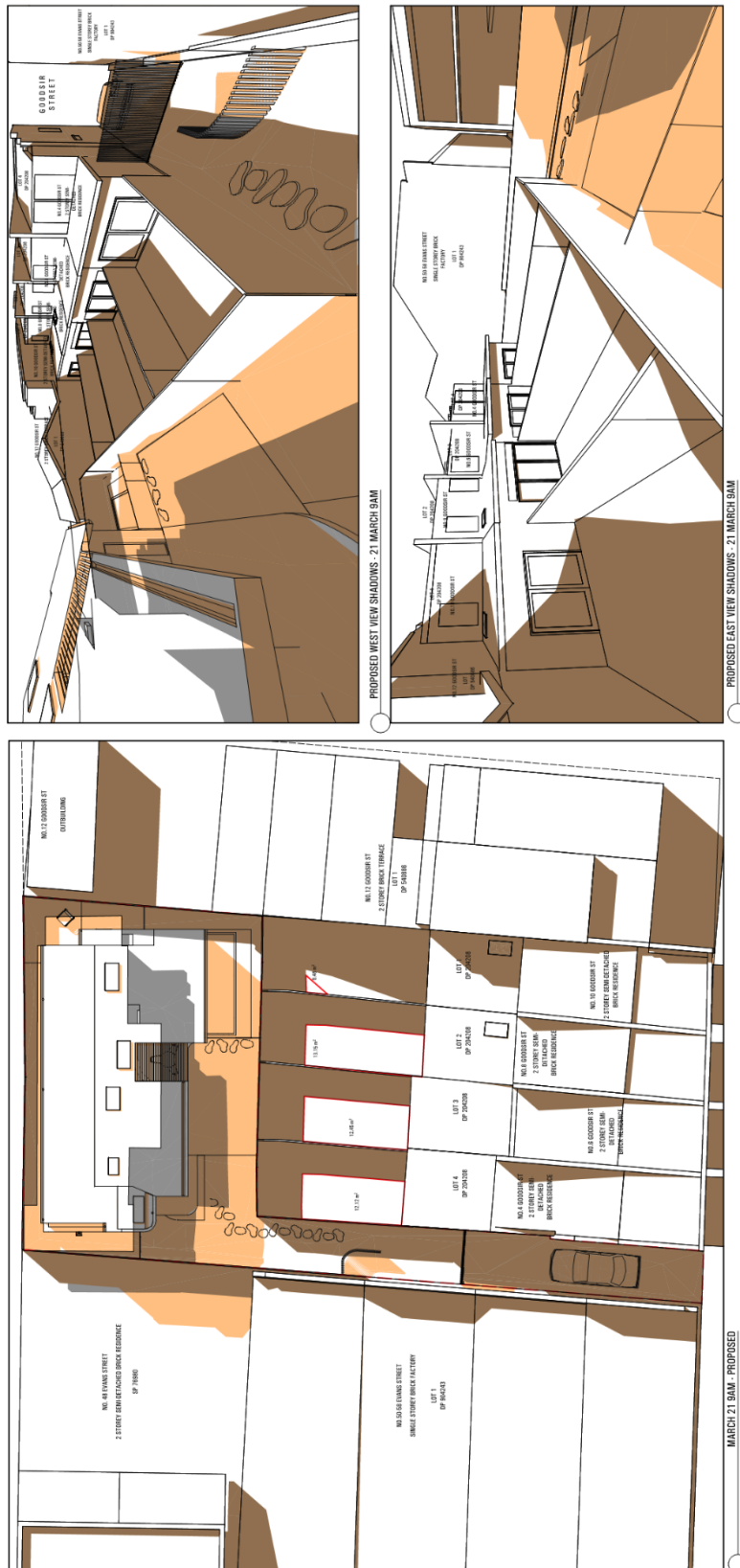
Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025



DEVELOPMENT APPLICATION
2 GOODSTAR STREET
ROZELLE
 SHADOW DAMIENS 22
 200.00.25.25
 checked MA
 down 20.00.25.25
 date 1:10:01 @ A3
 drawing no
 issue
 project
 2, 21, 40
 A5006
 www.maparchitects.com.au
 P 02 9555 0015
 M 04 387 1111
 F 02 9555 0015
 E info@maparchitects.com.au

[illegible]

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025





MAP

ARCHITECTS

Registered BSR Architects Reg. 9041 Mark P. Allen
 10000 15th Avenue S.W. Aurora 80015
 Scott A. Hildner, B.S. Aurora 80015
 www.maparchitects.com

DEVELOPMENT APPLICATION

PROJECT

2 GOODRICH STREET

OWNER

ROZELLE SHAWSON DIAGRAMS 21

DESIGNER

MARCH (BAM)

STATUS

closed / BAM

drawn IVV

drawn III

date

20.03.25

time

1:10:00

drawn on

A3

PROJECT NO.

21

DRAWING NO.

21.01

DATE

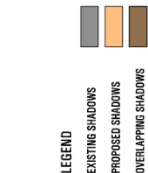
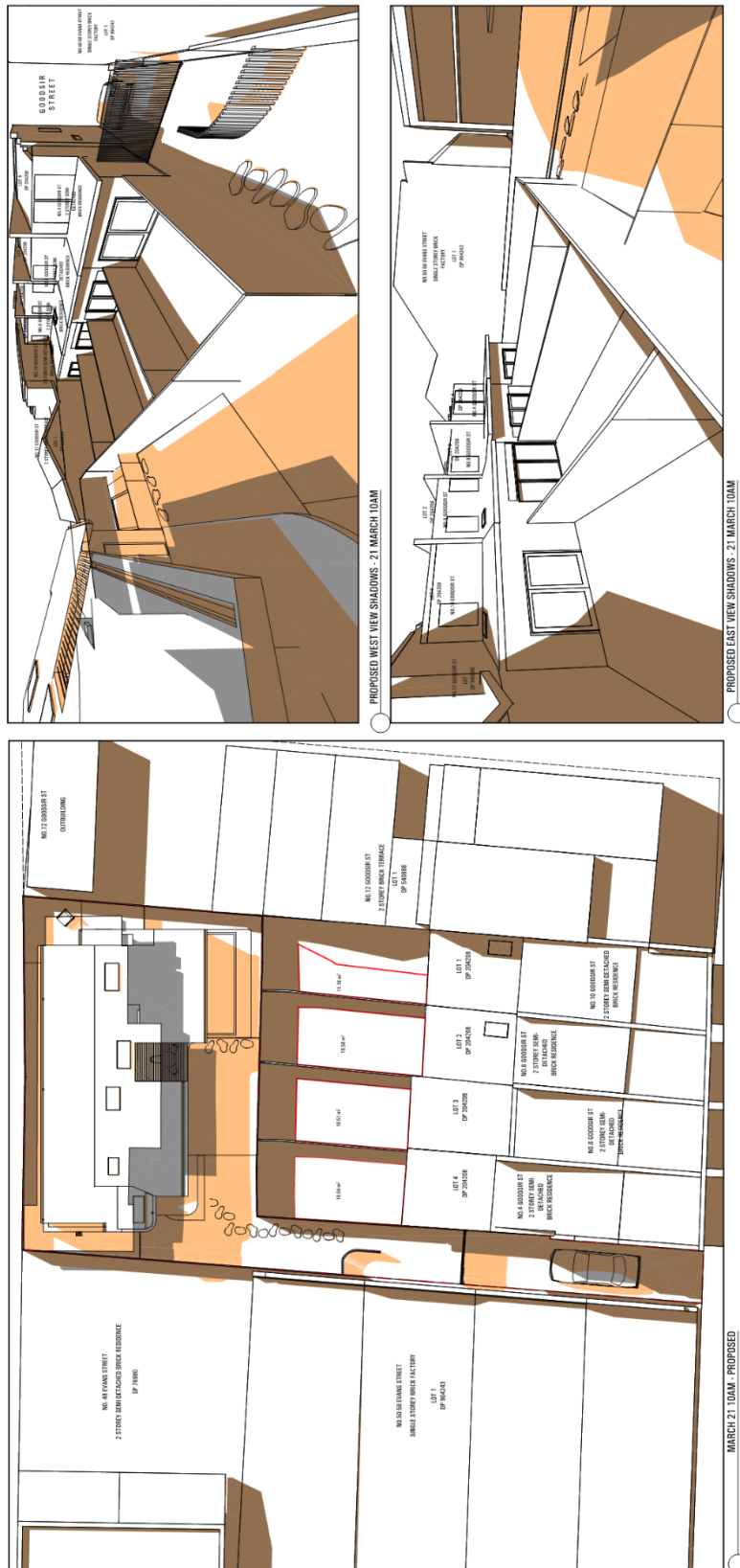
2.12.40

SCALE

E

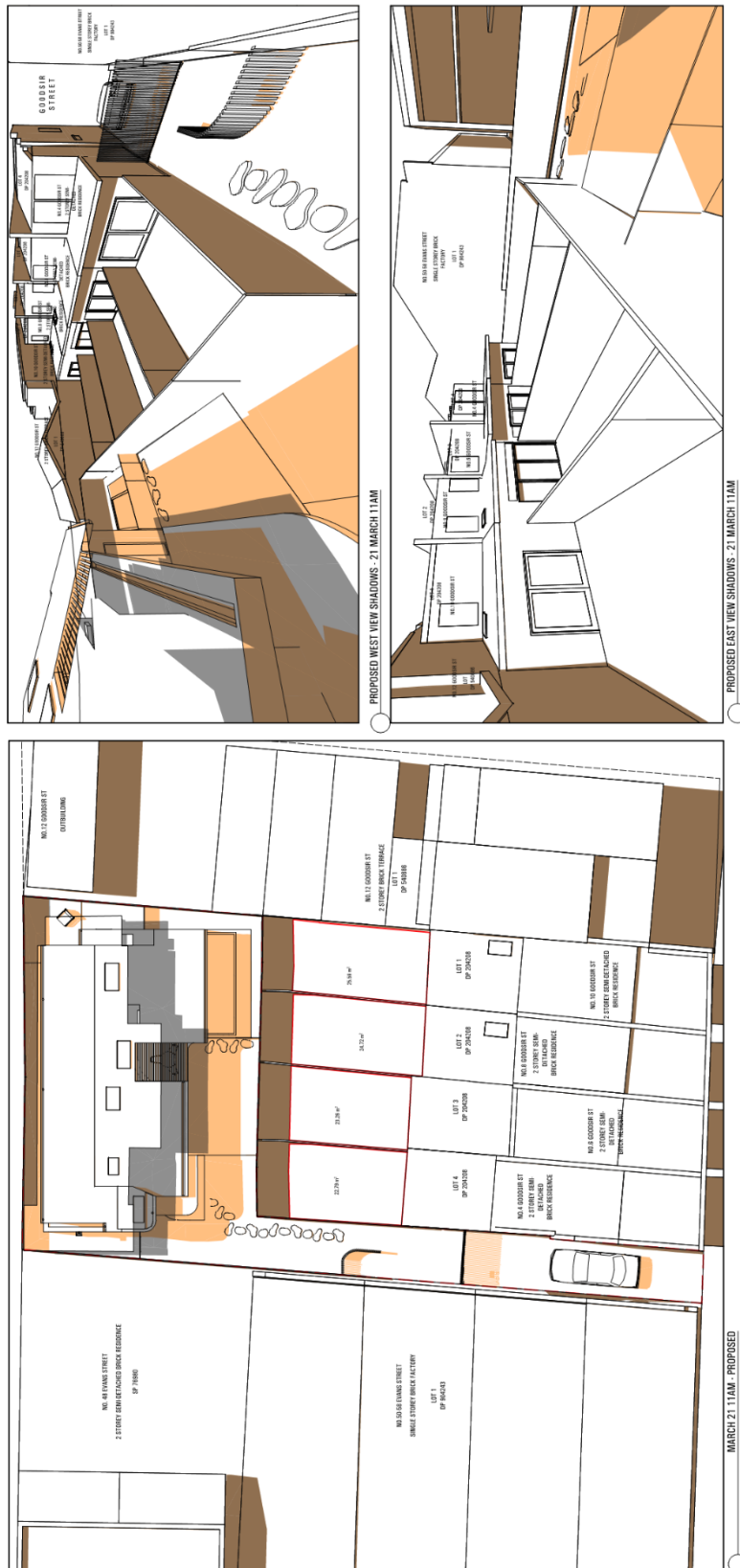
[illegible]

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025

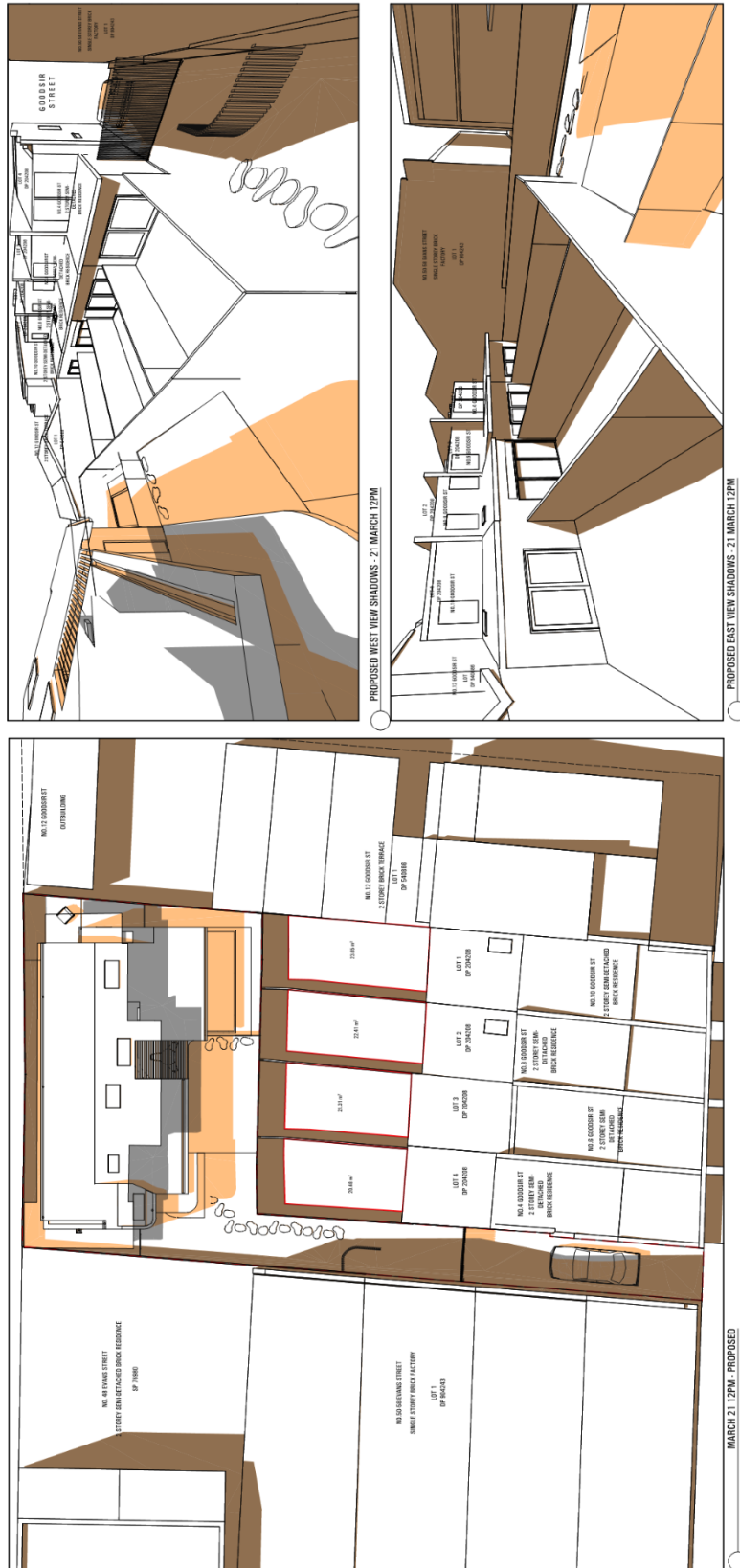


SSU#	AMENDMENT	DATE	NOTES
01	DA APPL CA 100	10/27/24	STANDARD AND BUILDING CODE OF AUSTRALIA ACAL 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000
02	DA APPL CA 100	11/27/24	STANDARD AND BUILDING CODE OF AUSTRALIA ACAL 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025

[illegible][illegible]

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025



MAP ARCHITECTS

Development Application
Project: 2 GOOSBIR STREET
ROZELLE
SHADOW DIAGRAMS 21 MARCH 12PM
Drawn: RV
Checked: MA
Date: 20.03.25
Scale: 1:100 @ A3
Project no: 2_21_40
Drawing no: A5010
Issue: E

Registered NSW Architects Reg. 2021 - Mark P. Jones
www.maparchitects.com.au

LEGEND

EXISTING SHADOWS
PROPOSED SHADOWS
OVERLAPPING SHADOWS

NOTES

1. THIS SHADOW STUDY HAS BEEN PREPARED IN ACCORDANCE WITH THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD FOR SHADOW STUDIES (AS/NZS 4648:2015).

2. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD FOR SHADOW STUDIES (AS/NZS 4648:2015).

3. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD FOR SHADOW STUDIES (AS/NZS 4648:2015).

4. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD FOR SHADOW STUDIES (AS/NZS 4648:2015).

5. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD FOR SHADOW STUDIES (AS/NZS 4648:2015).

6. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD FOR SHADOW STUDIES (AS/NZS 4648:2015).

7. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD FOR SHADOW STUDIES (AS/NZS 4648:2015).

8. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD FOR SHADOW STUDIES (AS/NZS 4648:2015).

9. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD FOR SHADOW STUDIES (AS/NZS 4648:2015).

10. THE SHADOW STUDY HAS BEEN PREPARED USING THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD FOR SHADOW STUDIES (AS/NZS 4648:2015).



MAP ARCHITECTS

Development Application
Project: 2 GOODWIN STREET
ROZELLE
SHADOW ENGINEERING
MARCH 1PM
Drawn: RV
Checked: MA
Date: 20.03.25
Scale: 1:100 @ A3
Project no: 2_21_40
Drawing no: A5011
Issue: E

Registered NSW Architects Reg. 2021 - Mark P. Jones
P. 02 8086 0975
Suite 4, Building B, 37 Alexandra St, Newtown NSW 2110
www.maparchitects.com.au

LEGEND

EXISTING SHADOWS
PROPOSED SHADOWS
OVERLAPPING SHADOWS

NOTES

1. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS. IT IS TO BE USED FOR THE PURPOSES SPECIFIED IN THE TITLE BLOCK ONLY. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

2. THE SHADOWS SHOWN ON THIS DRAWING ARE BASED ON THE ASSUMPTIONS SET OUT IN THE TITLE BLOCK. MAP ARCHITECTS ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE, INCLUDING CONSEQUENTIAL LOSS OR DAMAGE, ARISING FROM THE USE OF THIS DRAWING.

3. THE SHADOWS SHOWN ON THIS DRAWING ARE BASED ON THE ASSUMPTIONS SET OUT IN THE TITLE BLOCK. MAP ARCHITECTS ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE, INCLUDING CONSEQUENTIAL LOSS OR DAMAGE, ARISING FROM THE USE OF THIS DRAWING.

4. THE SHADOWS SHOWN ON THIS DRAWING ARE BASED ON THE ASSUMPTIONS SET OUT IN THE TITLE BLOCK. MAP ARCHITECTS ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE, INCLUDING CONSEQUENTIAL LOSS OR DAMAGE, ARISING FROM THE USE OF THIS DRAWING.

5. THE SHADOWS SHOWN ON THIS DRAWING ARE BASED ON THE ASSUMPTIONS SET OUT IN THE TITLE BLOCK. MAP ARCHITECTS ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE, INCLUDING CONSEQUENTIAL LOSS OR DAMAGE, ARISING FROM THE USE OF THIS DRAWING.

6. THE SHADOWS SHOWN ON THIS DRAWING ARE BASED ON THE ASSUMPTIONS SET OUT IN THE TITLE BLOCK. MAP ARCHITECTS ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE, INCLUDING CONSEQUENTIAL LOSS OR DAMAGE, ARISING FROM THE USE OF THIS DRAWING.

7. THE SHADOWS SHOWN ON THIS DRAWING ARE BASED ON THE ASSUMPTIONS SET OUT IN THE TITLE BLOCK. MAP ARCHITECTS ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE, INCLUDING CONSEQUENTIAL LOSS OR DAMAGE, ARISING FROM THE USE OF THIS DRAWING.

8. THE SHADOWS SHOWN ON THIS DRAWING ARE BASED ON THE ASSUMPTIONS SET OUT IN THE TITLE BLOCK. MAP ARCHITECTS ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE, INCLUDING CONSEQUENTIAL LOSS OR DAMAGE, ARISING FROM THE USE OF THIS DRAWING.

9. THE SHADOWS SHOWN ON THIS DRAWING ARE BASED ON THE ASSUMPTIONS SET OUT IN THE TITLE BLOCK. MAP ARCHITECTS ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE, INCLUDING CONSEQUENTIAL LOSS OR DAMAGE, ARISING FROM THE USE OF THIS DRAWING.

10. THE SHADOWS SHOWN ON THIS DRAWING ARE BASED ON THE ASSUMPTIONS SET OUT IN THE TITLE BLOCK. MAP ARCHITECTS ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE, INCLUDING CONSEQUENTIAL LOSS OR DAMAGE, ARISING FROM THE USE OF THIS DRAWING.



MAP ARCHITECTS

Development Application
Project: 2 GOOSBIR STREET
ROZELLE
SHADOW STUDIES 21 MARCH 2PM
Drawn: RV
Checked: MA
Date: 20.03.25
Scale: 1:100 @ A3
Project no: 2_21_40
Drawing no: A5012
Issue: E

Registered NSW Architects Reg. 4047 - Mark P. Jones
P. 02 9586 9975
www.maparchitects.com.au

LEGEND

EXISTING SHADOWS
PROPOSED SHADOWS
OVERLAPPING SHADOWS

NOTES

1. THIS SHADOW STUDY IS PREPARED IN ACCORDANCE WITH THE SHADOW STUDY STANDARDS AND GUIDANCE NOTE OF THE AUSTRALIAN STANDARD FOR SHADOW STUDIES (AS/NZS 4566:2012).

2. THE SHADOW STUDY IS PREPARED FOR THE PROPOSED DEVELOPMENT AND IS NOT A GUARANTEE OF THE ACCURACY OF THE SHADOWS SHOWN.

3. THE SHADOW STUDY IS PREPARED FOR THE PROPOSED DEVELOPMENT AND IS NOT A GUARANTEE OF THE ACCURACY OF THE SHADOWS SHOWN.

4. THE SHADOW STUDY IS PREPARED FOR THE PROPOSED DEVELOPMENT AND IS NOT A GUARANTEE OF THE ACCURACY OF THE SHADOWS SHOWN.

5. THE SHADOW STUDY IS PREPARED FOR THE PROPOSED DEVELOPMENT AND IS NOT A GUARANTEE OF THE ACCURACY OF THE SHADOWS SHOWN.

6. THE SHADOW STUDY IS PREPARED FOR THE PROPOSED DEVELOPMENT AND IS NOT A GUARANTEE OF THE ACCURACY OF THE SHADOWS SHOWN.

7. THE SHADOW STUDY IS PREPARED FOR THE PROPOSED DEVELOPMENT AND IS NOT A GUARANTEE OF THE ACCURACY OF THE SHADOWS SHOWN.

8. THE SHADOW STUDY IS PREPARED FOR THE PROPOSED DEVELOPMENT AND IS NOT A GUARANTEE OF THE ACCURACY OF THE SHADOWS SHOWN.

9. THE SHADOW STUDY IS PREPARED FOR THE PROPOSED DEVELOPMENT AND IS NOT A GUARANTEE OF THE ACCURACY OF THE SHADOWS SHOWN.

10. THE SHADOW STUDY IS PREPARED FOR THE PROPOSED DEVELOPMENT AND IS NOT A GUARANTEE OF THE ACCURACY OF THE SHADOWS SHOWN.



DEVELOPMENT APPLICATION

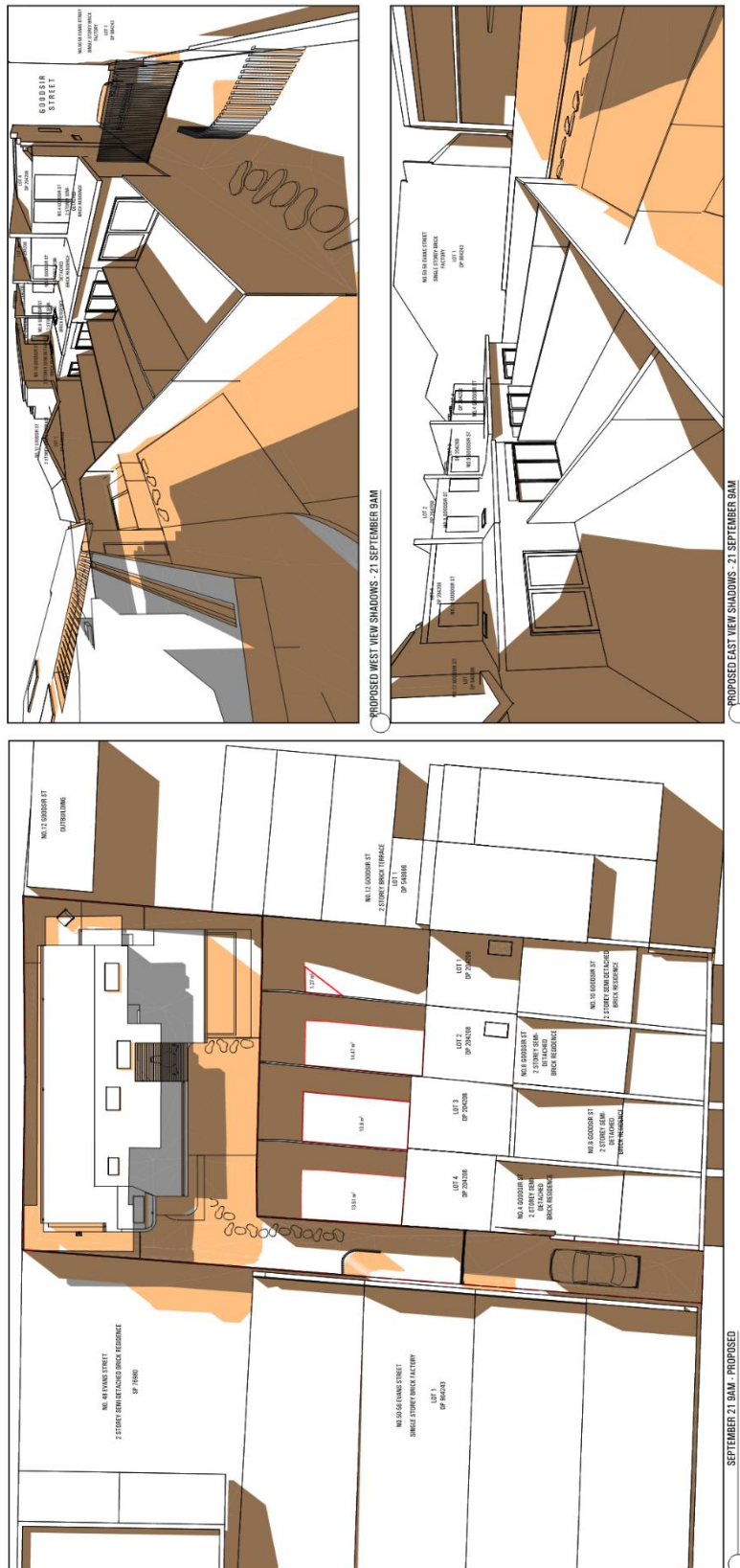
project 2 GOODSIR STREET
ROZELLE
SHADOW STUDY
MARCH 3PM

drawn BY checked BY
date 20.03.25 scale 1:100 @ A3
project no. 2_21_40
drawing no. A5013

MAP ARCHITECTS

10/01/2025
www.maparchitects.com.au

Registered BSR Architects Reg 2021 Mark P. Jones
Suite 4, Building B, 37 Alexandra St, Newtown NSW 2110





MAP
ARCHITECTS

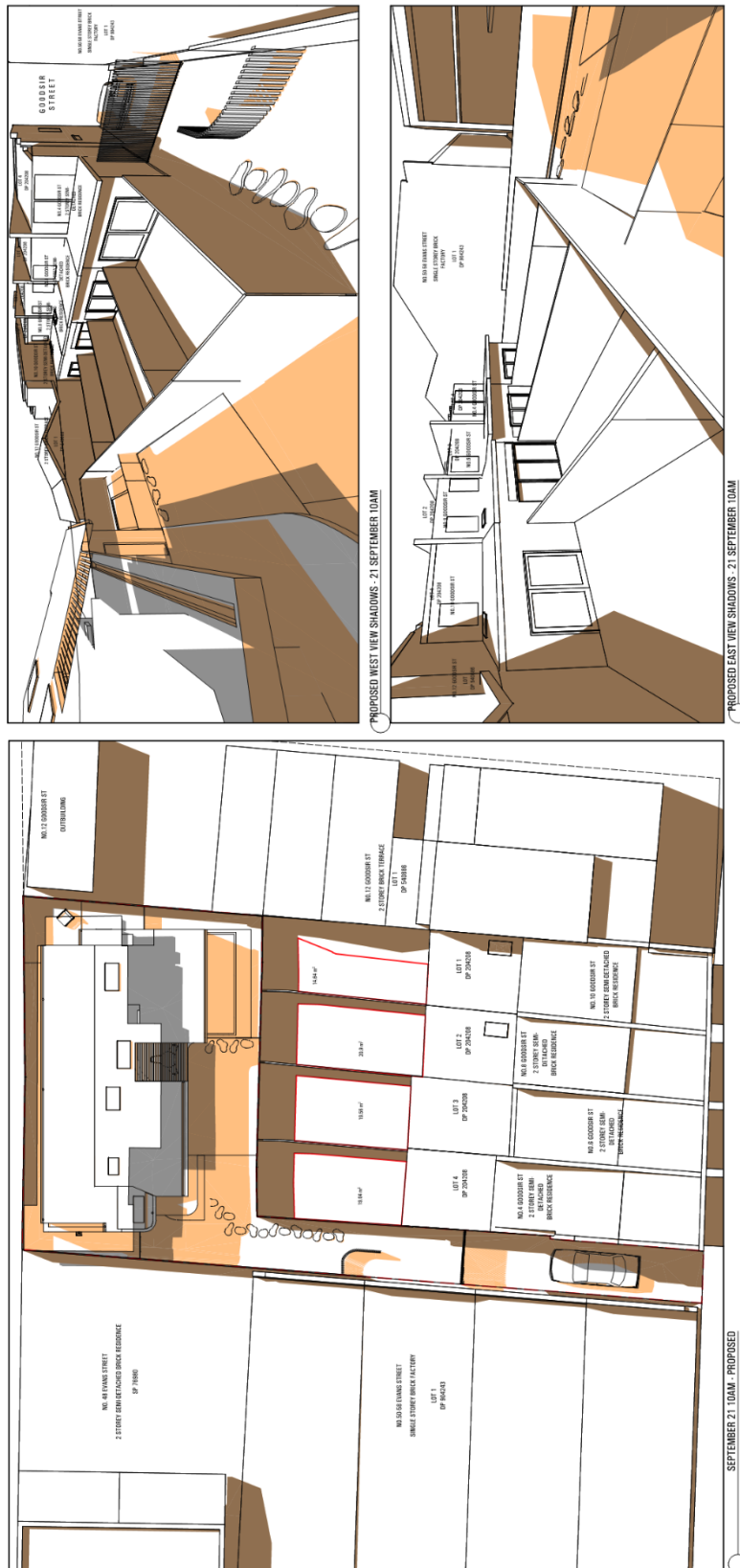
Registered BSR Architects Reg. 9041 • Mark P. Allen
 10000 15th Avenue S.W. • Suite 100 • Seattle, WA 98148
 Scott A. Hildner, B. 17448 • 207 2113
 www.maparch.com
 www.maparch.com

DEVELOPMENT APPLICATION

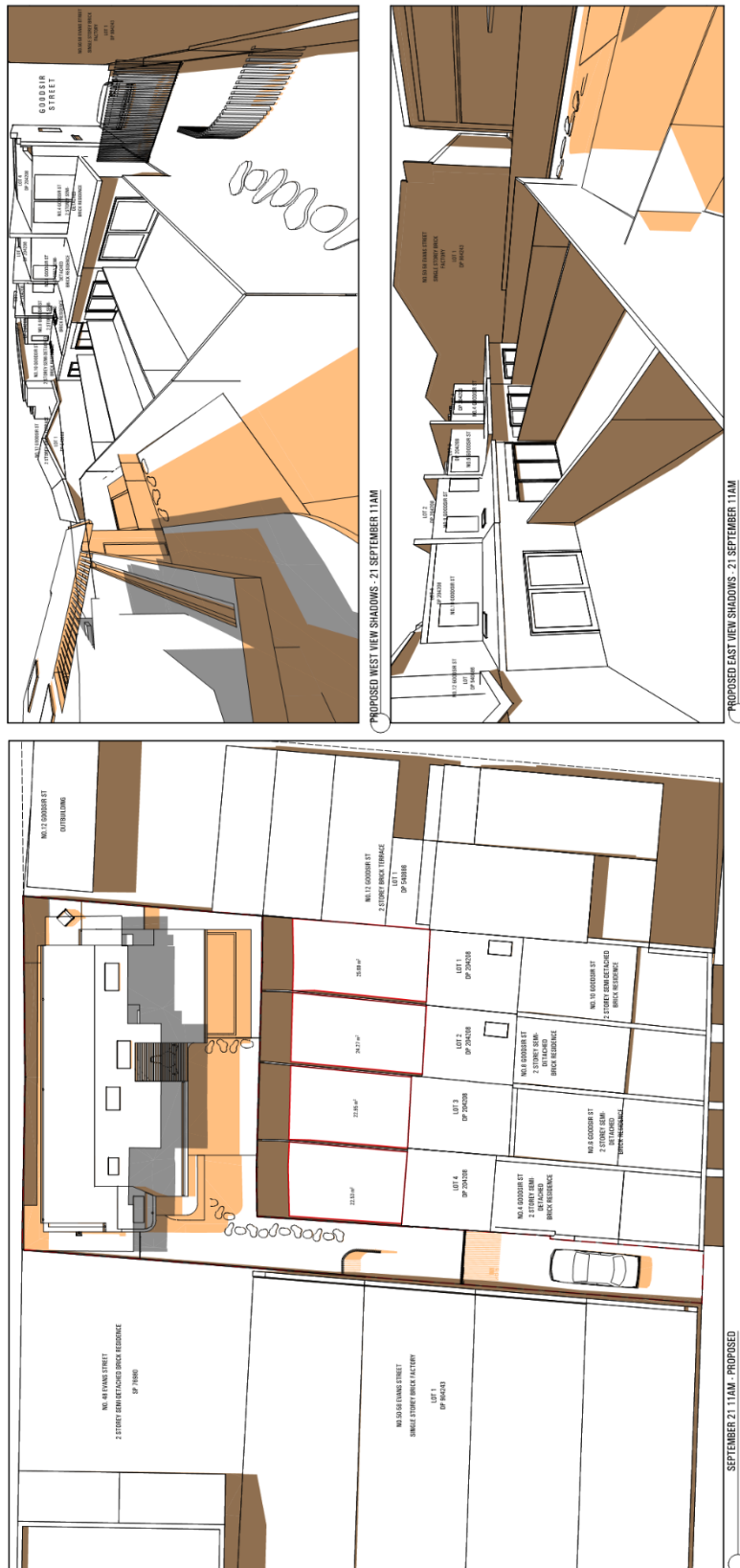
project 2 GOODSHIR STREET
 address ROZELLE
 SHADOW DIAGRAMS 21
 SEPTEMBER 21 AM
 checked MA
 down IVU
 date 20.03.25
 scale 1:100 @ A3
 drawing no
 project 2
 price 21, 40
 issue E
 team

[illegible]

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025

[illegible][illegible]

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025





MAP
ARCHITECTS

Registered BSR Architects Reg. 9041 • Main P. 213
 Fax P. 214
 Sci A, Building B, 17 Adelaide St. W. Toronto M5T 1A5
 www.maparch.com

DEVELOPMENT APPLICATION

project 2 GOODSOR STREET
 address ROZELLE
 SHADOW DIAGRAMS 21
 SEPTEMBER 11 AM
 checked MA

drawn	RV	20.03.25	scale	1:100 @ A3
date	20.03.25	date	1:100 @ A3	
drawn by	RV	date	drawing no.	1
project no.	2	date	issue	E
	21.21.40			

[illegible]

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025





MAP

ARCHITECTS

1100 N. 1st St., Suite 200
 Minneapolis, MN 55401
 Tel: 612.338.0000
www.maparch.com

DEVELOPMENT APPLICATION
2 GOODSOR STREET
ROZELLE
SHADOW DIAGRAMS 21
SEPTEMBER 12PM
 checked **NA**

project
 date **20.03.25** scale **1:100 @ A3**
 drawing no **21**
 project fee **2,21.40**
 issue **E**

REVISIONS: BSR Architects Reg. 9041 - Mark P. Allen
 BSR Architects Reg. 9041 - Mark P. Allen
 Scott A. Hildner Reg. 4578 - Andrew S. Hildner Reg. 4578
 www.maparch.com

[illegible]

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025



MAP ARCHITECTS

Development Application
Project: 2 GOOSBIE STREET
ROZELLE
SHADOW ENGINEERING
SEPTEMBER 21
Drawn: RV
Checked: MA
Date: 20.03.25
Scale: 1:100 @ A3
Project no: 2_21_40
Drawing no: A5018
Issue: E

Registered NSW Architects Reg. 2021 Mark P. Jones
P. 02 8086 0975
www.maparchitects.com.au
Suite 4, Building B, 37 Alexandra St, Newtown NSW 2110

LEGEND

EXISTING SHADOWS
PROPOSED SHADOWS
OVERLAPPING SHADOWS

NOTES

1. This drawing is for the proposed development, it is not a final design and is subject to change without notice. It is not to be used for any other purpose without the written consent of the architect.

2. The shadows shown are based on the sun's position at 1PM on 21 September 2025. The shadows are shown in a simplified manner and do not represent the actual shadows that would be cast by the building.

3. The shadows shown are based on the sun's position at 1PM on 21 September 2025. The shadows are shown in a simplified manner and do not represent the actual shadows that would be cast by the building.

4. The shadows shown are based on the sun's position at 1PM on 21 September 2025. The shadows are shown in a simplified manner and do not represent the actual shadows that would be cast by the building.

5. The shadows shown are based on the sun's position at 1PM on 21 September 2025. The shadows are shown in a simplified manner and do not represent the actual shadows that would be cast by the building.

6. The shadows shown are based on the sun's position at 1PM on 21 September 2025. The shadows are shown in a simplified manner and do not represent the actual shadows that would be cast by the building.

7. The shadows shown are based on the sun's position at 1PM on 21 September 2025. The shadows are shown in a simplified manner and do not represent the actual shadows that would be cast by the building.

8. The shadows shown are based on the sun's position at 1PM on 21 September 2025. The shadows are shown in a simplified manner and do not represent the actual shadows that would be cast by the building.

9. The shadows shown are based on the sun's position at 1PM on 21 September 2025. The shadows are shown in a simplified manner and do not represent the actual shadows that would be cast by the building.

10. The shadows shown are based on the sun's position at 1PM on 21 September 2025. The shadows are shown in a simplified manner and do not represent the actual shadows that would be cast by the building.

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025



MAP ARCHITECTS

Development Application
Project: 2 GOODWIN STREET
ROZELLE
SHADOW ENGINEERS 21
SEPTEMBER 2PM
Drawn: RV checked: MA
Date: 20.03.25 scale: 1:100 @ A3
Project no: 2_21_40
Drawing no: A5019
Issue: E

Registered BSA Architects Reg. 2021 Mark P. Jones
10/01/2025
www.maparchitects.com.au

LEGEND

EXISTING SHADOWS
PROPOSED SHADOWS
OVERLAPPING SHADOWS

NOTES

1. This drawing is for the proposed development, it is not a final drawing and should not be used for construction purposes.

2. The shadows shown on this drawing are for the proposed development only and do not include shadows from other buildings or trees.

3. The shadows shown on this drawing are for the proposed development only and do not include shadows from other buildings or trees.

4. The shadows shown on this drawing are for the proposed development only and do not include shadows from other buildings or trees.

5. The shadows shown on this drawing are for the proposed development only and do not include shadows from other buildings or trees.

6. The shadows shown on this drawing are for the proposed development only and do not include shadows from other buildings or trees.

7. The shadows shown on this drawing are for the proposed development only and do not include shadows from other buildings or trees.

8. The shadows shown on this drawing are for the proposed development only and do not include shadows from other buildings or trees.

9. The shadows shown on this drawing are for the proposed development only and do not include shadows from other buildings or trees.

10. The shadows shown on this drawing are for the proposed development only and do not include shadows from other buildings or trees.

[illegible][illegible]

Document Set ID: 40604802
Version: 1, Version Date: 13/05/2025

[illegible]

ISSUE ABANDONMENT	DATE
DA APPLICATION	16-07-98
DA APPLICATION	13-07-98
DA APPLICATION	13-12-98
DA APPLICATION	20-03-99
DA APPLICATION	28-03-99



MAP ARCHITECTS

Registered NSW Architects Reg. 3647 Mark P. Jones
Suite 4, Building B, 37 Alexandra St, Newtown NSW 2118
www.maparchitects.com.au

DEVELOPMENT APPLICATION

Project: 2 GOOSBIE STREET
ROZELLE
Drawing: 1/100 @ A3

Drawn: RV checked: MA
Date: 20.03.25 scale: 1:100 @ A3
Project no: 2_21_40
Drawing no: A6001

Issue: E

NOTES

1. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

2. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

3. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

4. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

5. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.


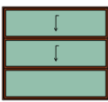


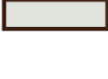




6. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.










7. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.



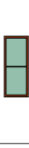



8. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

9. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

10. THIS DRAWING IS THE PROPERTY OF MAP ARCHITECTS AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

Element ID	D-01	D-02	D-02	D-03	D-04	W-01	W-02	W-03	W-04
									
Dimensions	1,200 × 3,070	2,290 × 2,600	3,275 × 2,600	1,460 × 2,600	800 × 2,600	1,480 × 600	600 × 2,600	1,710 × 2,600	900 × 2,600
Obscured Glass Type	SOLID DOOR	GSD	BIFOLD DOOR	F	FROSTED OR FLUTED	SLIDING	LVR	F	LVR

Element ID	W-05	W-06	W-07	W-08	W-09	W-10	W-11	W-12	W-13
									
Dimensions	1,410 × 2,600	1,410 × 2,600	5,090 × 470	930 × 2,600	930 × 2,600	965 × 2,600	2,195 × 2,600	3,275 × 470	817 × 3,045
Obscured Glass Type	F	F	F	CASEMENT	FIXED	FIXED	FIXED CURVED	F	FROSTED OR FLUTED

Element ID	W-14	W-15	W-16	W-17	W-18	W-19
						
Dimensions	2,386 × 600	1,000 × 600	1,500 × 600	1,500 × 600	900 × 2,420	1,410 × 1,050
Obscured Glass Type	SL	SL	SL	SL	LVR	SL

NOTES

1. THIS DOCUMENT IS THE PROPERTY OF MAP ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE BLOCK.
2. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.
3. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.
4. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.
5. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.
6. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.
7. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.
8. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.
9. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.
10. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF MAP ARCHITECTS.

EXISTING WALLS
PROPOSED WALLS
WALLS TO DEMOLISH

LEGEND
SL = SLIDING WINDOW
F = FIXED GLASS
DH = DOUBLE HUNG
LVR = LOUVER GLASS
DH = DOUBLE HUNG

MAP ARCHITECTS
ARCHITECTS
200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000/1001/1002/1003/1004/1005/1006/1007/1008/1009/1010/1011/1012/1013/1014/1015/1016/1017/1018/1019/1020/1021/1022/1023/1024/1025/1026/1027/1028/1029/1030/1031/1032/1033/1034/1035/1036/1037/1038/1039/1040/1041/1042/1043/1044/1045/1046/1047/1048/1049/1050/1051/1052/1053/1054/1055/1056/1057/1058/1059/1060/1061/1062/1063/1064/1065/1066/1067/1068/1069/1070/1071/1072/1073/1074/1075/1076/1077/1078/1079/1080/1081/1082/1083/1084/1085/1086/1087/1088/1089/1090/1091/1092/1093/1094/1095/1096/1097/1098/1099/1100/1101/1102/1103/1104/1105/1106/1107/1108/1109/1110/1111/1112/1113/1114/1115/1116/1117/1118/1119/1120/1121/1122/1123/1124/1125/1126/1127/1128/1129/1130/1131/1132/1133/1134/1135/1136/1137/1138/1139/1140/1141/1142/1143/1144/1145/1146/1147/1148/1149/1150/1151/1152/1153/1154/1155/1156/1157/1158/1159/1160/1161/1162/1163/1164/1165/1166/1167/1168/1169/1170/1171/1172/1173/1174/1175/1176/1177/1178/1179/1180/1181/1182/1183/1184/1185/1186/1187/1188/1189/1190/1191/1192/1193/1194/1195/1196/1197/1198/1199/1200/1201/1202/1203/1204/1205/1206/1207/1208/1209/1210/1211/1212/1213/1214/1215/1216/1217/1218/1219/1220/1221/1222/1223/1224/1225/1226/1227/1228/1229/1230/1231/1232/1233/1234/1235/1236/1237/1238/1239/1240/1241/1242/1243/1244/1245/1246/1247/1248/1249/1250/1251/1252/1253/1254/1255/1256/1257/1258/1259/1260/1261/1262/1263/1264/1265/1266/1267/1268/1269/1270/1271/1272/1273/1274/1275/1276/1277/1278/1279/1280/1281/1282/1283/1284/1285/1286/1287/1288/1289/1290/1291/1292/1293/1294/1295/1296/1297/1298/1299/1300/1301/1302/1303/1304/1305/1306/1307/1308/1309/1310/1311/1312/1313/1314/1315/1316/1317/1318/1319/1320/1321/1322/1323/1324/1325/1326/1327/1328/1329/1330/1331/1332/1333/1334/1335/1336/1337/1338/1339/1340/1341/1342/1343/1344/1345/1346/1347/1348/1349/1350/1351/1352/1353/1354/1355/1356/1357/1358/1359/1360/1361/1362/1363/1364/1365/1366/1367/1368/1369/1370/1371/1372/1373/1374/1375/1376/1377/1378/1379/1380/1381/1382/1383/1384/1385/1386/1387/1388/1389/1390/1391/1392/1393/1394/1395/1396/1397/1398/1399/1400/1401/1402/1403/1404/1405/1406/1407/1408/1409/1410/1411/1412/1413/1414/1415/1416/1417/1418/1419/1420/1421/1422/1423/1424/1425/1426/1427/1428/1429/1430/1431/1432/1433/1434/1435/1436/1437/1438/1439/1440/1441/1442/1443/1444/1445/1446/1447/1448/1449/1450/1451/1452/1453/1454/1455/1456/1457/1458/1459/1460/1461/1462/1463/1464/1465/1466/1467/1468/1469/1470/1471/1472/1473/1474/1475/1476/1477/1478/1479/1480/1481/1482/1483/1484/1485/1486/1487/1488/1489/1490/1491/1492/1493/1494/1495/1496/1497/1498/1499/1500/1501/1502/1503/1504/1505/1506/1507/1508/1509/1510/1511/1512/1513/1514/1515/1516/1517/1518/1519/1520/1521/1522/1523/1524/1525/1526/1527/1528/1529/1530/1531/1532/1533/1534/1535/1536/1537/1538/1539/1540/1541/1542/1543/1544/1545/1546/1547/1548/1549/1550/1551/1552/1553/1554/1555/1556/1557/1558/1559/1560/1561/1562/1563/1564/1565/1566/1567/1568/1569/1570/1571/1572/1573/1574/1575/1576/1577/1578/1579/1580/1581/1582/1583/1584/1585/1586/1587/1588/1589/1590/1591/1592/1593/1594/1595/1596/1597/1598/1599/1600/1601/1602/1603/1604/1605/1606/1607/1608/1609/1610/1611/1612/1613/1614/1615/1616/1617/1618/1619/1620/1621/1622/1623/1624/1625/1626/1627/1628/1629/1630/1631/1632/1633/1634/1635/1636/1637/1638/1639/1640/1641/1642/1643/1644/1645/1646/1647/1648/1649/1650/1651/1652/1653/1654/1655/1656/1657/1658/1659/1660/1661/1662/1663/1664/1665/1666/1667/1668/1669/1670/1671/1672/1673/1674/1675/1676/1677/1678/1679/1680/1681/1682/1683/1684/1685/1686/1687/1688/1689/1690/1691/1692/1693/1694/1695/1696/1697/1698/1699/1700/1701/1702/1703/1704/1705/1706/1707/1708/1709/1710/1711/1712/1713/1714/1715/1716/1717/1718/1719/1720/1721/1722/1723/1724/1725/1726/1727/1728/1729/1730/1731/1732/1733/1734/1735/1736/1737/1738/1739/1740/1741/1742/1743/1744/1745/1746/1747/1748/1749/1750/1751/1752/1753/1754/1755/1756/1757/1758/1759/1760/1761/1762/1763/1764/1765/1766/1767/1768/1769/1770/1771/1772/1773/1774/1775/1776/1777/1778/1779/1780/1781/1782/1783/1784/1785/1786/1787/1788/1789/1790/1791/1792/1793/1794/1795/1796/1797/1798/1799/1800/1801/1802/1803/1804/1805/1806/1807/1808/1809/1810/1811/1812/1813/1814/1815/1816/1817/1818/1819/1820/1821/1822/1823/1824/1825/1826/1827/1828/1829/1830/1831/1832/1833/1834/1835/1836/1837/1838/1839/1840/1841/1842/1843/1844/1845/1846/1847/1848/1849/1850/1851/1852/1853/1854/1855/1856/1857/1858/1859/1860/1861/1862/1863/1864/1865/1866/1867/1868/1869/1870/1871/1872/1873/1874/1875/1876/1877/1878/1879/1880/1881/1882/1883/1884/1885/1886/1887/1888/1889/1890/1891/1892/1893/1894/1895/1896/1897/1898/1899/1900/1901/1902/1903/1904/1905/1906/1907/1908/1909/1910/1911/1912/1913/1914/1915/1916/1917/1918/1919/1920/1921/1922/1923/1924/1925/1926/1927/1928/1929/1930/1931/1932/1933/1934/1935/1936/1937/1938/1939/1940/1941/1942/1943/1944/1945/1946/1947/1948/1949/1950/1951/1952/1953/1954/1955/1956/1957/1958/1959/1960/1961/1962/1963/1964/1965/1966/1967/1968/1969/1970/1971/1972/1973/1974/1975/1976/1977/1978/1979/1980/1981/1982/1983/1984/1985/1986/1987/1988/1989/1990/1991/1992/1993/1994/1995/1996/1997/1998/1999/2000/2001/2002/2003/2004/2005/2006/2007/2008/2009/2010/2011/2012/2013/2014/2015/2016/2017/2018/2019/2020/2021/2022/2023/2024/2025/2026/2027/2028/2029/2030/2031/2032/2033/2034/2035/2036/2037/2038/2039/2040/2041/2042/2043/2044/2045/2046/2047/2048/2049/2050/2051/2052/2053/2054/2055/2056/2057/2058/2059/2060/2061/2062/2063/2064/2065/2066/2067/2068/2069/2070/2071/2072/2073/2074/2075/2076/2077/2078/2079/2080/2081/2082/2083/2084/2085/2086/2087/2088/2089/2090/2091/2092/2093/2094/2095/2096/2097/2098/2099/2100/2101/2102/2103/2104/2105/2106/2107/2108/2109/2110/2111/2112/2113/2114/2115/2116/2117/2118/2119/2120/2121/2122/2123/2124/2125/2126/2127/2128/2129/2130/2131/2132/2133/2134/2135/2136/2137/2138/2139/2140/2141/2142/2143/2144/2145/2146/2147/2148/2149/2150/2151/2152/2153/2154/2155/2156/2157/2158/2159/2160/2161/2162/2163/2164/2165/2166/2167/2168/2169/2170/2171/2172/2173/2174/2175/2176/2177/2178/2179/2180/2181/2182/2183/2184/2185/2186/2187/2188/2189/2190/2191/2192/2193/2194/2195/2196/2197/2198/2199/2200/2201/2202/2203/2204/2205/2206/2207/2208/2209/2210/2211/2212/2213/2214/2215/2216/2217/2218/2219/2220/2221/2222/2223/2224/2225/2226/2227/2228/2229/2230/2231/2232/2233/2234/2235/2236/2237/2238/2239/2240/2241/2242/2243/2244/2245/2246/2247/2248/2249/2250/2251/2252/2253/2254/2255/2256/2257/2258/2259/2260/2261/2262/2263/2264/2265/2266/2267/2268/2269/2270/2271/2272/2273/2274/2275/2276/2277/2278/2279/2280/2281/2282/2283/2284/2285/2286/2287/2288/2289/2290/2291/2292/2293/2294/2295/2296/2297/2298/2299/2300/2301/2302/2303/2304/2305/2306/2307/2308/2309/2310/2311/2312/2313/2314/2315/2316/2317/2318/2319/2320/2321/2322/2323/2324/2325/2326/2327/2328/2329/2330/2331/2332/2333/2334/2335/2336/2337/2338/2339/2340/2341/2342/2343/2



Attachment C – Statement of Heritage Significance



Heritage Impact Statement

Demolition of a dwelling within a Heritage Conservation Area
2 Goodsir Street, Rozelle

February 2025
EHC2022/0178

EDWARDS HERITAGE CONSULTANTS PTY LTD

ABN 38 650 469 211
19A Fitzgerald Street, Windsor | (02) 4589 3049 | PO Box 4189 Pitt Town NSW 2756
enquiry@edwardsheritage.com.au | edwardsheritage.com.au

Document Control					
Project No.	Issue Date	Revision	Issue	Prepared	Reviewed
EHC22/0178	11.08.2022	A	Initial Draft	HC	ME
	25.08.2022	B	Reviewed		
	25.08.2022	C	Client issue		
	04.02.2025	D	Amended client issue		

© 2024 | EDWARDS HERITAGE CONSULTANTS PTY LTD

This report remains the property of Edwards Heritage Consultants Pty Ltd.

The Client commissioning Edwards Heritage Consultants Pty Ltd to prepare this report shall have a non-exclusive licence for the use of this report, however the copyright remains the property of Edwards Heritage Consultants Pty Ltd.

No part of it may in any form or by any means (electronic, mechanical photocopying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted, in part or in full, without the express written consent of Edwards Heritage Consultants Pty Ltd.

DISCLAIMER

Any representation, statement, opinion or advice expressed or implied in this report is made in good faith but on the basis that Edwards Heritage Consultants Pty Ltd is not liable (whether by reason or negligence, lack of care or otherwise) to any person for any damage or loss whatsoever which has occurred or may occur in relation to that person taking, or not taking (as the case may be) action in any respect of any representation.

While any representation, statement, opinion or advice in this report is provided in good faith, it does not guarantee that a development approval will be issued by the Consent Authority, nor give expressed or implied support to any development proposal, unless solely by professional recommendation and opinion.

REPORT CONTENTS

1.0 EXECUTIVE SUMMARY	1
1.1 Context of the report	1
1.2 Overview of the findings of this report.....	1
1.3 Recommendation and mitigation measures	1
2.0 INTRODUCTION.....	2
2.1 Acknowledgement of Country	2
2.2 Context of the report	2
2.3 Methodology	2
2.4 Authorship.....	3
2.5 Limitations.....	3
2.6 Terminology.....	3
2.7 Physical evidence.....	3
3.0 SITE ASSESSMENT	4
3.1 Location and context.....	4
3.2 The subject site	5
3.3 Description of the exterior.....	5
3.4 Description of the interior.....	7
3.5 Description of the landscape	8
3.6 Streetscape contribution.....	9
3.7 Integrity and condition.....	9
4.0 HISTORICAL CONTEXT	11
4.1 Introduction	11
4.2 First land grant	11
4.3 Early subdivisions of William Balmain's estate	11
4.4 The subject site	14
5.0 HERITAGE LISTING STATUS.....	19
5.1 Introduction	19
5.2 Statutory and non-statutory heritage listings.....	19
5.3 Items of heritage significance within the vicinity of the site	19
6.0 EXISTING HERITAGE SIGNIFICANCE ASSESSMENTS.....	21
6.1 Existing description of the Heritage Conservation Area.....	21
6.2 Existing statement of cultural significance of the Heritage Conservation Area	21
6.3 Existing recommended management.....	22
7.0 ASSESSMENT OF CULTURAL SIGNIFICANCE	23
7.1 Methodology	23
7.2 Assessment against NSW Heritage Assessment Criteria	23
7.2.1 Criterion (a) – historical significance	23
7.2.2 Criterion (b) – historical association significance	24
7.2.3 Criterion (c) – aesthetic significance	24
7.2.4 Criterion (d) – social significance.....	25
7.2.5 Criterion (e) – technical / research significance	25
7.2.6 Criterion (f) – rarity.....	26
7.2.7 Criterion (g) - representativeness.....	26
7.3 Level of significance	27
7.4 Statement of cultural significance.....	27
8.0 DEVELOPMENT PROPOSAL	28
8.1 Plans & drawings referenced.....	28
8.2 Description of the proposal.....	28
9.0 ASSESSMENT AGAINST STATUTORY PLANNING AND HERITAGE CONTROLS	30
9.1 Heritage Act 1977	30
9.1.1 State Heritage Register	30
9.1.2 Archaeological relics and works.....	30
9.2 Environmental Planning and Assessment Act 1979.....	30
9.2.1 Inner West Local Environmental Plan 2022.....	30
9.2.2 Leichhardt Development Control Plan 2013.....	31
10.0 HERITAGE IMPACT ASSESSMENT	32
10.1 Overview to the impact assessment.....	32
10.2 Heritage impact ratings	33
10.3 Response to the NSW Heritage Manual evaluation criteria.....	34
11.0 RECOMMENDATIONS AND MITIGATION MEASURES	38
11.1 Conclusion	38
11.2 Recommended mitigation measures.....	38

1.0 EXECUTIVE SUMMARY

1.1 Context of the report

This Heritage Impact Statement has been prepared by Edwards Heritage Consultants Pty Ltd at the request of Ashleigh McFarlane, to establish the cultural heritage significance of 2 Goodsir Street, Rozelle ('the subject site') and to then assess the potential heritage impacts against those assessed heritage values and significance. It is intended that this report will then accompany a Development Application to Inner West Council.

Situated within the Inner West Council local government area and in the locality of Rozelle, which is 4 kilometres west of Sydney city, the site comprises Lot 5 in Deposited Plan No.204208, commonly known as 2 Goodsir Street, Rozelle.

1.2 Overview of the findings of this report

The site is not identified as an item of heritage significance, however is situated within the *The Valley Heritage Conservation Area*, which is listed under Schedule 5 of *Inner West Local Environmental Plan 2022*. The site is also situated within the vicinity of a heritage item.

Situated on the site is a single-storey detached-style dwelling house that displays characteristics attributed to the Post-War period of the mid-20th century, and of no particular distinguished architectural style.

An assessment of cultural significance has been undertaken of the property, using the NSW Heritage Assessment criteria to determine whether or not the property has heritage significance. As [INSERT], does not satisfy the NSW Heritage Assessment criteria relating to historical, associative, aesthetic, social, technical, rarity or representative significance, a Statement of Cultural Significance has not been developed for the property.

This Heritage Impact Statement has been prepared to consider the potential heritage impacts resulting from the proposed development, which involves the demolition of the existing building and construction a two-storey dwelling.

1.3 Recommendation and mitigation measures

The proposal has been assessed with regards to the identified heritage values and available physical and documentary evidence, including a visual inspection of the site and statutory planning requirements.

In applying the evaluation criteria for assessing the likely impact of a proposed development on the heritage significance of listed items of heritage significance or heritage conservation areas (as published by the Heritage Council of NSW), subject to the recommendations in Table 1 below, the proposal would result in a negligible heritage impact.

TABLE 1 – Recommendations to mitigate heritage impacts	
Recommendation:	Recommended Management / Mitigation Measures:
1. Archaeology	<p>Should any substantial intact archaeological deposits whether artefacts, relics or occupation deposits be discovered or uncovered, excavation and / or disturbance of the site is to immediately cease and the Consent Authority and Heritage NSW notified.</p> <p>Additional archaeological assessment may be required prior to works continuing in the affected area/s based on the nature of the discovery.</p>

2.0 INTRODUCTION

2.1 Acknowledgement of Country

Edwards Heritage Consultants Pty Ltd (herein referred to as 'EHC') acknowledges the traditional custodians of the land on which we work and we recognise their continuing connection to land, waters and culture.

We pay our respects to Aboriginal Elders past, present and emerging, for they hold the memories, the traditions, the culture and hopes of Aboriginal peoples across the state.

EHC recognises that a better understanding and respect for Aboriginal cultures develops an enriched appreciation of Australia's cultural heritage and is essential to the maturity of Australia as a nation and fundamental to the development of our collective Australian identity.

2.2 Context of the report

This Heritage Impact Statement has been prepared at the request of Ashleigh McFarlane to assess the potential heritage impacts and to accompany a Development Application to Inner West Council, which seeks approval for demolition of the existing dwelling and construction of a new dwelling at 2 Goodsir Street, Rozelle.

The report considers:

1. An assessment of the property to establish its cultural heritage significance with the formulation of a Statement of Significance.
2. What impact the proposed works will have on the identified heritage significance.
3. What measures are proposed to mitigate negative impacts.
4. Why more sympathetic solutions are not viable; and
5. Recommendations to mitigate heritage impacts.

2.3 Methodology

This report has been prepared in accordance with the general methodology, structure and guidelines as set out in '*Guidelines for preparing a Statement of Heritage Impact*' (Department of Planning and Environment, 2023).

The overarching philosophy and approach to this report is guided by the adoption and implementation of the conservation principles and guidelines of the Australia ICOMOS *Charter for the Conservation of Places of Cultural Significance (Burra Charter)* 2013. In addition, EHC embraces and operates in accordance with the [National Trust Ethical Principles for Heritage and Conservation](#) and Australia ICOMOS *Ethical Principles*, ensuring all that we do is driven by our outstanding and consistent commitment to ensuring best-practice in cultural heritage management.

The assessment criteria developed by the Heritage Council of NSW as contained in the *NSW Heritage Manual* and revised and expanded in '*Assessing Heritage Significance – Guidelines for assessing places and objects against the Heritage Council of NSW criteria*' (Department of Planning and Environment, 2023) is used to assess and establish the cultural significance of the site.

A visual examination of the subject site has been undertaken, which is followed by a merit and significance based desktop assessment of the development proposal.

The potential, actual and perceived heritage impacts stemming from the development proposal have been assessed with reference to the following:

- a) Clause 5.10 and Schedule 5 of the *Inner West Local Environmental Plan 2022*.

- b) Section C1.4 of the *Leichhardt Development Control Plan 2013*.
- c) *'Better Placed – Design Guide for Heritage'* (NSW Government Architect, 2019).
- d) The Heritage Council of NSW evaluation and assessment criteria as set out in *'Guidelines for preparing a Statement of Heritage Impact'* (Department of Planning and Environment, 2023).

2.4 Authorship

This Heritage Impact Statement has been prepared by Holly Challenger B.A, M.Herit.Cons, Heritage Consultant. The report has been reviewed and endorsed by Michael Edwards.

Ms Challenger is an enthusiastic Heritage Consultant whose combined skills and experience in history, heritage management and conservation practice, reinforces her well-rounded, balanced approach to effective research and conservation theory and practice.

Mr Edwards has over 17 years extensive experience in both the heritage conservation and town planning disciplines and has held previous positions in Local and State Government. Mr Edwards has previously worked with the former Heritage Division of the NSW Office of Environment and Heritage and is currently Heritage Advisor to Cessnock City Council, Georges River Council and Wingecarribee Shire Council.

2.5 Limitations

This Heritage Impact Statement:

- Considers the site, external structures and internal rooms and spaces that were visually and physically accessible by EHC on the day of the inspection.
- Is limited to the investigation of the non-Aboriginal cultural heritage of the site. Therefore, it does not include any identification or assessment of Aboriginal significance of the place.
- Is limited to a due-diligence archaeological assessment only and does not present a detailed archaeological assessment of the site.
- Does not provide a detailed assessment of the provisions of the *Leichhardt Development Control Plan 2013*, but considers the development controls and requirements relating to development within a heritage conservation area within the heritage impact assessment of this report.

2.6 Terminology

The terminology used throughout this report is consistent with the *NSW Heritage Manual* and the Australia ICOMOS *Burra Charter* (2013).

A glossary of common terms used is listed in Appendix A.

2.7 Physical evidence

A visual examination of the site and the surrounding area was undertaken on 20 July 2022. All contemporary aerial and site photography used in Section 2 of this report was captured by EHC at this time, unless otherwise credited.

3.0 SITE ASSESSMENT

3.1 Location and context

The subject site is situated within the Inner West Council local government area and in the locality of Rozelle, which is 4 kilometres west of Sydney city. The subject site comprises Lot 5 in Deposited Plan 204208, commonly known as 2 Goodsir Street, Rozelle.

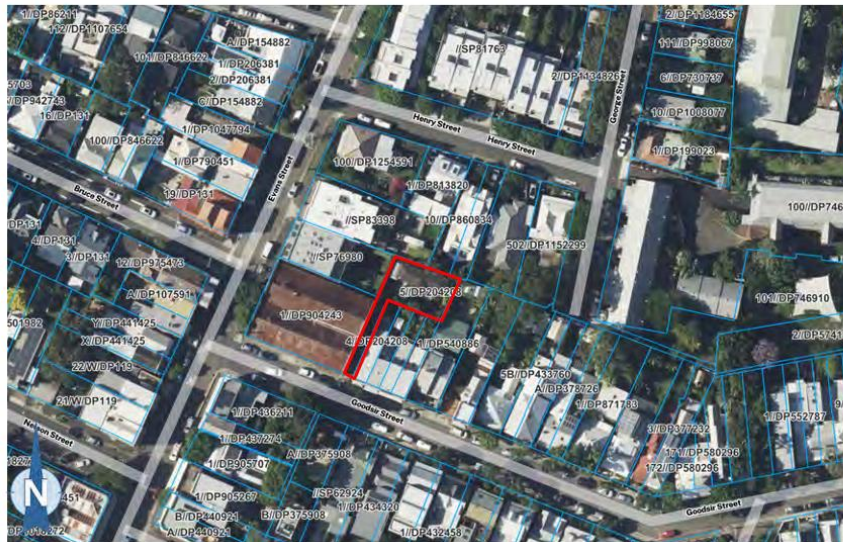


Figure 1: Aerial view of the locality. The subject site is denoted by red outline.
[Source: NSW Land Registry Services, with EHC overlay, 2024]

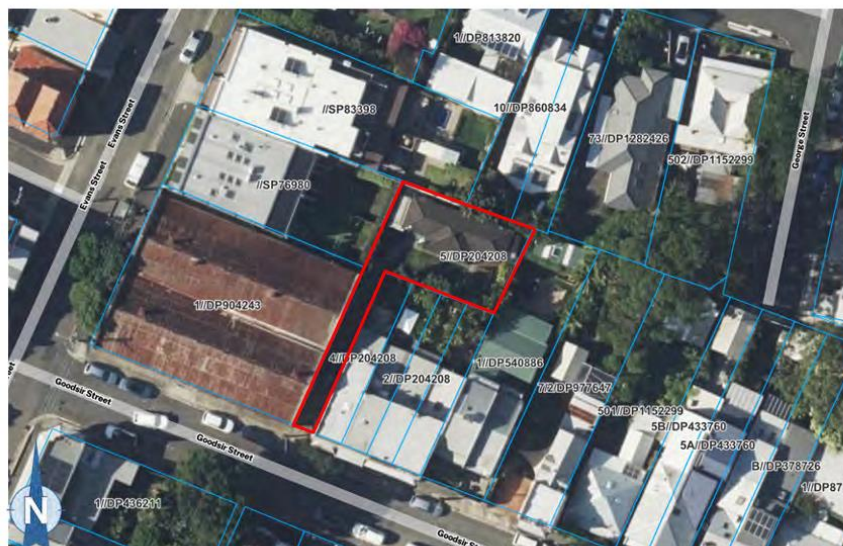


Figure 2: Aerial view of the subject site (denoted by red outline).
[Source: NSW Land Registry Services, with EHC overlay, 2024]

3.2 The subject site

The subject site is located on the northern side of Goodsir Street and is situated within an established urban streetscape, which is largely characterised by semi-attached style residential housing.

The site is situated on a battle-axe allotment, with a shallow frontage to Goodsir Street. It comprises an area of 278 sqm and is predominantly level, with an undulating surface.

The site is The site is adjoined to the south and east by a row of terrace houses, to the west by a single-storey commercial premises and to the north by a two-storey detached-style dwelling.



Figure 3: View of the subject site from Goodsir Street (located at the rear of the row of terraces)

3.3 Description of the exterior

Situated on the site is a single-storey detached-style dwelling house that has a typical rectangular footprint. The front elevation of the dwelling has an asymmetrical arrangement and is oriented to sit perpendicular to Goodsir Street, though is situated on a battle-axe allotment and thus is a silent addition to the streetscape.

The dwelling is clad in bevel-back weatherboards and timber panels, and features a low-pitched hipped roof clad in terracotta tiles. The front elevation of the main dwelling is characterised by smaller wings attached to either side of the structure, with the central wing protruding out towards the southern boundary of the allotment. There is also a lean-to addition situated on the western side of the dwelling that functions as a storage space.

From the front boundary at the end of the driveway is a path that leads to a small entrance portico, providing access to the dwelling. There is an additional doorway located on the eastern side of the dwelling that provides access to the deck.

Varying sized timber and aluminium framed windows are placed around the perimeter of the dwelling in an asymmetrical composition. Located on the lean-to wing is a pair of leadlight windows featuring stippled glass that has two coloured triangles in the centre, with a small, coloured rectangle below. The windows also feature rippled glass edges, with coloured squares in each corner. The rear elevation of the site is also asymmetric, and features a small masonry path running along from the eastern to western side boundaries of the dwelling, with a small deck located in the centre.

The definitive framework for identifying architectural styles within Australia is that developed by Apperly, Irving and Reynolds in '*Identifying Australian Architecture: Style and Terms from 1788 to the Present*'. The authors provide a perceptive account of what constitutes and defines a style. Mostly concerned with 'high' or 'contrived' architectural styles, rather than the 'popular' styles or the vernacular, it is accepted that the boundaries between identified styles are not always clear-cut.

Subsequently, the terminology for a style and the framework to be applied in defining the style, comprises two parts, firstly identifying the period in which the building belongs and secondly describing the major characteristics.

In this manner, the building displays characteristics that are attributed to the Post-War period of the mid 20th century, and of no particular architectural style.



Figure 4: View of the front elevation.



Figure 5: View of the lean-to wing.



Figure 6: View of the front elevation, facing west.



Figure 7: View of the front entranceway.



Figure 8: Detail view of the window set on the lean-to wing.

3.4 Description of the interior

The interior of the main form of the dwelling comprises five rooms, each accessed off the main front room. The main front room comprises an open plan living and dining room, with a 'u-shaped' kitchen situated off the dining room. This then leads to the hallway, which provides access to the bathroom and WC, the office, and the master bedroom.

Walls are largely finished in set plaster, however the main front room features decorative timber wall panelling. The remainder of the dwelling has minimal ornamentation. Flooring was not inspected but is likely timber tongue-and-groove boards throughout, with tile in the bathroom and laundry.

The bathroom and kitchen are characteristic of a late 20th century fit-out. The laundry is accessed externally and is adjacent to the enclosed section of the deck at the front elevation.



Figure 9: View of the living room.



Figure 10: View of the kitchen.



Figure 11: View of the bathroom and WC.



Figure 12: View of the office.



Figure 13: View of the office, facing into the hallway.



Figure 14: View of the lean-to store room.

3.5 Description of the landscape

The subject site comprises an area of approximately 278sqm, with the dwelling being situated towards the rear, creating deep landscaped front gardens with a small sized apron area at the rear.

The landscaped garden setting is informal, comprised of a variety of established plantings, generally framing the property boundaries with shrubs and individual specimen trees and framing the front and of the dwelling with shrubs. The majority of the landscaped front gardens are comprised of grassed lawns.

A masonry wheel strip driveway runs parallel to the western side boundary, leading to a timber paling gate that provides access to the battle-axe allotment. This then leads to a masonry pathway that sinuously winds from the driveway to the front entrance. The side boundaries of the allotment are delineated by a mid-height timber paling fence.

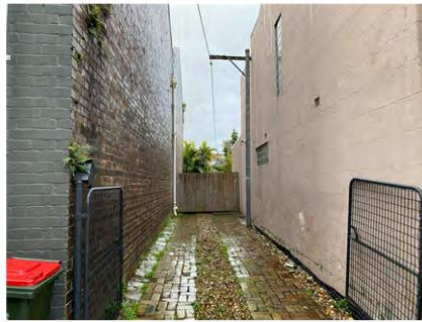


Figure 15: View of the driveway from Goodsir Street.



Figure 16: View of the front gardens and driveway.



Figure 17: View from the front garden facing Goodsir Street.



Figure 18: View of the front gardens, facing west.

3.6 Streetscape contribution

Built c.1962, the dwelling forms a part of the late 20th Century housing character of Goodsir Street and is one of a number of detached dwelling houses, which are not the predominant style of housing in Goodsir Street. The remainder of the built form is largely attached or semi-detached terrace houses.

Individually, the dwelling is not considered visually distinctive by virtue of the form, scale, and architectural style or detailing and there are no architectural features that distinguish the dwelling from other similar built forms within the street. The attributes and characteristics of 2 Goodsir Street, Rozelle do not make a contribution to the cohesive streetscape character, largely owing to the contemporary form and language and the battleaxe allotment that hinders views to and from the dwelling.

As a result, the dwelling is not considered a contributory element to the heritage conservation area and its loss through demolition or unsympathetic alterations and additions would not erode the integrity and cohesiveness of the attributing streetscape.

3.7 Integrity and condition

The integrity of a site, in terms of its heritage significance, can exist on a number of levels. For instance, a site may be an intact example of a particular architectural style or period and thus have a high degree of significance for its ability to illustrate that style or period.

Equally, heritage significance may arise from a lack of architectural integrity where the significance lies in an ability to illustrate an important evolution to the building or change in use.

While a detailed structural assessment is beyond the scope of this report, a non-invasive visual inspection of the exterior and interior has been undertaken, which identifies a number of structural and non-structural cosmetic changes that have been undertaken, most notably is the contemporary fit-out of the bathroom and WC and kitchen, and addition of decorative timber panelling.

Overall, the changes demonstrate the evolution of the building during its time of occupation and changes in lifestyle trends, technology and the requirements of the occupants. The changes have little altered the original dwelling footprint and silhouette and the notable changes are generally considered to have a low impact on the overall character and design integrity of the dwelling.

The dwelling appears in reasonable repair and condition.

This section of the page has been intentionally left blank.

4.0 HISTORICAL CONTEXT

4.1 Introduction

This section attempts to place the site into the context of the broader history of the region as well as outlining the sequence of development, occupation and use of the site.

Analysing and understanding the historical context of the site is an important consideration in the assessment of cultural significance (see Section 7), informing the assessment of historical significance and historical associations of significance.

The history of the site is presented in a narrative form and is mainly derived from the published sources as referenced throughout. The historical analysis also builds on existing extensive publication and research and assumes a prior knowledge of the Aboriginal history of the area.

4.2 First land grant

Prior to 1892, the area now known as Rozelle was referred to as Balmain, Balmain West or Balmain South.¹ The first recorded reference to Rozelle Bay dates from 1875, however it was not until 1892 that the Postmaster General declared Rozelle to be the official name of Balmain West. The origin of the name Rozelle is uncertain. It may have derived from the rosella bird or the rosella flower.²

William Balmain was a notable surgeon and landholder who arrived at Port Jackson in January 1788. He served within the colony until the early 1790s before he was sent as a senior surgeon to Norfolk Island. During his time at Norfolk, he became a local magistrate and raised stock. For his ongoing commitment to the colony, in 1800, Governor Hunter granted Balmain 550 acres on a peninsula between Long Cove and Port Jackson.³



Figure 19: Extract of the Parish of Petersham, c.1880.
[Source: NSW Land and Property Information, 2022]

Despite intending to return to New South Wales after a return to Scotland, Balmain died on 17 November 1803 in his home country. Prior to his death, Balmain had transferred the 550 acres to John Gilchrist for a contentious five shillings, just a year after the original grant was given. It has been postulated that the transfer was the result of a business deal or settling of debt. Nonetheless, Balmain's family strongly disputed the rightful ownership of the land. This dispute effectively stagnated any growth occurring in the area until around 1833, when Gilchrist appointed a Sydney merchant, Frederick Padbury, to proceed with the subdivision and sale of the Balmain Estate.⁴

4.3 Early subdivisions of William Balmain's estate

The first auction took place at T.W Smart's offices in Sydney on 21 October 1836. Just twenty-two of the original allotments were sold – only equalling a very small portion of the original Balmain grant. Further subdivisions and sales took place into the late 1830-40s, but development remained slow in the area,

¹ John Williams, 'Rozelle,' *Dictionary of Sydney*, accessed March 31, 2022, <https://dictionaryofsydney.org/entry/rozelle>.

² Williams, 'Rozelle.'
Inner West Council, 'Rozelle.'

³ B.H. Fletcher, 'Balmain, William (1762-1803)', *Australian Dictionary of Biography*, accessed March 30, 2022, <https://adb.anu.edu.au/biography/balmain-william-1736>.

⁴ Joan Lawrence and Catherine Warne, *Pictorial History: Balmain to Glebe* (Crows Nest: Kingsclear Books, 1995), 4.

likely due to the lack of access to the peninsula, despite its many advantageous 'harbour views'. By the late 1840s, several 'districts' of residential housing had formed and were combined to form suburbs.⁵

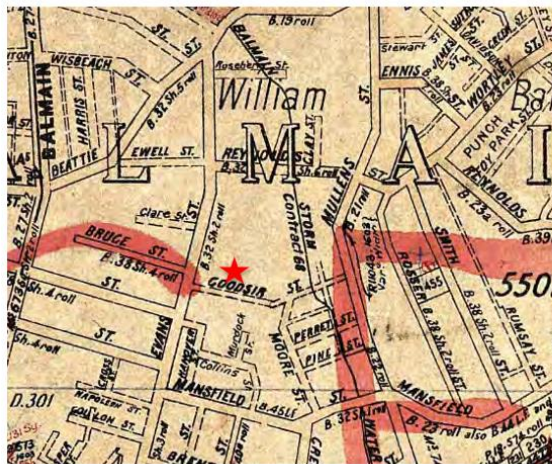


Figure 20: 1899 Parish of Petersham map, showing Goodsir Street. Approximate location of the subject site denoted by red star.

[Source: New South Wales Historical Land Records Viewer, 2022]

Surveyor Charles Langley subdivided the remaining land of John Gilchrist's grant in 1852. The land to the west of a boundary line at Elliot, Reynolds and Crescent Streets became known as Balmain West in 1861.

In the 1870s, Alfred Handcock, W.H. Paling, Dr L. Foucart and others purchased large blocks in land in Balmain West. These blocks were subdivided and sold to those who had arrived in the area to build Callan Park and the Iron Cove Bridge. This was known as the 'Home for the People Scheme'.⁶ *The Bulletin* praised Mr Hancock for his scheme's allowances for a 'gradual and almost imperceptible mode of payment, suited to the limited means of the industrial classes'.⁷

Hancock had a significant influence on the development of Balmain. The subject site, however, formed part of land acquired by William Alexander Abbott, a civil servant from Balmain. Abbott purchased a 1 acre, 1 rood and 1 ½ perch allotment of land in 1874.⁸ The site was known as Lot 9 in Section 11 of the Balmain Estate and was situated on Crescent Street. The remainder of Lot 9 was purchased by a local shipwright, Edward Goodsir. Shortly after the purchase of the Lots, Crescent Street was later renamed to Goodsir Street.⁹

In 1892, Postmaster General declared Rozelle as the official name of what was Balmain West. The origin of the name is unclear; however the bay had known as Rozella Bay since c.1875.¹⁰ The roads were formed and the locality was laid out, further allowing the continued subdivision into the early 20th century. A collection of service and consumer trades servicing some of the established dwellings in the Balmain and Rozelle districts appeared along Evans Street in the 1870s. This growth of industry made it the main commercial thoroughfare along the upper Balmain peninsula.¹¹

⁵ Lawrence and Warne, *Pictorial History*, 4.

⁶ Inner West Council, 'Rozelle'. Accessed 12 August 2022 < <https://www.innerwest.nsw.gov.au/explore/libraries/community-history/our-history/land-and-suburbs/inner-west-council-suburb-history> >

⁷ 'Homes for the People,' *Bulletin*, June 26, 1880, 3.

⁸ NSW Land and Property Information, 2022. CT Book Vol 180 Fol.220.

⁹ NSW Land and Property Information, 2022. CT Book Vol 185 Fol.132.

¹⁰ Inner West Council, 'Rozelle'.

¹¹ Inner West Council, 'The Valley Heritage Conservation Area'. Accessed 12 August 2022 < <https://www.innerwest.nsw.gov.au/develop/heritage-and-conservation/heritage-conservation-areas> >



Figure 21: c1886 map of Balmain, with Goodsir Street indicated by the red star. It was located within the South West Ward of Balmain. [Source: State Library of New South Wales, 2022]

4.4 The subject site

2 Goodsir Street was part of Lot 9 in Abbott and Goodsir's 1874 subdivision. A portion of this allotment was subdivided and purchased later in 1874 by John Ward, a messenger from Sydney.¹² He purchased a total of 12 $\frac{3}{4}$ perches.

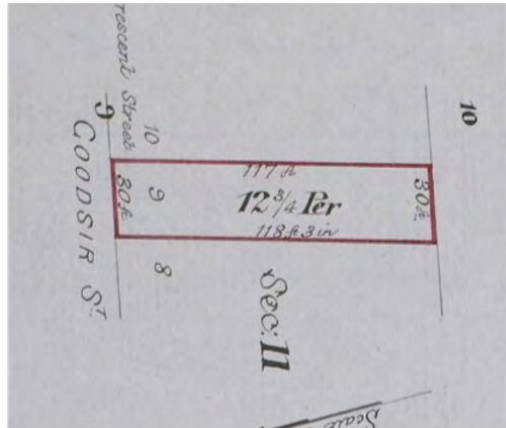


Figure 22: Land purchased by John Ward in July 1874.
[Source: New South Wales Historical Land Records Viewer, 2022. CT Book Vol 185 Fol.132]

John Ward was originally from the Central Coast area but left his hometown in his early manhood for Balmain, where he resided until his death in 1928.¹³

It appears that the land he purchased was subdivided into 5 allotments in 1882. Today, these lots are 2, 4, 6, 8 and 10 Goodsir Street.¹⁴ Ward was the registered proprietor of the Lots, but he leased them out to various tenants. In the 1900 Sands Directory, John Hastle is listed as living in No. 2, whilst other members of the Ward family occupied Nos. 4 and 6.¹⁵

In 1889, a city-wide survey was undertaken of the existing Sydney suburbs, including Balmain and Rozelle.

The survey map shows that the terrace houses from Nos.4-10 Goodsir Street were built, as well as the battle-axe allotment established and a dwelling constructed at the subject site.

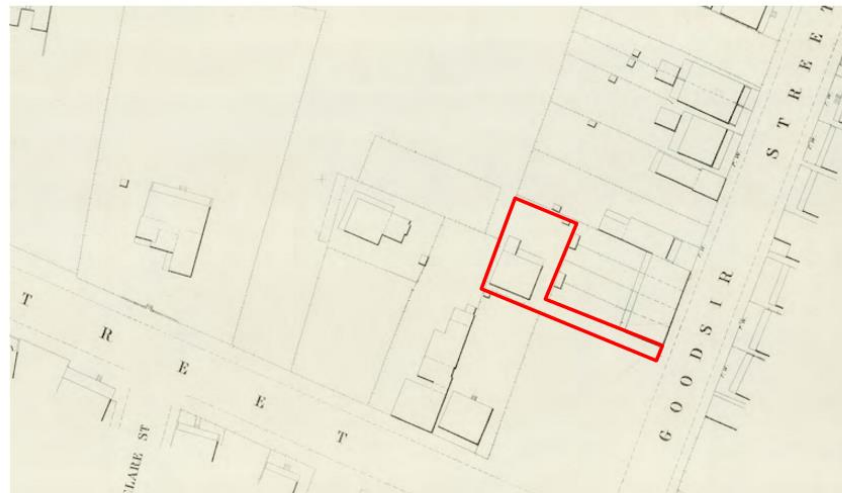


Figure 23: c1889 survey map of Balmain showing the subject site.
[Source: State Library of NSW, City of Sydney Collection, 2022. Balmain, Sheet 44]

- ¹² NSW Land and Property Information, 2022. CT Book Vol 185 Fol.132.
¹³ The Gosford Times and Wyong District Advocate, Thursday 29 November 1928.
¹⁴ NSW Land and Property Information, 2022. CT Book Vol 584 Fol.30.
¹⁵ Sands Sydney, Suburban and Country Commercial Directory, 1900.

By the 1880s, the growth of industry, including noxious industry, made the south of Darling Street ridge appear unattractive for a more affluent residential market. Those who were able to find employment within these industries would seek housing that was close by (within walking distance). Small builders constructed workers cottages for purchasers with smaller budgets, establishing high density residential areas. By 1891, a large portion of the area had been built upon.¹⁶ No.2 Goodsir Street first appears in the Sands Directory in 1888, suggesting this was the year the first dwelling was built upon the site.¹⁷

Ward sold his land, including the subject site, in October 1900 to Charles Cavanaugh and Peter Lynch. The ownership of the land was transferred many times up until 1930.

The owners of the land are listed below:

- Charles Cavanaugh and Peter Lynch: 1900 – 1903.
- Fortunato Carluzzi, stonemason: 1903-1904.
- David Fellow, Gentleman: 1904-1910.
- Walter Rush, Auctioneer: 1910-1930
- Claude Leslie Rush, Estate Agent: 1930-1961.

These men have no known significant historical associations.



Figure 24: c1943 aerial photography. Red outline indicating the subject site
[Source: NSW Land and Property Information, 2022]

Though a dwelling can be seen at No.2 Goodsir Street, Rozelle, it appears to have been demolished in the late 1950s. A comparison of aerial photographs of the site that were taken at various points between 1943 and 2005 reveal that the original dwelling was demolished, and the current dwelling constructed between 1960 and 1970.

¹⁶ Inner West Council, 'The Valley Heritage Conservation Area'.
¹⁷ Sands Sydney, Suburban and Country Commercial Directory, 1888.



Figure 28: 1955 aerial photograph of the subject site, with 2 Goodsir Street indicated by a black dot.
[Source: NSW Land and Property Information, 2022]



Figure 27: 1965 aerial photograph of the subject site, with 2 Goodsir Street indicated by a black dot.
[Source: NSW Land and Property Information, 2022]



Figure 26: 1970 aerial photograph of the subject site, with 2 Goodsir Street indicated by a black dot.
[Source: NSW Land and Property Information, 2022]



Figure 25: 1986 aerial photograph of the subject site, with 2 Goodsir Street indicated by a black dot.
[Source: NSW Land and Property Information, 2022]



Figure 29: 1991 aerial photograph of the subject site, with 2 Goodsir Street indicated by a black dot.
[Source: NSW Land and Property Information, 2022]

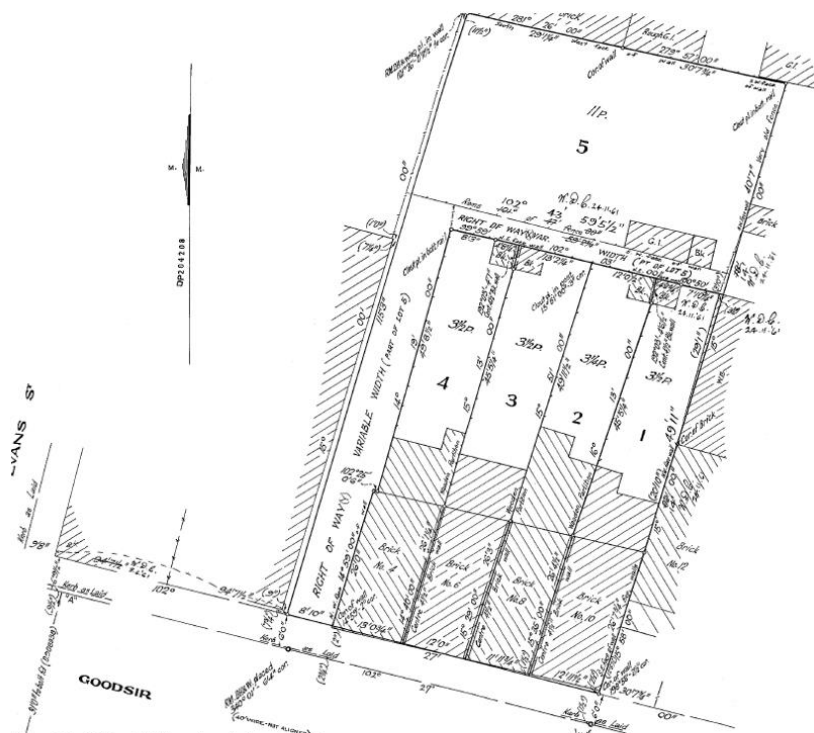


Figure 30: 1962 subdivision plan of the subject site.
[Source: NSW Land and Property Information, 2022. DPP204208]

The site was subdivided in 1962 to create all 5 Lots. On the subdivision plan, there are no built improvements indicated on Allotment 5.

After the subdivision was completed, Lot 5 was sold to Herbert Parker and Allan Young in March of the same year.¹⁸ It is postulated that the current dwelling was constructed around this time.

The subject site has been sold several times since its construction. It was most recently sold in September of 2021 to the current owners.

This section of the page has been intentionally left blank.

¹⁸ NSW Land and Property Information, 2022. CT Book Vol 9142 Fol.112.

In applying the above criteria, items of local heritage significance (including any Heritage Conservation Areas) (listed under Schedule 5 of *Inner West Local Environmental Plan 2022*) within the vicinity of the subject site are set out in Table 2 below:

TABLE 2 – Items of local heritage significance within the vicinity of the site			
Heritage Item	Item No.	Address	Relationship to the subject site
'Corner building, including interiors'	I1439	60 Evans Street, Rozelle	Diagonally opposite
'Brick building, including interiors'	I1440	62 Evans Street, Rozelle	Within the vicinity
'Stone building, including interiors'	I1441	75 Evans Street, Rozelle	Within the vicinity
'Semi-detached house, including interiors'	I1442	77 Evans Street, Rozelle	Within the vicinity
'Semi-detached house, including interiors'	I1443	79 Evans Street, Rozelle	Within the vicinity

There are no items of state heritage significance (listed on the State Heritage Register (SHR) under the *Heritage Act 1977*) within the vicinity of the subject site.

6.0 EXISTING HERITAGE SIGNIFICANCE ASSESSMENTS

6.1 Existing description of the Heritage Conservation Area

The Leichhardt Heritage Review prepared by Godden Mackay Logan in January 2004 provides a physical description of The Valley Heritage Conservation Area as follows:

- *'Contour hugging main roads — Evans, Beattie and Reynolds.*
- *Outline of subdivisions, size and aspect of allotments, determined by route of main roads.*
- *Wider residential roads off Darling Street ridge, with grid subdivision pattern, but*
- *Generally narrow roads between main access roads.*
- *Narrow, often shallow allotments.*
- *Back lanes are rare.*
- *Dense urban environment.*
- *Continuous lines of buildings create sharply defined lineal spaces.*
- *Buildings stepped up and down hill, following the topography.*
- *Houses sited close to road near Darling Street ridge; and sited onto the road alignment nearer to White Bay.*
- *Small front gardens near Darling Street; there are fewer gardens towards White Bay.*
- *Tree planting is minimal except where wider main access roads provide enough room — Langley, Roseberry, Llewelyn and Reynolds Street.*
- *Large stands of trees in parks and open spaces.*
- *Small range of housing types: single-fronted, single-storey timber terraces, two-storey terraces, free-standing timber or stone single-storey cottages.*
- *Some larger villas on high land around Smith Street, and more generous terraces in similar locations.*
- *Scale predominantly limited to one or two storeys.*
- *Pubs with verandahs act as punctuation marks in the streetscape.*
- *Corner stores.*
- *Commercial premises (and former commercial premises) with attached dwellings along Evans and Darling Streets.*
- *Small industrial/warehouse buildings occur throughout the area.*
- *Variety of materials — large number of timber, plastered brick, some later (1890s+) face brick and a few stone buildings.*
- *Roof materials vary — iron is common, terracotta tiles, some slate.*
- *Stone retaining walls.*
- *Remnants of iron palisade fences define some street frontages.*
- *Suspended awnings to commercial facades along Darling and Evans Streets.*
- *Sandstone kerbs and gutters.'*

6.2 Existing statement of cultural significance of the Heritage Conservation Area

The Leichhardt Heritage Review prepared by Godden Mackay Logan in January 2004 provides a statement of cultural significance of The Valley Heritage Conservation Area as follows:

- *'One of a number of conservation areas which collectively illustrate the nature of Sydney's early suburbs and Leichhardt's suburban growth particularly between 1871 and 1891, with pockets of infill up to the end of the 1930s (ie prior to World War II). This area is important for illustrating development for workers' and artisan housing particularly from 1871–1891 which forms the major element of its identity. It is significant for its surviving development from that period and the later infill development up to World War II (ie pre-1939).*
- *Retains evidence of all its layers of growth within that period from the late-1870s.*
- *Through its important collection of weatherboard buildings, including the now rare timber terraces, it continues to demonstrate the nature of this important/major*

construction material in the fabric of early Sydney suburbs, and the proximity of Booth's saw mill and timber yards in White Bay.

- Through the mixture of shops, pubs and industrial buildings it demonstrates the nature of a Victorian suburb, and the close physical relationship between industry and housing in nineteenth century cities before the advent of the urban reform movement and the separation of land uses.
- Demonstrates through the irregular pattern of its subdivision the smallscale nature of the spec builders responsible for the construction of the suburb.
- Demonstrates the nature of some private subdivisions before the introduction of the Width of Streets and Lanes Act of 1881 required roads to be at least one chain wide.'

6.3 Existing recommended management

The Leichhardt Heritage Review prepared by Godden Mackay Logan in January 2004 provides a recommended management hierarchy of The Valley Conservation Area as follows:

'Generally

This is a conservation area. Little change can be expected other than modest additions and discrete alterations. Buildings which do not contribute to the heritage significance of the area may be replaced with sympathetically designed infill.

Retain

- Existing width and alignment of streets: avoid chicanes which cut diagonally across the carriageway.
- Existing back lanes.
- All buildings pre-1939 and particularly all timber buildings
- All original plaster finishes to external walls — reconstruct where necessary.
- All original unplastered face brick walls.
- All original external architectural detail, decorative tiles, plaster mouldings, chimneys, roof ridges and finials, commercial signs etc. Encourage replacement of lost elements, but only where evidence is available.
- All remaining sandstone kerbs and gutters.
- All corner stores, corner pubs and industrial buildings within the residential areas, and encourage their restoration. Consider small-scale commercial or professional uses for these buildings, if original uses no longer operate, as a reference to their original uses.
- Street and park planting; reinstate where necessary.

Avoid

- Amalgamation that might lead to a change in the densely developed streetscape.
- Demolition of any pre-1939 building, particularly those pre-1910.
- Demolition of any remaining timber building.
- Additional storeys above the existing form of the building.
- Posted-verandahs over footpaths to commercial premises where no evidence can be provided to support their reconstruction. Encourage restoration of verandahs where evidence exists.
- Removal of plaster to external walls, where part of the original construction. Removal of original architectural details.
- Additional architectural detail for which there is no evidence.
- Inappropriate fences such as high brick walls, new iron palisades on high brick bases.
- Interruption to the almost continuous kerb and gutter line.'

7.0 ASSESSMENT OF CULTURAL SIGNIFICANCE

7.1 Methodology

The assessment of cultural significance follows the methodology recommended in *Assessing Heritage Significance*¹⁹ by using the NSW Heritage Assessment Criteria and is consistent with the guidelines as set out in the *Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter)* 2013²⁰.

An item, place or object will be considered to be of heritage significance if it meets at least one or more of the following criteria:

TABLE 3 – Significance Assessment Criteria		
Criterion:	Significance theme:	Explanation:
(a)	Historical	An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area).
(b)	Historical association	An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area).
(c)	Aesthetic	An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area).
(d)	Social	An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons.
(e)	Technical / Research	An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area).
(f)	Rarity	An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area).
(g)	Representative	An item is important in demonstrating the principal characteristics of a class of NSW's (or the local area's) cultural or natural places or cultural or natural environments.

It is important to note that only one of the above criteria needs to be satisfied for an item or place to be considered to have heritage significance. Furthermore, an item or place is not excluded from being considered to have heritage significance because other items with similar characteristics have already been identified or listed.

7.2 Assessment against NSW Heritage Assessment Criteria

7.2.1 Criterion (a) – historical significance

An item or place is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area).

TABLE 4 – Criterion (a) – historical significance					
Guidelines for inclusion		✓/X	Guidelines for exclusion		✓/X
• Shows evidence of a significant human activity.		X	• Has incidental or unsubstantiated connections with historically important activities or processes.		✓
• Is associated with a significant activity or historical phase.		X	• Provides evidence of activities or processes that are of dubious historical importance.		✓
• Maintains or shows the continuity of a historical process or activity.		X	• Has been so altered that it can no longer provide evidence of a particular association.		✓

¹⁹ NSW Department of Planning and Environment, 2023. 'Assessing Heritage Significance – Guidelines for assessing places and objects against the Heritage Council of NSW criteria'.

²⁰ Australia ICOMOS, 2013. 'Burra Charter'.

Assessment of significance

- 2 Goodsir Street, Rozelle provides evidence of the continuing residential development of the late 20th century period within the Rozelle locality, however this evidence is not exclusive to the site.
- It does not however, evidence significant development or societal activity, nor a significant historical phase within the locality. Its historical value beyond documenting the Post-War period housing forms in the locality is low.

2 Goodsir Street, Rozelle does not satisfy this criterion in demonstrating historical significance.

7.2.2 Criterion (b) – historical association significance

An item or place has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area).

TABLE 5 – Criterion (b) – historical association significance			
Guidelines for inclusion	✓/X	Guidelines for exclusion	✓/X
• Shows evidence of a significant human occupation.	X	• Has incidental or unsubstantiated connects with historically important people or events.	✓
• Is associated with a significant event, person or group of persons.	X	• Provides evidence of people or events that are of dubious historical importance.	✓
		• Has been so altered that it can no longer provide evidence of a particular association.	✓

Assessment of significance

- The subject site forms part of the original portion of land granted to William Balmain in 1800. Prior to Balmain's death in 1803, he transferred the 550 acres of land he was granted to John Gilchrist only a year after the grant was given. The area then began to be subdivided in 1836. The associations with Balmain and Gilchrist are only evidenced through documentary sources and are of dubious historical associative significance.
- Following the creation of the allotment in 1874, the site was first purchased William Alexander Abbott and Edward Goodsir. John Ward purchased the subject site after it was created in an 1874 subdivision. A dwelling had been constructed by 1889, however has been subsequently demolished and the current dwelling built c.1960. There is nothing in the fabric of the present dwelling that demonstrates an association with the previous owners, and such associations are equally considered of dubious historical associative significance.

2 Goodsir Street, Rozelle does not satisfy this criterion in demonstrating historical associative significance.

7.2.3 Criterion (c) – aesthetic significance

An item or place is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area).

TABLE 6 – Criterion (c) – aesthetic significance			
Guidelines for inclusion	✓/X	Guidelines for exclusion	✓/X
• Shows or is associated with, creative or technical innovation or achievement.	X	• Is not a major work by an important designer or artist.	✓
• Is the inspiration for a creative or technical innovation or achievement.	X	• Has lost its design or technical integrity.	✓
• Is aesthetically distinctive.	X	• Its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded.	✓
• Has landmark qualities.	X	• Has only a loose association with a creative or technical achievement.	✓

• Exemplifies a particular taste, style or technology	X		
---	---	--	--

Assessment of significance

- 2 Goodsir Street is attributed to the housing stock of the Post-War period. The dwelling is not considered visually distinctive in form or language. Owing to the setback of the dwelling on the battle-axe allotment, the dwelling is virtually hidden from view, whereby it does not provide an important contribution to the aesthetic characteristics of the streetscape.
- There is no evidence to suggest that the dwelling is the work of an important designer.

2 Goodsir Street, Rozelle does not satisfy this criterion in demonstrating aesthetic significance.

7.2.4 Criterion (d) – social significance

An item or place has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons.

TABLE 7 – Criterion (d) – social significance			
Guidelines for inclusion	✓/X	Guidelines for exclusion	✓/X
• Is important for its associations with an identifiable group.	X	• Is only important to the community for amenity reasons.	✓
• Is important to a community's sense of place.	X	• Is retained only in preference to a proposed alternative.	✓

Assessment of significance

- Established in the late 20th century as a private dwelling house, 2 Goodsir Street retains its long-established residential use.
- Apart from the esteem and value in which the dwelling is held by current and former owners / occupiers, there is no evidence to suggest that the dwelling has any present direct or indirect associations with a particular community or cultural group for social, cultural or spiritual reasons.

2 Goodsir Street, Rozelle does not satisfy this criterion in demonstrating social significance.

7.2.5 Criterion (e) – technical / research significance

An item or place has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area).

TABLE 8 – Criterion (e) – technical / research significance			
Guidelines for inclusion	✓/X	Guidelines for exclusion	✓/X
• Has the potential to yield new or further substantial scientific and/or archaeological information	X	• The knowledge gained would be irrelevant to research on science, human history or culture.	✓
• Is an important benchmark or reference site or type.	X	• Has little archaeological or research potential.	✓
• Provides evidence of past human cultures that is unavailable elsewhere.	X	• Only contains information that is readily available from other resources or archaeological sites.	✓

Assessment of significance

- 2 Goodsir Street displays form and detailing that is typical to the weatherboard constructed housing of the Post-War Period.

- Built in the late 20th century, the dwelling has retained its original silhouette and form, and as a result the dwelling displays a reasonable degree of design integrity. However, the dwelling is considered a typical and non-remarkable example of the style, whereby it is not considered an important benchmark or reference site.
- The archaeological potential of the site is low. Although there is evidence of a dwelling having been constructed on the site prior to the existing dwelling, there is little archaeological potential owing to the extensive ground disturbance from these construction works.

2 Goodsir Street, Rozelle does not satisfy this criterion in demonstrating technical / research significance.

7.2.6 Criterion (f) – rarity

An item or place possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area).

TABLE 9 – Criterion (f) – rarity significance			
Guidelines for inclusion	✓/X	Guidelines for exclusion	✓/X
• Provides evidence of a defunct custom, way of life, or process.	X	• Is not rare.	✓
• Demonstrates a process, custom or other human activity that is in danger of being lost.	X	• Is numerous but under threat.	✓
• Shows unusually accurate evidence of a significant human activity.	X		
• Is the only example of its type.	X		
• Demonstrates designs or techniques of exceptional interest.	X		
• Shows rare evidence of a significant human activity important to the community	X		

Assessment of significance

- The Post-War period of housing is not one of the prevalent housing typologies within the immediate streetscape, however is forming an emerging trend in the locality. The subject dwelling is attributed to an architectural style and class of building that is not considered rare or under threat, nor displays designs or techniques of exceptional interest.

2 Goodsir Street, Rozelle does not satisfy this criterion in demonstrating significance through the item's rarity.

7.2.7 Criterion (g) - representativeness

An item or place is important in demonstrating the principal characteristics of a class of NSW's:

- Cultural or natural places; or
- Cultural or natural environments (or a class of the local area's cultural or natural places; or cultural or natural environments.).

TABLE 10 – Criterion (g) – representative significance			
Guidelines for inclusion	✓/X	Guidelines for exclusion	✓/X
• Is a fine example of its type.	X	• Is a poor example of its type.	✓
• Has the principal characteristics of an important class or group of items.	X	• Does not include or has lost the range of characteristics of a type.	✓
• Has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity.	X	• Does not represent well the characteristics that make up a significant variation of a type.	✓
• Is a significant variation to a class of items.	X		
• Is part of a group which collectively illustrates a representative type.	X		

• Is outstanding because of its setting, condition or size.	X		
• Is outstanding because of its integrity or the esteem in which it is held.	X		

Assessment of significance

- 2 Goodsir Street is a modestly scaled dwelling which displays the principal characteristics attributed to the weatherboard housing of the Post-War period. The dwelling was constructed in the mid 20th century and is virtually hidden from the streetscape, owing to the battle-axe allotment.
- The overall silhouette and form of the dwelling is considered reasonably intact. The dwelling is considered a typical but not remarkable example of the architectural style.

2 Goodsir Street, Rozelle does not satisfy this criterion in demonstrating representative significance.

7.3 Level of significance

Table 11 below summarises the assessed level of significance against each criterion for assessing heritage significance:

TABLE 11 – Assessed levels of significance	
Criterion	What is the assessed level of significance?
Criterion (a) – historical significance	Does not satisfy criterion
Criterion (b) – historical association significance	Does not satisfy criterion
Criterion (c) – aesthetic significance	Does not satisfy criterion
Criterion (d) – social significance	Does not satisfy criterion
Criterion (e) – technical / research significance	Does not satisfy criterion
Criterion (f) – rarity significance	Does not satisfy criterion
Criterion (g) – representativeness significance	Does not satisfy criterion
Overall assessed level of cultural significance	Does not satisfy criteria

7.4 Statement of cultural significance

The dwelling and its garden setting at 2 Goodsir Street, Rozelle does not meet the prerequisites to satisfy the NSW Heritage Assessment criteria with respect to historical, associative, aesthetic, social, technical, rarity or representative significance.

In this manner, a Statement of Significance has not been developed.

8.0 DEVELOPMENT PROPOSAL

8.1 Plans & drawings referenced

This Heritage Impact Statement provides an assessment of the development proposal as shown on the following plans and drawings:

TABLE 12 – Plans & drawings referenced				
Drawing No:	Revision:	Title:	Dated	Prepared by:
A0000	C	Cover Sheet/Site Analyses	13.12.2024	Map Architects
A0001		Site Plan/SCP		
A0002		Demolition Plan		
A0003		BASIX Specifications		
A2100		Ground Floor Plan		
A2101		First Floor Plan		
A2102		Roof Plan		
A3000		North/East Elevation		
A3001		South/West Elevation		
A3002		Streetscape Elevation		
A3100		Section AA/CC		
A3101		Section BB/DD		
A4000		Area Schedule		
A4001		Site Coverage		
A4100		Shadow Diagram Schedule		
A5000		Shadow Diagrams 22 June 9AM		
A5001		Shadow Diagrams 22 June 10AM		
A5002		Shadow Diagrams 22 June 11AM		
A5003		Shadow Diagrams 22 June 12PM		
A5004		Shadow Diagrams 22 June 1PM		
A5005		Shadow Diagrams 22 June 2PM		
A5006		Shadow Diagrams 22 June 3PM		
A5007		Shadow Diagrams 21 March 9AM		
A5008		Shadow Diagrams 21 March 10AM		
A5009		Shadow Diagrams 21 March 11AM		
A5010		Shadow Diagrams 21 March 12PM		
A5011		Shadow Diagrams 21 March 1PM		
A5012		Shadow Diagrams 21 March 2PM		
A5013		Shadow Diagrams 21 March 3PM		
A5014		Shadow Diagrams 21 September 9AM		
A5015		Shadow Diagrams 21 September 10AM		
A5016		Shadow Diagrams 21 September 11AM		
A5017		Shadow Diagrams 21 September 12PM		
A5018		Shadow Diagrams 21 September 1PM		
A5019		Shadow Diagrams 21 September 2PM		
A5020		Shadow Diagrams 21 September 3PM		
A6000		Front Perspective		
A6001		Rear Perspective		
A7000		Notification Plans		
1	00	Detail & Boundary Identification Survey Plan	17.01.2022	C&A Surveyors

8.2 Description of the proposal

The development proposal seeks the consent of the Inner West Council for the demolition of the existing dwelling, followed by the construction of a two-storey detached dwelling.

Demolition of the existing dwelling is the preferred option of the current owners, who seek to construct a new two-storey dwelling on the property, to accommodate a larger habitable floor area and achieve a more contemporary living standard. It is the owners preference to demolish the existing dwelling owing to the land constraints and limited opportunity for development on the allotment.

To achieve this, the proposal will involve demolition of the existing dwelling in its entirety. Following the demolition works, the proposal will then involve the construction of a two-storey detached dwelling of masonry construction, with a skillion roof clad in Colorbond sheeting. The replacement dwelling will accommodate an open-plan kitchen, dining and living room to the ground floor as well as a laundry, bathroom and guest bedroom. The first floor will accommodate a master bedroom and ensuite to the northern side, as well as an additional two bedrooms and bathroom.

The replacement dwelling on the site utilises a sloping skillion roof form addressing Goodsir Street, appearing as a smaller development to the adjoining terraces whilst still achieving the desired footprint. The bulk of the development is reduced overall, and through the use of highlight windows and skylights the first-floor is able to be achieved silently within the street. The use of a contemporary colour and material finishes palette also allows the dwelling to be read and appreciated as new work.

Other auxiliary works involved in the proposal include the removal of five (5) trees along the south-western boundary of the site, as well as the construction of an in-ground swimming pool to the southern corner of the allotment.

--

The heritage impacts of the above-described proposal are considered in detail in the ensuing sections of this report.

9.0 ASSESSMENT AGAINST STATUTORY PLANNING AND HERITAGE CONTROLS

9.1 Heritage Act 1977

The *Heritage Act 1977* provides statutory protection for items of state heritage significance that are listed on the State Heritage Register (SHR).

9.1.1 State Heritage Register

The SHR is established under Section 22 of the *Heritage Act 1977* and is a register of items, places, collections, and objects that have been identified as having significance and importance to the people of NSW. Items listed on the SHR can be in either private or public ownership.

The subject site is not identified as an item of state heritage significance and is not listed on the SHR.

9.1.2 Archaeological relics and works

The *Heritage Act 1977* provides protection for 'relics', which can include archaeological material or deposits. A 'relic' is defined under Section 4(1) of the *Heritage Act 1977* as meaning:

'any deposit, artefact, object or material evidence that:

- (a) Relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement, and*
- (b) Is of State or local heritage significance'.*

In difference to 'relics', items identified as 'works' do not trigger reporting obligations under the *Heritage Act 1977*, unless they are associated with artefacts and / or assessed to be of state or local significance.

'Works' generally include:

- Former road pavements, including kerb and guttering.
- Building footings associated with former structures where there are no historical artefacts in association with the item.

9.2 Environmental Planning and Assessment Act 1979

The *Environmental Planning and Assessment Act 1979* (EPA&A 1979) establishes the framework for land-use planning and management within NSW and includes provisions that require cultural heritage values to be formally considered and assessed in land-use planning and the development assessment processes.

Section 4.15 of the EPA&A1979 prescribes that environmental impacts on the built and natural environment must be considered in the land-use planning and development assessment process. This extends to considering the impacts on cultural heritage items and places as well as landscapes and archaeological sites or deposits.

Furthermore, the EPA&A 1979 prescribes that local Councils are required to prepare environmental planning instruments (such as a Local Environmental Plan) to provide for the identification and statutory protection of items of heritage significance (including heritage items, Heritage Conservation Areas or archaeological sites).

9.2.1 Inner West Local Environmental Plan 2022

Clause 5.10 of the *Inner West Local Environmental Plan 2022* establishes the statutory framework for heritage conservation and the management of heritage items, heritage conservation areas and archaeological sites (both Aboriginal and non-Aboriginal).

The provisions specify circumstances where development consent is and is not required, together with specifying statutory requirements and key considerations for the Consent Authority.

In assessing development proposals relating to listed items of heritage significance, or involving development on land situated within a Heritage Conservation Area, Council as the Consent Authority, must consider the impacts of the proposed works on the heritage item and / or Heritage Conservation Area (clause 5.10(4)).

The ensuing heritage impact assessment considers in detail what impact the proposed development will have on the established cultural significance and heritage values of the subject site and Heritage Conservation Area, together with listed items of heritage significance and Heritage Conservation Areas within the vicinity of the site (as identified in Section 5.3).

Consistency with the objectives and provisions of clause 5.10 of the *Inner West Local Environmental Plan 2022* is demonstrated in Section 10.3 of this report.

9.2.2 Leichhardt Development Control Plan 2013

Part C1.4 of the *Leichhardt Development Control Plan 2013* ('the DCP'), contains performance-based controls that relate to the development of heritage items, development within the vicinity of a heritage item, or development within a heritage conservation area.

These development controls seek to ensure that new development is appropriately designed, contextually responsive and sympathetic to the heritage values and significance of an item or place.

The proposed development has been considered against the development guidelines of the DCP and consistency is demonstrated in the ensuing heritage impact assessment.

This section of the page has been intentionally left blank.

10.0 HERITAGE IMPACT ASSESSMENT

10.1 Overview to the impact assessment

This section of the report assesses the impacts of the proposed works or activity on the heritage values and significance of the site

The impact assessment is based upon the Statement of Significance (refer to Section/s 5.2 above); available physical and documentary evidence including a visual inspection of the site and statutory planning requirements.

Within this approach, the objective of a heritage impact assessment is to evaluate and explain how the proposed works or activity will affect the heritage values and imbued significance of the site and/or items and places of heritage significance within the vicinity of the site.

The *NSW Heritage Manual* (Heritage Council of NSW, 2001) and '*Guidelines for preparing a statement of heritage impact*' (Department of Planning and Environment, 2023) have developed a series of evaluation criteria for assessing the likely impact of a proposed development on the heritage significance of listed heritage items or heritage conservation areas²¹, which are listed below and considered in the ensuing statement of heritage impact.

In order to consistently identify the impact of the proposed works or activity, the terminology used throughout the ensuing statement of heritage impact is set out in the following table. The terminology and definitions use are based on those contained in various guidelines produced by the International Council on Monuments and Sites (ICOMOS) and the *Material Threshold Policy* of the Heritage Council of NSW.

TABLE 13 – Levels of Impact	
Grading	Definition
Negative	Adverse Actions that would have an adverse, permanent and irreversible impact on the identified values and significance. Actions would remove or destroy key elements that define the place and would result in a permanent change to the historic character, authenticity, values and significance of the place. The impact of such actions cannot be fully mitigated.
	High Actions that would have a long-term and high impact on the identified values and significance. Actions would remove, destroy or substantially alter key elements that define the place and would result in a permanent change to the historic character, authenticity, values and significance of the place. The impact of such actions can potentially be reduced through appropriate mitigation measures.
	Moderate Actions that would have a long term and moderate impact on the identified values and significance. Actions would remove, destroy or substantially alter key elements that define the place and would result in a permanent change to the historic character, authenticity, values and significance of the place. Actions can be partially mitigated.
	Minor Actions that would result in minor impacts that do not diminish or obscure the identified heritage values and significance. Actions may affect only a small part or component of the place or a distant / small part of the setting / curtilage. These actions can usually be easily and appropriately mitigated or may be temporary and / or reversible.

²¹ NSW Heritage Branch, '*Heritage Impact Statements – Some questions to be answered in a Statement of Heritage Impact and Supporting Information Required*'.

Neutral	Low / Negligible	Actions that would result in very minimal if not, inconsequential heritage impacts.
	Neutral	Actions can usually be easily and appropriately mitigated or may be temporary and / or reversible. Actions that would have no visual or physical heritage impacts. Actions do not require any mitigation measures.
	Minor positive	Actions that would bring a minor positive benefit to a heritage item or area of significance. Actions can usually be through the reversal of some previous unsympathetic cosmetic changes and will enhance the visual setting and integrity. Actions can also include cyclical and preventative maintenance works to safeguard, stabilise and protect significant fabric.
Positive	Moderate positive	Actions that would bring a moderate positive benefit to a heritage item or area of significance. Actions can usually be through the removal of previous unsympathetic structural or cosmetic changes that will reinstate missing detail, reinstate original design intent, re-establish views or physical relationships. Actions can also include conservation works to safeguard, stabilise and protect significant fabric.
	Major positive	Actions that would bring a major positive benefit to a heritage item or area of significance. Actions can usually be through the removal of previous unsympathetic structural or cosmetic changes that will reinstate or reconstruct missing detail, reinstate original design intent, re-establish views or physical relationships. Actions can also include conservation works to safeguard, stabilise and protect significant fabric.

10.2 Heritage impact ratings

The following table establishes the anticipated impacts based upon the magnitude of the work or activity relative to the significance of the fabric involved.

TABLE 14 – Heritage Impact Rating							
Significance	Magnitude of the work or activity						Impact Rating
	Adverse	High	Moderate	Minor	Low	Neutral	
	Exceptional	Adverse impact	High impact	High impact	Moderate impact	Minor impact	Negligible impact
	High	High impact	High impact	Moderate impact	Minor impact	Minor impact	Negligible impact
	Moderate	High impact	Moderate impact	Moderate impact	Minor impact	Low impact	Negligible impact
	Low	Moderate impact	Moderate impact	Minor impact	Minor impact	Low impact	Negligible impact
	Neutral	Minor impact	Minor impact	Low impact	Low impact	Low impact	Negligible impact
	Intrusive	Negligible impact	Negligible impact	Negligible impact	Negligible impact	Negligible impact	Negligible impact

The following table establishes the definitions for the types of impact. For instance, some works or activities will have the potential for impacts or will result in impacts. The impact can be direct, i.e. directly in consequence of an action, or indirect, i.e. impacts could be cumulative, compounded, delayed or unexpected.

TABLE 15 – Types of Impact	
Grading	Definition
Direct	Works or activities have a direct visual and / or physical impact on the heritage item or area concerned.
Potential direct	Works or activities have the potential to result in direct visual and / or physical impact on the heritage item or area concerned.
Indirect	Works or activities have an indirect visual and / or physical impact on the heritage item or area concerned.
Potential indirect	Works or activities have the potential to result in an indirect visual and / or physical impact on the heritage item or area concerned.

10.3 Response to the NSW Heritage Manual evaluation criteria*i) Demolition of a building or structure*

- *If demolition is proposed, why is it necessary?*
- *Have options for retention and adaptive re-use been explored? If yes, set out why these options have been discarded.*

The site is situated within *The Valley Heritage Conservation Area*, which is significant due to the illustration of the nature of Sydney's early suburbs and Leichhardt's suburban growth between 1871 and 1891, with later pockets of infill up until the end of the 1930s.

The subject dwelling at 2 Goodsir Street, Rozelle was built in the late 20th century, attributed to the typical weatherboard housing stock of the period, having been constructed c.1960-1970.

Options for retention of the existing building have not been considered as part of this proposal. It is understood that it is the owner's preference to demolish the dwelling and ancillary structures and to redevelop the property with a more contemporary two-storey detached dwelling.

Individually, the dwelling does not evidence significant development or societal activity or document a significant historical phase within the locality and its historical value beyond documenting the late 20th century housing forms in the locality, is low.

For this reason, retention is not considered necessary as the dwelling is considered to have a neutral contribution to the wider conservation area, with low retention value, whereby demolition of the dwelling would not erode the architectural values or built form character of the streetscape or wider conservation area.

- *Can all of the significant elements of the heritage item be kept and any new development be located elsewhere on the site?*

The existing dwelling is attributed to the typical weatherboard housing stock of the late 20th century period which is not defined by any particular architectural form. Due to the contemporary construction date of the dwelling, being a later phase of development within the conservation area, there are no significant elements of the building that would warrant salvage or retention.

- *Is demolition essential at this time or can it be postponed in case future circumstances make its retention and conservation more feasible?*

As outlined above, the existing dwelling does not satisfy the Heritage Council of NSW significance assessment criteria and the dwelling is not considered to hold any cultural heritage significance. The dwelling has also been assessed as having little research value, whereby there is no valid reason to postpone demolition to investigate alternative solutions involving retention and conservation.

- *Has the advice of a heritage consultant been sought? Have the consultant's recommendations been implemented? If not, why not?*

Yes. EHC has provided preliminary heritage advice to inform the development proposal.

ii) *New development adjacent to a heritage item*

- *How is the impact of the new development on the heritage significance of the item or area to be minimised?*

The site is situated within the vicinity of a number of heritage items, and is situated within *The Valley Heritage Conservation Area*. There are a number of built forms which share a relationship with the subject site through spatial proximity, although having a minimal direct visual relationship owing to the battle-axe allotment of the subject site and the various intervening built forms.

Consequently, the proposed redevelopment of the site will not result in any visual or physical impacts on the heritage items within the vicinity of the site, nor to the overall cohesiveness of the streetscape within the HCA. Any potential visual or physical risks are mitigated as the development is contained to the lot boundaries.

The proposal involves the construction of a detached two-storey dwelling house, which will have an overall rectangular shaped footprint, not too dissimilar from the existing dwelling on the site. The proposed dwelling will accommodate four (4) bedrooms, one to the ground floor and three, inclusive of the master, on the first-floor. The master bedroom will have an ensuite and there will be an additional 2 bathrooms, one upstairs and another on the ground floor

The proposed built form has been positioned in a similar location as the existing dwelling on the site. The proposed building is larger in scale particularly extending further to the south-western boundary and in height, accommodating an additional storey, however owing to the setback of the dwelling within the streetscape and the battle-axe allotment on which it sits, the bulk of the visual impacts have been mitigated whereby the dwelling will continue to sit silently within the street.

The use of contemporary materials will aid in visually distinguishing the new work from the older, more traditional styles that are prevalent in the HCA. The combination of face brick and render together with Colorbond sheeting and timber batten cladding will allow the dwelling to continue to integrate into the heritage conservation area without competing or distracting from other contributory items. The use of light colours paired with darker trim and timber features will break up any heaviness of the exterior, and also aid in minimising visual bulk.

- *Why is the new development required to be adjacent to a heritage item?*

The proposed development will replace the existing dwelling, of which the impacts of the demolition have been considered above. The development is a part of the clients brief to utilise their property more efficiently through the construction of a new two-storey detached dwelling.

- *How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?*

The proposed development will be concentrated largely to the same location on the site as the existing dwelling, however is extended further out towards the front boundary and vertically, with the second-storey addition. The proposed development will not impede or alter on the neighbouring property boundaries and will retain a clear setback from all boundaries to ensure any adverse impacts are minimised.

- *How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effects?*

Owing to the placement of the dwelling upon a battle-axe allotment, the dwelling will continue to have a negligible visual relationship with Goodsir Street. The deep frontage to Goodsir Street and the proposed timber panel fence will allow the development to sit silently behind the row of terraces fronting the street. By maintaining the existing view from Goodsir Street, the context and setting of the conservation area is maintained.

Whilst the development proposes a two-storey replacement building, the height of the new dwelling will sit below the parapet height of the fronting terraces, ensuring the new build will not be visible from the streetscape. The bulk of the building is pulled away from the streetscape and the neighbouring terraces via a sloping skillion roof form ascending to the north creating an aesthetic appeal to the design. The adjacent terraces will not be dwarfed or intimidated by the proposed development and owing to generous setbacks the dwelling will not impede on any significant viewpoints of the area, nor distort the original development pattern.

- *Are the additions sited on any known or potentially significant archaeological relics? If yes, has specialist advice from archaeologists been sought? How will the impact be avoided or mitigated?*

Section 4 of this report establishes the historical context for the site, demonstrating that the existing dwelling is not the first known built improvement on the subject site. Despite this, there has been extensive ground disturbance since the demolition of the original dwelling in order to facilitate construction of the new dwelling on the site.

As such, there is no evidence to suggest that the site has potential to yield significant archaeological deposits. Notwithstanding, recommendations are made in Section 11.2 of this report that set out the standard 'unexpected finds' protocols in the unlikely event that archaeological deposits are discovered during any ground disturbance activities or works.

- *Is the new development sympathetic to the heritage item? In what way (e.g. form, siting, proportions, design)?*

The proposed development, whilst contemporary in design and overall architectural expression, will utilise clean rectangular lines and simple colours that harmonise with the wider conservation area.

The dwelling will adopt a contemporary, modern form, utilising face brick, Colorbond and timber battens. This language will clearly delineate the development as new work. The combined use of render and brick will pay homage to the prevalent features of the heritage conservation area, without being seen as 'mimicking' the finer grain details.

The proposed palette of colours and materials are mostly white, light colours and timber features with dark detailing. This will integrate into the existing character of the streetscape and complement the palette of the HCA.

- *Will the additions visually dominate the heritage item? How has this been minimised?*

Whilst the proposed development is two storeys, owing to careful modulation and the use of mixed materiality, the proposed dwelling will continue to be a silent addition to the streetscape. The development will be clearly read as new work, and will follow the trend of emerging two-storey dwellings within the street without being seen as dwarfing the neighbouring properties.

- *Will the public, and users of the item, still be able to view and appreciate its significance?*

The existing dwelling was erected c.1960-1970 as a private dwelling house. The proposed development seeks to maintain the site as a residential lot, and the ongoing use and functionality of the area will be maintained in its current state.

Overall, the proposed development is sympathetic to the conservation area and poses no adverse impacts to the overall character and cohesiveness of the immediate streetscape.

iii) *New landscape works and features*

- *How has the impact on the heritage significance of the existing landscape been minimised?*
- *Are works to the landscape or pathways necessary to comply with the access requirements of the Disability Discrimination Act 1992?*

The proposed development includes new landscape works, which will involve the removal of five (5) specimen trees, prior to the installation of new landscape plantings and an in-ground swimming pool. The trees to be removed are not considered to be of heritage significance, as archival research of the site does not reveal any significant plantings when the site was first established.

The proposed landscaping works have been developed to assist in reducing the visual bulk of the site by incorporating grassed open spaces and a variety of landscape plantings. The landscape works provide continuity in the depth and dimensions of the landscaped front gardens and allows for a sense of building separation.

- *Has evidence (archival or physical) of previous landscape work been investigated? Is the original landscape work being reinstated?*

There is no physical or documentary evidence of previous landscape works or features extant on the site. Consequently, previous works are not being reinstated or interpreted, but rather a contemporary, yet complementary, landscape treatment has been developed.

- *Will any known or potential archaeological relics be affected by the landscape works? How will this be mitigated Has advice been sought from a suitably qualified archaeologist?*

As above, Section 4.0 of this report establishes that the existing dwelling is not the first known built improvement on the subject site, however there is no evidence to suggest that the site has potential to yield significant archaeological deposits. Recommendations are made in Section 11.2 of this report that set out the standard 'unexpected finds' protocols in the unlikely event that archaeological deposits are discovered during any ground disturbance activities or works.

- *Do the proposed works impact views to, from and within adjacent heritage items?*

The proposed landscaping works will have a silent contribution to the site and streetscape, owing to the setback and battle-axe allotment of the site. The works will not result in any direct or indirect obscuration of significant views to or from adjacent heritage items, nor the broader HCA.

11.0 RECOMMENDATIONS AND MITIGATION MEASURES

11.1 Conclusion

Situated on the site is a single storey dwelling which displays features and characteristics that define it as being attributed to the housing stock of the mid 20th century period, though is of no particular distinguished architectural style.

The site is not identified as an item of heritage significance, however, is situated within *The Valley Heritage Conservation Area*, which is listed under Schedule 5 of *Inner West Local Environmental Plan 2022*.

This assessment demonstrates that the property does not meet the prerequisites to satisfy the NSW Heritage Assessment criteria relating to historical, associative, aesthetic, social, technical, rarity or representative significance. In this regard, the existing dwelling is considered of little architectural interest and value and demolition is supported on the basis that it will not result in the loss of a significant nor contributory built form within the Heritage Conservation Area.

The proposed demolition and subsequent replacement building will not result in any material affectation to significant heritage fabric and will continue the silent contribution toward the street, retaining the visual prominence of the existing terraces and heritage items along Goodsir and Evans Street.

This Heritage Impact Statement has been prepared to consider the potential heritage impacts resulting from the proposed development, which involves the demolition of the existing dwelling and construction of a two-storey dwelling. The proposal has been assessed with regards to the identified heritage values and available physical and documentary evidence, including a visual inspection of the site and statutory planning requirements.

The evaluation criteria for assessing the likely impact of a proposed development (as published by the Department of Planning and Environment and the Heritage Council of NSW) have been applied in this impact assessment. Having considered all relevant matters for consideration in this report, subject to the recommendations in Section 11.2 to mitigate identified heritage impacts, the proposed demolition of the existing dwelling and construction of a two-storey dwelling, is considered to have a negligible impact.

The proposal satisfies the objectives and relevant provisions of clause 5.10 of the *Inner West Local Environmental Plan 2022* and satisfies the applicable development controls of Part C1.4 of the *Leichhardt Development Control Plan 2013*.

Consequently, the proposal is favourably recommended to Council.

11.2 Recommended mitigation measures

The following recommendations arise from the heritage impact assessment in Section 10.3 of this report. Adoption and implementation of the recommendations should be seen as mechanisms for addressing statutory requirements, mitigating heritage impacts and to ensure appropriate conservation and ongoing management of the heritage item.

TABLE 16 – Recommendations and mitigation measures	
Recommendation	Recommended management / mitigation measures
1. Archaeology	<p>Should any substantial intact archaeological deposits whether artefacts, relics or occupation deposits be discovered or uncovered, excavation and / or disturbance of the site is to immediately cease and the Consent Authority and Heritage NSW notified.</p> <p>Additional archaeological assessment may be required prior to works continuing in the affected area/s based on the nature of the discovery.</p>

End of Report

Appendix A

Common terms used in this report

The following is a list of terms and abbreviations adopted for use in the NSW *Heritage Manual* (prepared by the Heritage Council of NSW), and other terms used by those involved in investigating, assessing and managing heritage, including terms used within this Heritage Impact Statement:

Aboriginal significance: An item is of Aboriginal heritage significance if it demonstrates Aboriginal history and culture. The National Parks and Wildlife Service has the primary responsibility for items of Aboriginal significance in New South Wales.

Adaptation: Modification of a heritage item to suit a proposed, compatible use.

Aesthetic significance: An item having this value is significant because it has visual or sensory appeal, landmark qualities and/or creative or technical excellence.

Archaeological assessment: A study undertaken to establish the archaeological significance (research potential) of a particular site and to propose appropriate management actions.

Archaeological feature: Any physical evidence of past human activity. Archaeological features include buildings, works, relics, structures, foundations, deposits, cultural landscapes and shipwrecks. During an archaeological excavation the term 'feature' may be used in a specific sense to refer to any item that is not a structure, a layer or an artefact (for example, a post hole).

Archaeological significance: A category of significance referring to scientific value or 'research potential' that is, the ability to yield information through investigation.

Archaeological sites: A place that contains evidence of past human activity. Below-ground archaeological sites include building foundations, occupation deposits, features and artefacts. Above-ground archaeological sites include buildings, works, industrial structures and relics that are intact or ruined.

Archaeology: The study of material evidence to discover human past. See also historical archaeology.

Artefacts: Objects produced by human activity. In historical archaeology the term usually refers to small objects contained within occupation deposits. The term may encompass food or plant remains (for example, pollen) and ecological features.

Australia ICOMOS: The national committee of the International Council on Monuments and Sites.

Burra Charter: (and its guidelines). Charter adopted by Australia ICOMOS which establishes the nationally accepted principles for the conservation of places of cultural significance.

Comparative significance: In the NSW Heritage Assessment Procedure there are two

values used to compare significance: representativeness and rarity.

Compatible use: A use for a heritage item, which involves no change to its culturally significant fabric, changes which are substantially reversible or changes, which make a minimal impact.

Cultural landscapes: Those areas of the landscape, which have been significantly modified by human activity. They include rural lands such as farms, villages and mining sites, as well as country towns.

Cultural significance: A term frequently used to encompass all aspects of significance, particularly in guidelines documents such as the Burra Charter. Also one of the categories of significance listed in the Heritage Act 1977.

Curtilage: The geographical area that provides the physical context for an item, and which contributes to its heritage significance. Land title boundaries and heritage curtilages do not necessarily coincide.

Demolition: The damaging, defacing, destroying or dismantling of a heritage item or a component of a heritage conservation area, in whole or in part.

Conjectural reconstruction: Alteration of a heritage item to simulate a possible earlier state, which is not based on documentary or physical evidence. This treatment is outside the scope of the Burra Charter's conservation principles.

Conservation: All the processes of looking after an item so as to retain its cultural significance. It includes maintenance and may, according to circumstances, include preservation, restoration, reconstruction and adaptation and will be commonly a combination of more than one of these.

Conservation Management Plan: (CMP) A document explaining the significance of a heritage item, including a heritage conservation area, and proposing policies to retain that significance. It can include guidelines for additional development or maintenance of the place.

Conservation policy: A proposal to conserve a heritage item arising out of the opportunities and constraints presented by the statement of heritage significance and other considerations.

Contact sites: Sites which are associated with the interaction between Aboriginal and non-Aboriginal people.

Excavation permit: A permit issued by the Heritage Council of New South Wales under

section 60 or section 140 of the Heritage Act 1977 to disturb or excavate a relic.

Façade: The elevation of a building facing the street.

Heritage Act 1977: The statutory framework for the identification and conservation of heritage in New South Wales. The Act also describes the composition and powers of the Heritage Council.

Heritage Advisor: A heritage consultant engaged by a local council, usually on a part-time basis, to give advice on heritage matters to both the council and the local community.

Heritage assessment criteria: Principles by which values for heritage significance are described and tested. See historical, aesthetic, social, technical/ research, representativeness, rarity.

Heritage conservation area: An area which has a distinctive character of heritage significance, which it is desirable to conserve.

Heritage Council: The New South Wales Government's heritage advisory body established under the Heritage Act 1977. It provides advice to the Minister for Urban Affairs and Planning and others on heritage issues. It is also the determining authority for section 60 applications.

Heritage fabric: All the physical material of an item, including surroundings and contents, which contribute to its heritage significance.

Heritage inventory: A list of heritage items, usually in a local environmental plan or regional environmental plan.

Heritage item: A landscape, place, building, structure, relic or other work of heritage significance.

Heritage NSW: The State Government agency of the Department and Premier and Cabinet, responsible for providing policy advice to the relevant Minister, administrative services to the Heritage Council and specialist advice to the community on heritage matters.

Heritage precinct: An area or part of an area which is of heritage significance. See also heritage conservation area.

Heritage significance: Of aesthetic, historic, scientific, cultural, social, archaeological, natural or aesthetic value for past, present or future generations.

Heritage study: A conservation study of an area, usually commissioned by the local council. The study usually includes a historical context report, an inventory of heritage items

HERITAGE IMPACT STATEMENT | 2 Goodsir Street, Rozelle

EHC22/0178

within the area and recommendations for conserving their significance.

Heritage value: Often used interchangeably with the term 'heritage significance'. There are four nature of significance values and two comparative significance values. See heritage significance, nature of significance, comparative significance.

Hierarchy of significance: Used when describing a complex heritage site where it is necessary to zone or categorise parts of the area assigning each a particular significance. A commonly used four level hierarchy is: considerable, some, little or no, intrusive (that is, reduces the significance of the item).

Industrial archaeology: The study of relics, structures and places involved with organised labour extracting, processing or producing services or commodities; for example, roads, bridges, railways, ports, wharves, shipping, agricultural sites and structures, factories, mines and processing plants.

Integrity: A heritage item is said to have integrity if its assessment and statement of significance is supported by sound research and analysis, and its fabric and curtilage are still largely intact.

International Council on Monuments and Sites (ICOMOS): An international organisation linked to UNESCO that brings together people concerned with the conservation and study of places of cultural significance.

There are also national committees in sixty countries including Australia.

Level of significance: There are three management levels for heritage items in New South Wales — local, regional and state. The level is determined by the context in which the

item is significant. For example, items of state heritage significance will either be fine examples or rare state-wide or will be esteemed by a state-wide community.

Local significance: Items of heritage significance which are fine examples, or rare, at the local community level.

Moveable heritage: Heritage items not fixed to a site or place (for example, furniture, locomotives and archives).

Occupation deposits: (In archaeology.) Accumulations of cultural material that result from human activity. They are usually associated with domestic sites, for example, under-floor or yard deposits.

Post-contact: Used to refer to the study of archaeological sites and other heritage items dating after European occupation in 1788 which helps to explain the story of the relationship between Aborigines and the new settlers.

Preservation: Maintaining the fabric of an item in its existing state and retarding deterioration.

Rarity: An item having this value is significant because it represents a rare, endangered or unusual aspect of our history or cultural heritage.

Reconstruction: Returning a place as nearly as possible to a known earlier state by the introduction of new or old materials into the fabric (not to be confused with conjectural reconstruction).

Relic: The Heritage Act 1977 defines relic as: '...any deposit, object or material evidence relating to non-Aboriginal settlement which is more than fifty years old.' The National Parks and Wildlife Act 1974 defines a relic as: '...any

deposit, object or material evidence (not being a handicraft made for sale) relating to indigenous and non-European habitation of the area that comprises New South Wales, being habitation both prior to and concurrent with the occupation of that area by persons of European extraction, and includes Aboriginal remains.'

Representativeness: Items having this value are significant because they are fine representative examples of an important class of significant items or environments.

Restoration: Returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without introducing new material.

Social significance: Items having this value are significant through their social, spiritual or cultural association with a recognisable community.

State heritage inventory: A list of heritage items of state significance developed and managed by the Heritage Division. The inventory is part of the NSW Heritage Database.

State significance: Items of heritage significance which are fine examples, or rare, at a state community level.

Statement of heritage significance: A statement, usually in prose form which summarises why a heritage item or area is of importance to present and future generations.

Technical/research significance: Items having this value are significant because of their contribution or potential contribution to an understanding of our cultural history or environment.
