







|  DEVELOPMENT ASSESSMENT REPORT | |
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| Application No. | REV/2023/0018 |
| Address | 19 Northwood Street CAMPERDOWN |
| Proposal | Section 8.2 application to review consent conditions of Determination DA/2022/1075 dated 15 May 2023 for ground and first floor alterations and additions to a dwelling house |
| Date of Lodgement | 31 August 2023 |
| Applicant | Milestone (AUST) Pty Limited |
| Owner | Mr Michael JR Dompredo Ms Gabrielle E Stokes |
| Number of Submissions | 2 |
| Value of works | \$619,455.00 |
| Reason for determination at Planning Panel | No substantial change to original determination of conditions seeking review |
| Main Issues | <ul style="list-style-type: none"> • Inadequate owner's consent for demolition over boundary • Inadequate first floor front setback • Impact to period building and streetscape |
| Recommendation | Approved with Conditions |
| Attachment A | Recommended amendments to conditions of consent |
| Attachment B | Plans of proposed development |
| Attachment C | Consent of DA/2022/1075 |
| Attachment D | Plans approved under DA/2022/1075 |
|  | |
| LOCALITY MAP Given the scale of the map, not all submitters could be demonstrated. | |
| Subject Site  | Objectors  |
| Notified Area  | Supporters  |

1. Executive Summary

This report is an assessment of the application submitted to Council under Section 8.2 of the *Environmental Planning and Assessment Act 1979* to review consent conditions of Determination DA/2022/1075 dated 15 May 2023 for ground and first floor alterations and additions to a dwelling house at 19 Northwood Street Camperdown.

The application was notified to surrounding properties and 2 submissions in support of the application were received in response to the initial notification.

The main issues that have arisen from the application include:

- Inadequate owner's consent for demolition over the boundary,
- Inadequate first floor front setback, impacting period building and streetscape, and
- Inadequate response to desired future character.

Whilst the amended roof form proposed in this Review resolves the outstanding solar access concerns from the original determination, it is considered that the front setback of the first floor addition is excessively bulky and results in a poor streetscape outcome, compromises the symmetry of the pair of semi detached dwellings and overwhelms the appearance of the original period building.

Given the above, subject to the imposition of appropriate conditions which includes the requirement to maintain a 9 metre setback for the first floor addition, the application is considered suitable for approval.

2. Proposal

The application seeks a Section 8.2 Review of Condition 2(a) and 2(c) imposed on DA/2022/1075, approved on 15 May 2023 for alterations and additions to a semi-detached dwelling including construction of a ground floor extension and first floor addition. Condition 2 is reproduced as follows:

2. Design Change

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans demonstrating the following:

- A front setback of minimum 9m from the front boundary be provided to the first floor.*
- A rear setback of minimum 7m from the rear boundary be provided to the first floor.*
- Reduction in the maximum height of the development by 200mm, to a maximum RL of 30.030*
- Replacement of the front elevation windows on the ground floor must be to timber framed windows.*

It is noted that the current proposal has been amended to comply with conditions 2(b) and 2(d).

Specifically, the proposal involves the following works:

- Substantial demolition of the existing ground floor, including Bed 02, living, kitchen and sunroom areas;

- Demolition of the front verandah, roof and chimney;
- Demolition of the front façade window serving Bed 01;
- Demolition of the existing carport and concrete area at the rear;
- Construction of new living, kitchen and dining area, laundry, bathroom and internal courtyard on the ground floor;
- Construction of a new first floor with three bedrooms, two bathrooms and a study nook;
- Construction of new front verandah;
- Construction of new landscaped area and carparking space at the rear, including permeable paving, planter boxes and bin storage;
- Construction of new kerb crossing at the rear; and
- Associated planting.

3. Site Description

The subject site is located on the western side of Northwood Street, between Salisbury Road and Federation Road. The site consists of one allotment and is generally rectangular shaped with a total area of 178.2sqm and is legally described as Lot 1 in DP 106884.

The site has a frontage of 6.44m to Northwood Street. The site is affected by a number of easements including a 16.94m metre timber party wall shared with no. 21 Northwood Street, Camperdown.

The site supports a single storey, semi-detached dwelling, with rear access from Northwood Lane. The adjoining properties support single and two-storey dwelling houses. A four-storey residential flat building is located opposite the site.



Figure 1: Zoning Map (subject site outlined in blue)



Figure 2: Photo of the subject site

4. Background

4(a) Site history

The following application outlines the relevant development history of the subject site and any relevant applications on surrounding properties.

Subject Site

| Application | Proposal | Decision & Date |
|--------------|---|-----------------------|
| DA/2022/1075 | Alterations and additions to a semi-detached dwelling including construction of a ground floor extension and first floor addition | Approved – 15/05/2023 |

Surrounding properties

| Application | Proposal | Decision & Date |
|--|--|-----------------------|
| DA/2021/0707 13-15 Northwood Street | Demolition of existing structures and construction of a two-storey dwelling and basement storage. | Approved – 16/05/2022 |
| DA/2021/0068 7 Northwood Street | Demolition of part of an existing commercial building and construction of a three-storey dwelling house | Approved – 30/07/2021 |
| DA201600160 35 Northwood Street | To demolish part of the premises and carry out ground and first floor alterations and additions to a dwelling house | Approved – 05/09/2016 |
| DA200800602 27 Northwood Street | To demolish part of the premises and carry out ground and first floor alterations and additions to a dwelling house and to provide a double vehicle crossing and roller door and boundary wall at the rear and a timber picket front fence | Approved – 19/03/2009 |
| DA200700562 9-11 Northwood Street | to demolish the existing warehouse building, subdivide the land into two (2) allotments and erect a two part three storey dwelling house on each allotment with associated swimming pool | Approved – 27/02/2008 |
| DA200100604 31-33 Northwood Street | to demolish part rear of premises erect 1st floor additions to existing dwelling house on 33 and erect a detached garage with attic at the rear, erect a two storey dwelling house on the property 31 with a detached garage with attic at the rear. | Approved – 30/01/2002 |

4(b) Application history

The following table outlines the relevant history of the subject application.

| Date | Discussion / Letter / Additional Information |
|------------|---|
| 11/10/2023 | <p>Council had a meeting with the applicant via Microsoft Teams to discuss the following issues:</p> <ul style="list-style-type: none"> • Neighbouring owner's consent from no. 21 Northwood Street is required for the partial demolition of the shared party wall; • Neighbouring owner's consent from no. 17 Northwood Street is required for the proposed demolition over the boundary (the carport and the side passage gate); • The proposed first-floor front setback and streetscape character, noting the proposed setback is inconsistent with Part 4.1.11 of the MDCP 2011; • The rear shading structure and potential additional overshadowing not demonstrated on the shadow diagrams; |

| | |
|--------------------------|---|
| | <ul style="list-style-type: none"> The location of the tree proposed at the rear to be relocated to the internal courtyard. |
| 16/10/2023 | <p>The applicant provided the following information:</p> <ul style="list-style-type: none"> Amended plans detailing: <ul style="list-style-type: none"> Relocation of the proposed tree to the internal courtyard; Retention of the existing party wall, and a new internal wall to be constructed adjacent to the party wall, accompanied by an adequate structural engineer's certificate and drawings; Deletion of the proposed shading structure, noting that the proposed frame is to remain; Partial retention of the side passage gate so neighbouring consent no longer required; and Retention of the originally proposed front setback. |
| 13/10/2023 16/10/2023 | <p>– Council and the applicant had several phone calls and email correspondence regarding the additional information, and specifically the proposed demolition of the carport at the rear which encroaches onto no. 17 Northwood Street. While it is noted that the encroachment is of the roof and gutter overhang of the carport only, this is still classified as an encroachment.</p> <p>Consent of no. 17 Northwood Street for the demolition of the encroaching carport was not received. The applicant provided information detailing that the carport could be removed via a Complying Development Certificate.</p> <p>As such, a design change condition has been recommended requiring the carport is retained as part of this development. Given the retention of the carport, it is considered that the proposed frame at the rear must be deleted as well given the two structures may conflict.</p> |

5. Assessment

The following is a summary of the assessment of the application in accordance with Section 4.15 of the *Environmental Planning and Assessment Act 1979 (EPA Act 1979)*.

5(a) Section 8.2 Reviews

| Requirement | Proposal |
|--|---|
| 8.2 Determinations and decisions subject to review | |
| <p>(1) The following determinations or decisions of a consent authority under Part 4 are subject to review under this Division—</p> <p>(a) the determination of an application for development consent by a council, by a local planning panel, by a Sydney district or regional planning panel or by any person acting as delegate of the Minister (other than the Independent Planning Commission or the Planning Secretary),</p> <p>(b) the determination of an application for the modification of a development consent by a council, by a local planning panel, by a Sydney district or regional planning panel or by any person acting as delegate of the Minister (other than the Independent Planning Commission or the Planning Secretary),</p> <p>(c) the decision of a council to reject and not determine an application for development consent.</p> | <p>The subject application relates to the review of a determination of an application for development consent by Council.</p> |

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| <p>(2) However, a determination or decision in connection with an application relating to the following is not subject to review under this Division—</p> <ul style="list-style-type: none"> (a) a complying development certificate, (b) designated development, (c) Crown development (referred to in Division 4.6). | <p>The subject application does not relate to any of the applications noted in Clause 2.</p> |
| <p>(3) A determination or decision reviewed under this Division is not subject to further review under this Division.</p> | <p>Noted.</p> |
| <p>8.3 Application for and conduct of review</p> | |
| <p>(1) An applicant for development consent may request a consent authority to review a determination or decision made by the consent authority. The consent authority is to review the determination or decision if duly requested to do so under this Division.</p> | <p>Noted.</p> |
| <p>(2) A determination or decision cannot be reviewed under this Division—</p> <ul style="list-style-type: none"> (a) after the period within which any appeal may be made to the Court has expired if no appeal was made, or (b) after the Court has disposed of an appeal against the determination or decision | <p>The original application was determined on 15 May 2023. Pursuant to Section 8.10(1)(b)(i) of the <i>Environmental Planning and Assessment Act 1979</i>, an appeal may be made to the Court 6 months after the date of determination. The subject application was lodged on 31 August 2023 and has been reported to the Inner West Local Planning Panel for determination prior to the expiry of the appeal period (15 November 2023).</p> |
| <p>(3) In requesting a review, the applicant may amend the proposed development the subject of the original application for development consent or for modification of development consent. The consent authority may review the matter having regard to the amended development, but only if it is satisfied that it is substantially the same development.</p> | <p>The development remains substantially the same as that proposed in the original DA.</p> |
| <p>(4) The review of a determination or decision made by a delegate of a council is to be conducted-</p> <ul style="list-style-type: none"> (a) by the council (unless the determination or decision may be made only by a local planning panel or delegate of the council), or (b) by another delegate of the council who is not subordinate to the delegate who made the determination or decision. | <p>The original DA was determined under Council Officer delegation. The current application is to be determined by the Local Planning Panel.</p> |
| <p>(5) The review of a determination or decision made by a local planning panel is also to be conducted by the panel.</p> | <p>The application is to go before the Local Planning Panel for determination.</p> |
| <p>(6) The review of a determination or decision made by a council is to be conducted by the council and not by a delegate of the council.</p> | <p>N/A</p> |
| <p>(7) The review of a determination or decision made by a Sydney district or regional planning panel is also to be conducted by the panel.</p> | <p>N/A</p> |
| <p>(8) The review of a determination or decision made by the Independent Planning Commission is also to be conducted by the Commission.</p> | <p>N/A</p> |

| | |
|---|-----|
| (9) The review of a determination or decision made by a delegate of the Minister (other than the Independent Planning Commission) is to be conducted by the Independent Planning Commission or by another delegate of the Minister who is not subordinate to the delegate who made the determination or decision. | N/A |
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5(b) Environmental Planning Instruments

The application has been assessed against the relevant Environmental Planning Instruments listed below:

- *State Environmental Planning Policy (Resilience and Hazards) 2021*
- *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*
- *State Environmental Planning Policy (Biodiversity and Conservation) 2021*

The following provides further discussion of the relevant issues:

5(b)(i) *State Environmental Planning Policy (Resilience and Hazards) 2021*

Chapter 4 Remediation of land

Section 4.16 (1) of the SEPP requires the consent authority not consent to the carrying out of any development on land unless:

*“(a) it has considered whether the land is contaminated, and
 (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and
 (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.”*

In considering the above, there is no evidence of contamination on the site.

There is also no indication of uses listed in Table 1 of the contaminated land planning guidelines within Council's records. The land will be suitable for the proposed use as there is no indication of contamination.

5(b)(ii) *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*

A BASIX Certificate was submitted with the application and will be referenced in any consent granted.

5(b)(iii) State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 10 Sydney Harbour Catchment

The site is not located within the foreshores and waterways area, a Strategic Foreshore site or listed as an item of environmental heritage under the SEPP and as such only the aims of the plan are applicable. The proposal is consistent with these aims.

5(b)(iv) Inner West Local Environmental Plan 2022 (IWLEP 2022)

The application was assessed against the following relevant sections of the *Inner West Local Environmental Plan 2022*:

- Section 1.2 - Aims of Plan
- Section 2.3 - Land Use Table and Zone Objectives
- Section 2.7 – Demolition requires development consent
- Section 4.3 – Height of buildings
- Section 4.4 – Floor space ratio
- Section 4.5 – Calculation of floor space ratio and site area
- Section 6.2 – Earthworks
- Section 6.3 – Stormwater management
- Section 6.4 – Terrestrial biodiversity
- Section 6.8 – Development in areas subject to aircraft noise

Section 1.2 Aims of Plan

The proposal, subject to recommended design change conditions, is consistent with the relevant aims of the plan as follows:

- The proposal is considered to conserve and maintain the natural, built and cultural heritage of Inner West;
- The proposal provides housing for, and enhances the amenity of, residents in the Inner West;
- The proposal promotes a high standard of design; and
- The proposal will not result in adverse social, economic or environmental impacts.

Section 2.3 Land Use Table and Zone Objectives

The subject site is zoned R2 Low Density Residential under the *IWLEP 2022*. The application proposes alterations and additions to an existing semi-detached dwelling house, which is defined as a dwelling that is on its own lot of land and is attached to only one other dwelling.

It is considered that the proposal, subject to recommended conditions, is consistent with the relevant objectives of the zone.

Section 2.7 – Demolition requires development consent

The proposal satisfies this section as demolition works are proposed which are permissible with consent.

Section 4 – Principal Development Standards

The following table provides an assessment of the application against the development standards:

| Standard | Proposal | Complies |
|--|--------------------|----------|
| Floor space ratio Maximum permissible: 1:1 or 178.2sqm | 148.3sqm or 0.83:1 | Yes |
| Building Height Maximum permissible: 9.5m | 7.3m | Yes |

Section 4.5 – Calculation of floor space ratio and site area

The site area and floor space ratio for the proposal has been calculated in accordance with the section.

Section 6.2 – Earthworks

The proposed earthworks are unlikely to have a detrimental impact on environmental functions and processes, existing drainage patterns, or soil stability.

Section 6.3 – Stormwater management

The development maximises the use of permeable surfaces, and subject to standard conditions would not result in any significant runoff to adjoining properties or the environment.

5(c) Development Control Plans

The application has been assessed and the following provides a summary of the relevant provisions of Marrickville Development Control Plan 2011.

| MDCP 2011 Part of MDCP 2011 | Compliance |
|--|----------------------|
| Part 2.1 – Urban Design | No – see discussion |
| Part 2.3 – Site and Context Analysis | Yes |
| Part 2.6 – Acoustic and Visual Privacy | Yes – see discussion |
| Part 2.7 – Solar Access and Overshadowing | Yes – see discussion |
| Part 2.9 – Community Safety | Yes |
| Part 2.10 – Parking | Yes – see discussion |
| Part 2.11 – Fencing | Yes – see discussion |
| Part 2.18 – Landscaping and Open Space | Yes – see discussion |
| Part 2.20 – Tree Management | Yes – see discussion |
| Part 2.21 – Site Facilities and Waste Management | Yes |
| Part 2.25 – Stormwater Management | Yes |
| Part 4.1 – Low Density Residential Development | No – see discussion |
| Part 9 – Strategic Context | No – see discussion |

The following provides discussion of the relevant issues:

Part 2.1 – Urban Design

The development, given the proposed front setback of the first floor is not considered to be consistent with Principle 9 of this part. As a result of the proposed first floor front setback, the development does not preserve or enhance the character of the area and streetscape as it adversely impacts the period building on the site and adversely impacts the symmetry and appearance of the pair of the semi-detached dwellings. As such, and given the issues outlined further below, it is recommended that the previously imposed design change condition 2a of the original determination be retained to maintain the first floor front setback of 9 metres.

Part 2.6 Acoustic and Visual Privacy

Ground floor

There will be no visual privacy impacts from the ground floor windows and doors to the side as there are no neighbouring windows along this elevation. Ground floor windows to the rear will be adequately screened by boundary fencing.

First floor

The windows proposed on the first floor along the boundary shared with no. 17 Northwood are unlikely to result in visual privacy impacts as they overlook the roof on the adjoining site. The rear facing windows on the first floor face into the site and serve low traffic rooms (i.e., a bath and bedroom) and as such are unlikely to result in visual privacy impacts to neighbouring sites.

Part 2.7 Solar access and overshadowing

With regard to a further loss of solar access to no. 21 Northwood Street where there is already less than 2 hours received during June 21, the following is noted from DA/2022/1075:

- *The generally east-west orientation of the subject and surrounding sites, along with the narrow allotment widths and density of existing development within the locality contribute to existing solar access non-compliance.*
- *The area of POS impacted by the proposed development is relatively small and partially covered by an existing pergola structure. It is noted that the POS is currently overshadowed by the existing boundary fences.*
- *The proposed development generally retains the existing solar access to the area of POS at No. 21 between 12:00pm and 2:00pm on June 21.*
- *The skylight to the principal living room is centrally positioned and located close to the boundary adjoining the subject site and as compliance with the control is difficult and would be prone to overshadowing by a first floor addition at No. 19.*
- *The principal living area is serviced by large French doors facing the southern side boundary and as such some ambient light will be maintained to the room.*

The proposed additional overshadowing as part of DA/2022/1075, where the proposed addition had a flat roof, was generally acceptable, subject to the increase in front and rear setbacks and lowering of the overall height, which was conditioned.

3D shadow diagrams for June 21 and March/September 21 were submitted as part of REV/2023/0018. Given the altered roof form proposed, there will be some reduction to overshadowing of the private open space between 10am and 11am. However, there will be

some minor additional overshadowing to the private open space of no. 21 Northwood at 12pm and 1pm, and additional overshadowing to the rear-facing French-doors at 2pm.

The diagrams for March/September 21 demonstrate that the proposed development will not significantly reduce the solar access to the neighbouring private open space but will result in some reduced overshadowing between 9am and 11am.

Given the above, the proposed overshadowing impact is considered acceptable, given the site orientation (east-west), and proposed reduction in overshadowing impact as a result of the amended design. It is noted that given the overshadowing impact is considered satisfactory and the deletion of design change condition 2(c) in DA/2022/1075 is acceptable in this instance.

Part 2.10 Parking

The application proposes one car parking space at the rear of the site, with access from Northwood Lane. As discussed elsewhere in this report, the existing carport that is proposed to be demolished, encroaches onto the adjoining site. Owner's consent from the property owners of the adjoining site for the demolition of this carport was not provided and, as such, consent for the demolition cannot be granted. However, the existing carport can be retained and utilised for the proposed on-site parking. Subject to conditions ensuring compliance with the relevant Australian Standards, the car parking space will comply with this part and a condition is included in the recommendation requiring the retention of the carport.

Part 2.11 Fencing

The application proposes to demolish the existing unsympathetic front fence and construct a 1m – 1.3m timber paling fence. The proposed front fence is acceptable, as it will be consistent with the immediate neighbour (no. 21 Northwood Street), the fencing style found along the street, and is compatible with the character of the period dwelling.

The application also seeks a new, 2.7m masonry boundary fence at the rear of the site, accommodating a new roller door and pedestrian access to Northwood Lane. Control C21 requires rear fences to not exceed 1.8 metres, thus, the proposed rear fence is not compliant. However, the proposed non-compliance is considered acceptable, as the fence is sympathetic and complementary to the period dwelling, and the contemporary alterations and additions. In addition, the new fence does not detract from the lanescape.

As such, the proposal is considered to satisfy the following objectives of this part:

- *O3 The proposed rear fence is sympathetic the period building and complements the visual character of the lanescape.*
- *O5 The proposed fence is unobtrusive and does not distract from the building or streetscape.*
- *O7 The proposed rear fence provides privacy and amenity to the subject site, without impacting on pedestrian safety.*

Part 2.18 Landscaping and Open Space

Control 12 of this part requires an area of 45sqm with no dimension being less than 3 metres to be retained as private open space (POS).

The architectural plans submitted identify two (2) areas of private open space – the primary area at the rear (23.5sqm) and the central courtyard (9sqm), totalling 32.5sqm. Both areas will contain pervious paving, with the rear of the site also containing 4.26sqm of deep soil

landscaping. It is noted that the area at the rear also supports an off-street car parking space. Given the above, the proposal results in a non-compliance with C12.

The non-compliance is considered acceptable in this instance, given the proposal provides sufficient pervious area, outdoor recreation space, and receives adequate solar access during June 21. As such, the proposal is considered to satisfy the following relevant objectives of this part as follows:

- *O1 The proposed landscaping within the private open space complements the building and is consistent with other development in the area;*
- *O3 The dwelling is provided with an adequate area of private open space for outdoor recreation;*
- *O4 The proposal includes sufficient pervious areas to facilitate rainwater infiltration;*
- *O7 The private open space acts as an extension of the living area and receives adequate sunlight.*

In addition, the private open space provides sufficient space for tree canopy planting and associated landscaping and the existing space accommodates a parking space.

Part 2.20 Tree Management

The proposal, as amended, does not seek any changes to existing tree canopy planting previously approved. As such, the conditions imposed on the original consent by Council's Urban Forest officer should be maintained.

Part 4.1 Low Density Residential

Part 4.1.6.2 Building setbacks

Front setbacks

Control C10(i) is repeated as follows:

C10 Attached dwellings, dwelling houses and semi-detached dwellings

a. Front setback must be:

- a. Consistent with the setback of adjoining development or the dominant setback found along the street; and*
- b. On corner lots where there is a consistent secondary boundary setback to buildings on opposite street corners, reflected in the design of any proposal.*

It is noted that the proposed roof form, amended in response to the design change conditions imposed in DA/2022/1075, positively responds to the character of the existing dwelling and surrounding character. Moreover, it is noted that there is a mixed front setback character found along Northwood Street.

The following is reproduced from the assessment report of DA/2022/1075:

In considering the proposed variation, it is noted that Northwood Street is characterised by several pairs of single storey semi-detached period dwellings, many of which accommodate a contemporary first floor addition whilst maintaining consistency with the pattern of development and the predominant character of the streetscape...

...the proposal seeks a front setback at the first floor which measures approximately 7.4m and 5.5m to the rear. As such, the proposed setbacks to the first floor addition do not integrate with the established setback character of the street which are generally around 9.1m to the front boundary and between 6-7.3m to the rear.

The proposal seeks a 6.35m front setback. While it is acknowledged that the front setback may be moderately consistent with other first floors along Northwood Street, as discussed elsewhere in this report, many of these approvals for alterations and additions to dwellings were sought prior to current planning controls, or are additions to existing warehouse type structures. Furthermore, the proposed setback is inconsistent with the controls within Part 4.1.11 of the MDCP 2011, as discussed elsewhere in this report.

Given the above, design change condition 2(a) is recommended to be retained.

Side setbacks

The lot width is less than 8m, and as such, the side setbacks are considered on merit, in accordance with the requirements within the MDCP 2011.

The application generally maintains existing side setbacks along the ground floor, with a nil side setback along the southern boundary, and a nil side setback proposed along the northern boundary, with 900mm and 1.5m setback articulation to accommodate a side passageway and internal courtyard along this elevation. Moreover, the application proposes a nil side setback along both elevations on the first floor, with Bed 02 and Bed 03 to be set 900mm from the northern boundary.

The proposed side setbacks are considered satisfactory, as the proposal has an acceptable impact on neighbouring properties with regard to visual and acoustic privacy, solar access and visual bulk.

Rear setbacks

The proposal seeks to maintain the existing ground floor rear setback. The proposed setback is considered acceptable as it will not create undue amenity impacts to the immediate neighbours, and provides adequate private open space, as discussed elsewhere in this report.

The application proposes to satisfy the design change condition imposed (Condition 2(b)); hence the proposed first floor rear setback is acceptable, as the addition is consistent with neighbouring developments and the established setback found along the street.

Part 4.1.6.3 Site coverage

As the lot size is less than 300sqm, the total site coverage is a merit assessment. The proposed site coverage is considered to be acceptable, as the proposal maintains adequate outdoor recreation space and areas for landscaping. In addition, the proposed site coverage is consistent with surrounding developments and the character of neighbouring dwellings.

Part 4.1.10 Residential period buildings

The following objectives and controls are relevant to this proposal:

O21 To retain or reinstate the front garden (and side garden where part of the front garden) of period buildings, including elements such as fences, gates, paths, carriageway, walls and plant beds.

- O22 To retain or reinstate the facade and main external body of the period building visible from the street, including proportions, materials, details and elements (such as front verandahs or barge boards), roof forms, materials, setbacks and number of storeys, chimneys and scale.
- C58 Demolition of existing significant period features at the front will not be permitted.
- C60 Alterations and additions at the rear and the sides and above the roof line, other than reconstruction of elements removed from the period building and garden, must be subordinate to the main body of the period building when viewed from the street
- C62 Additions and alterations to one of a pair of semi-detached dwellings must not compromise the symmetry, massing and/or proportions of the pair.
- C65 Alterations and additions to period housing must positively relate to the prevailing roof forms found in the locality and consider the design guidelines for the relevant period building. For existing housing, the materials used to cover the roof should complement the original cladding and terracotta tiles, and slate or corrugated iron should be used where appropriate.

The proposed front setback compromises the symmetry and massing of the pair of semi-detached dwellings, demolishes and does not retain significant period features at the front (chimney and roof form visible from the street). While it is acknowledged that the amended roof design relates better to the dwelling and streetscape to what was previously approved, it is considered that the overall bulk and scale of the proposed addition should be set further back to maintain the existing streetscape appearance by reducing the prominence of the first floor addition, particularly given the proposed ‘pop out’ seen from the eastern elevation (Figure 6). It is noted that while the street contains a number of large trees, the proposed development will be highly visible from the streetscape, as demonstrated below:



Figure 3: View facing no. 21 Northwood Street

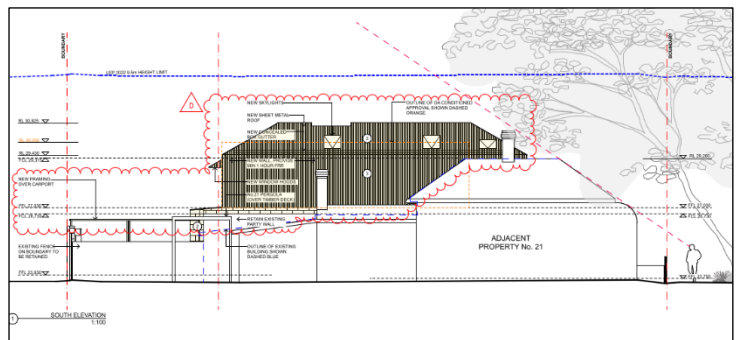


Figure 4: Elevation provided by applicant (facing no. 21 Northwood St)



Figure 5: View facing no. 17 Northwood Street

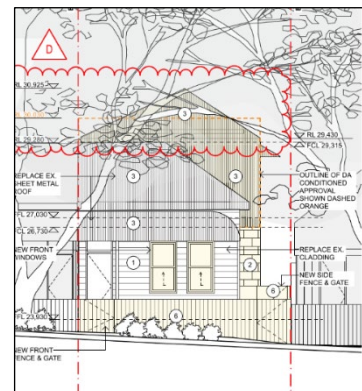


Figure 6: Front façade elevation submitted by applicant

It is also acknowledged that, while not demonstrated clearly on the architectural plans, the proposal seeks to remove and replace the existing roof and verandah and replace the existing cladding within the front façade of the site.

In considering the above, the following is noted from DA/2022/1075:

...it is noted that similar semi-detached period buildings along Northwood Street have undergone similar development and incursions to the main roof form forward of the original ridge. Therefore, the proposed incursion can be considered to the period building, however, to ensure that the first floor is subordinate to the main body of the period building and the aforementioned matters regarding building form and scale, a condition of consent is included with the recommendation to increase the front setback at the first floor to coincide with a reduction to the proposed incursion.

Furthermore, while it is acknowledged that the applicant seeks a design which meets the requirements of owners of the site, it is considered that there is scope within the constraints of the site for a more refined design of the ground and first floor which could accommodate the required front setback (9m), and a four-bedroom development that is being sought. This may require the deletion of the internal courtyard and study area. However given the limited timeframe of the review period, this has been unable to be explored as part of this review process.

Given the bulk and scale of the first floor addition, combined with the minimal front setback, the proposed development in this regard is still considered unacceptable with the proposal failing to ensure the first floor addition is subordinate to the original dwelling and further highlights the disparity in the symmetry in the pair of dwellings.

Given the above, it is considered that the design change condition 2a requiring the front setback to be 9m is retained.

Subject to maintaining the design change condition regarding the front setback, the proposal will satisfy the following objective and controls of this part:

- *O22 The proposal retains the main external body and significant features of the period, including roof forms, chimney and setbacks.*
- *C60 Alterations and additions at the rear and the sides and above the roof line, other than reconstruction of elements removed from the period building and garden, must be subordinate to the main body of the period building when viewed from the street*
- *C62 Additions and alterations to one of a pair of semi-detached dwellings must not compromise the symmetry, massing and/or proportions of the pair.*

Part 9 Strategic Context

The site is located within Precinct 4 – Newtown North and Camperdown. The proposal, as lodged and outlined above, is not considered to preserve the period building on the site. However, subject to the retention of the design change condition requiring a 9-metre front setback for the first floor imposed on the DA consent, the proposal can preserve the identified period dwelling on the site and will satisfy the desired future character of this precinct.

5(d) Other Matters

The security deposit, as detailed in Attachment A, is required to be amended to reflect the amount payable as per the current financial year. This amendment is administrative only and has been updated for clarity, as the amount payable is revised each financial year. The amount payable must be consistent with Council's Fees and Charges in force at the date of payment.

Condition 26a, as detailed in Attachment A, is a standard condition of consent that has been added to this consent to ensure all footings are wholly within the property boundaries.

5(e) The Likely Impacts

The assessment of the Development Application demonstrates that, subject to the recommended conditions, the proposal will have minimal impact in the locality.

5(f) The suitability of the site for the development

Provided that any adverse effects on adjoining properties are minimised, this site is considered suitable to accommodate the proposed development, and this has been demonstrated in the assessment of the application.

5(g) Any submissions

The application was notified in accordance with the Community Engagement Framework for a period of 14 days to surrounding properties.

Two (2) submissions in support of the application were received in response to the initial notification.

5(h) The Public Interest

The public interest is best served by the consistent application of the requirements of the relevant Environmental Planning Instruments, and by Council ensuring that any adverse effects on the surrounding area and the environment are appropriately managed.

Subject to compliance with the prescribed amendments to the first-floor setback, the proposal is not contrary to the public interest.

6 Referrals

6(a) Internal

The application was referred to the following internal sections/officers and issues raised in those referrals have been discussed in section 5 above.

- Urban Forest

7. Section 7.11 Contributions

While a 7.12 levy of **\$6,194.55** under the Marrickville Section 94/94A Contributions Plan 2014 was imposed under the approved DA, the Inner West Local Infrastructure Contributions Plan 2023 (IWLICP 2023) commenced on 20 February 2023. Section 3.2 of the (IWLICP 2023) contains the following Commencement and transitional arrangements:

This plan commenced on 20 February 2023. It applies to development applications or applications for a complying development certificate made on or after the date this plan commenced.

*It does not apply to development applications or applications for a complying development certificate submitted before the date this plan commenced. Instead, such applications will be determined against the relevant contribution plan that applied at the date of lodgement **until 30 June 2023**, after that time this Plan prevails.*

All applications to modify a consent under section 4.55 of the EP&A Act will be determined against the same contribution plan that was applied to the original consent until 30 June 2023, after that time this Plan prevails.

The DA was determined, subject to the review, was determined on 15 May 2023 and, hence, the Marrickville Section 94/94A Contributions Plan 2014 applied. Given that the subject 8.2 application will be determined after 30 June 2023, the Inner West Local Infrastructure Contributions Plan 2023 would apply.

The carrying out of the development would result in an increased demand for public amenities and public services within the area. A contribution of **\$12,371.00** would be required for the development under the Inner West Local Infrastructure Contributions Plan 2023. A revised condition requiring that contribution to be paid is included in the recommendation.

8. Conclusion

The proposal generally complies with the aims, objectives and design parameters contained in *Inner West Local Environmental Plan 2022* and Marrickville Development Control Plan 2011.

The development, subject to conditions, will not result in any significant impacts on the amenity of the adjoining premises/properties and the streetscape and is considered to be in the public interest.

The application is considered suitable for approval subject to the imposition of appropriate conditions.

9. Recommendation

That the Inner West Local Planning Panel exercising the functions of the Council as the consent authority, pursuant to s8.2 of the *Environmental Planning and Assessment Act 1979*, grant consent to Application No. REV/2023/0018 to review consent conditions of Determination DA/2022/1075 dated 15 May 2023 for ground and first floor alterations and additions to a dwelling house at 19 Northwood Street, Camperdown and a new Determination be issued with conditions 1, 2, 3, and 4 of the original Determination being amended and condition 26a added in the following manner:

Attachment A – Recommended amendments to conditions of consent

A. Modify the following Conditions to read as follows:

1. Documents related to the consent

The development must be carried out in accordance with plans and documents listed below:

| Plan, Revision and Issue No. | Plan Name | Date Issued | Prepared by |
|------------------------------|----------------------------------|-----------------------|--------------------------------------|
| DA1.01 B | Site & Roof Plan | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| <i>DA1.01 D</i> | | <i>12.10.2023</i> | |
| DA1.03 B | Plans - Proposed Ground Floor | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| <i>DA1.03 D</i> | | <i>12.10.2023</i> | |
| DA1.04 B | Plans - Proposed First Floor | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| <i>DA1.04 D</i> | | <i>12.10.2023</i> | |
| DA1.05 B | Landscape Plan | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| <i>DA1.05 D</i> | | <i>12.10.2023</i> | |
| DA2.01 B | Elevations - Sheet 1 | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| <i>DA2.01 D</i> | | <i>12.10.2023</i> | |
| DA2.02 B | Elevations - Sheet 2 | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| <i>DA2.02 D</i> | | <i>12.10.2023</i> | |
| DA2.03 B | Elevations - Sheet 3 | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| <i>DA2.03 D</i> | | <i>12.10.2023</i> | |
| DA2.04 B | Sections | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| <i>DA2.04 D</i> | | <i>12.10.2023</i> | |
| DA3.01 A | External Finishes Schedule | 29.11.2022 | Goodwin Scarfone Belgiorno Nettis |
| <i>DA3.01 D</i> | | <i>12.10.2023</i> | |
| A470474 | BASIX Certificate | 20.09.2022 | GSBN Studio |
| <i>A470474_03</i> | | <i>25.08.2023</i> | |

| | | | |
|------------|----------------------|------------|----------------|
| Not stated | Structural Statement | 12.10.2023 | SDA Structures |
|------------|----------------------|------------|----------------|

(Amended – REV/2023/0018 – 14/11/2023)

2. Design Change

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans demonstrating the following:

- a. A front setback of minimum 9m from the front boundary be provided to the first floor.
- ~~b. A rear setback of minimum 7m from the rear boundary be provided to the first floor.~~
- ~~c. Reduction in the maximum height of the development by 200mm, to a maximum RL of 30.030~~
- ~~d. Replacement of the front elevation windows on the ground floor must be to timber framed windows.~~
- e. *The existing carport is to be retained.*

(Amended – REV/2023/0018 – 14/11/2023)

3. Security Deposit – Custom

Prior to the commencement of demolition works or prior to the issue of a Construction Certificate, the Certifying Authority must be provided with written evidence that a security deposit and inspection fee has been paid to Council to cover the cost of making good any damage caused to any Council property or the physical environment as a consequence of carrying out the works and as surety for the proper completion of any road, footpath and drainage works required by this consent.

| | |
|--------------------------|--|
| Security Deposit: | \$5,600.00 \$5,992.00 |
| Inspection Fee: | \$350.00 \$374.50 |

Payment will be accepted in the form of cash, bank cheque, EFTPOS/credit card (to a maximum of \$10,000) or bank guarantee. Bank Guarantees must not have an expiry date.

The inspection fee is required for the Council to determine the condition of the adjacent road reserve and footpath prior to and on completion of the works being carried out.

Should any of Council’s property and/or the physical environment sustain damage during the course of the demolition or construction works, or if the works put Council’s assets or the environment at risk, or if any road, footpath or drainage works required by this consent are not completed satisfactorily, Council may carry out any works necessary to repair the damage, remove the risk or complete the works. Council may utilise part or all of the security deposit to restore any damages, and Council may recover, in any court of competent jurisdiction, any costs to Council for such restorations.

A request for release of the security may be made to the Council after all construction work has been completed and a final Occupation Certificate issued.

The amount nominated is only current for the financial year in which the initial consent was issued and is revised each financial year. The amount payable must be consistent with Council's Fees and Charges in force at the date of payment.

(Amended – REV/2023/0018 – 14/11/2023)

~~4. Section 7.12 (formerly section 94A) Development Contribution Payments~~

~~Prior to the issue of a Construction Certificate, written evidence must be provided to the Certifying Authority that a monetary contribution to the Inner West Council has been paid, towards the provision of infrastructure, required to address increased demand for local services generated by additional development within the Local Government Area (LGA). This condition is imposed in accordance with Section 7.12 of the Environmental Planning and Assessment Act 1979 and in accordance with Marrickville Section 94/94A Contributions Plan 2014.~~

~~Note: Copies of these contribution plans can be inspected at any of the Inner West Council Service Centres or viewed online at <https://www.innerwest.nsw.gov.au/develop/planning-controls/section-94-contributions>~~

Payment amount*:

\$6,194.55

*Indexing of the Section 7.12 contribution payment:

~~The contribution amount to be paid to the Council is to be adjusted at the time of the actual payment in accordance with the provisions of the relevant contributions plan. In this regard, you are recommended to make contact with Inner West Council *prior to arranging your payment method* to confirm the correct current payment amount (at the expected time of payment).~~

Payment methods:

~~The required contribution must be paid either by *BPAY (to a maximum of \$500,000); unendorsed bank cheque (from an Australian Bank only); EFTPOS (Debit only); credit card (Note: A 1% credit card transaction fee applies to all credit card transactions); cash (to a maximum of \$10,000)*. It should be noted that personal cheques or bank guarantees cannot be accepted for the payment of these contributions. Prior to payment contact Council's Planning Team to review charges to current indexed quarter, please allow a minimum of 2 business days for the invoice to be issued before payment can be accepted.~~

4. Section 7.11 Contribution

In accordance with section 7.11 of the Environmental Planning and Assessment Act 1979 and the Inner West Local Infrastructure Contribution Plan 2023 (the Plan), the following monetary contributions shall be paid to Council to cater for the increased demand for local infrastructure resulting from the development:

| Contribution Category | Amount |
|------------------------------------|--------------------|
| Open Space & Recreation | \$8,845.00 |
| Community Facilities | \$1,639.00 |
| Transport | \$1,163.00 |
| Plan Administration | \$114.00 |
| Drainage | \$610.00 |
| TOTAL | \$12,371.00 |

At the time of payment, the contributions payable will be adjusted for inflation in accordance with indexation provisions in the Plan in the following manner:

$$C_{\text{payment}} = C_{\text{consent}} \times (CPI_{\text{payment}} \div CPI_{\text{consent}})$$

Where:

C_{payment} = is the contribution at time of payment

C_{consent} = is the contribution at the time of consent, as shown above

CPI_{consent} = is the Consumer Price Index (All Groups Index) for Sydney at the date the contribution amount above was calculated being [insert CPI value] for the [insert latest quarter and year].

CPI_{payment} = is the Consumer Price Index (All Groups Index) for Sydney published by the Australian Bureau of Statistics that applies at the time of payment

Note: The contribution payable will not be less than the contribution specified in this condition.

The monetary contributions must be paid to Council (i) if the development is for subdivision – prior to the issue of the subdivision certificate, or (ii) if the development is for building work – prior to the issue of the first construction certificate, or (iii) if the development involves both subdivision and building work – prior to issue of the subdivision certificate or first construction certificate, whichever occurs first, or (iv) if the development does not require a construction certificate or subdivision certificate – prior to the works commencing.

It is the professional responsibility of the principal certifying authority to ensure that the monetary contributions have been paid to Council in accordance with the above timeframes.

Council's Plan may be viewed at www.innerwest.nsw.gov.au or during normal business hours at any of Council's customer service centres.

Please contact any of Council's customer service centres at council@innerwest.nsw.gov.au or 9392 5000 to request an invoice confirming the indexed contribution amount payable. Please allow a minimum of 2 business days for the invoice to be issued.

Once the invoice is obtained, payment may be made via (i) BPAY (preferred), (ii) credit card / debit card (AMEX, Mastercard and Visa only; log on to www.innerwest.nsw.gov.au/invoice; please note that a fee of 0.75 per cent applies to credit cards), (iii) in person (at any of Council's customer service centres), or (iv) by mail (make cheque payable to 'Inner West Council' with a copy of your remittance to PO Box 14 Petersham NSW 2049).

The invoice will be valid for 3 months. If the contribution is not paid by this time, please contact Council's customer service centres to obtain an updated invoice. The

contribution amount will be adjusted to reflect the latest value of the Consumer Price Index (All Groups Index) for Sydney.

(Amended – REV/2023/0018 – 14/11/2023)

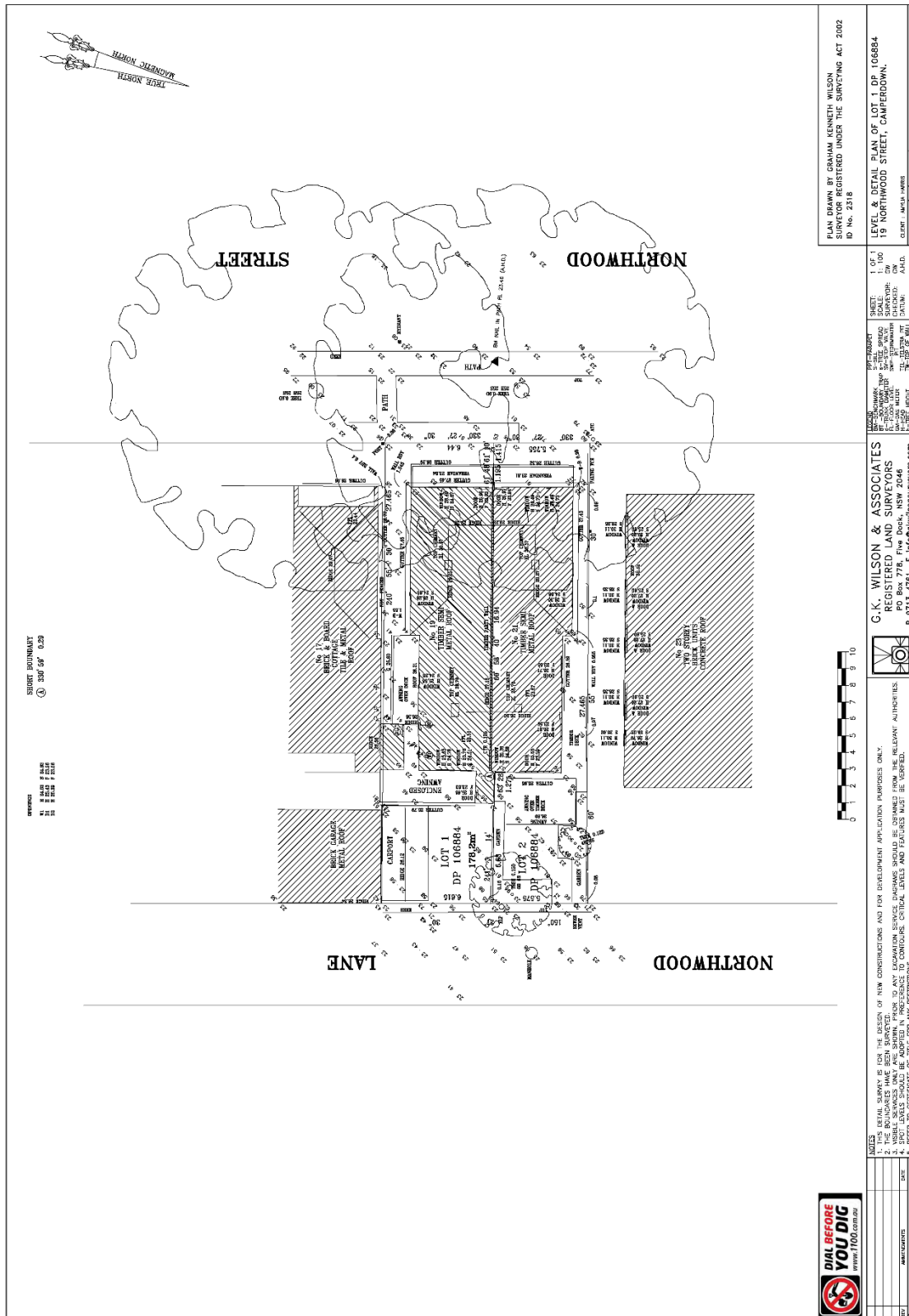
B. Add the following Condition to read as follows:

26a. Survey Prior to Footings

Upon excavation of the footings and before the pouring of the concrete, the Certifying Authority must be provided with a certificate of survey from a registered land surveyor to verify that the structure will not encroach over the allotment boundaries.

(Added – REV/2023/0018 – 14/11/2023)

Attachment B – Plans of proposed development



DRAWING REGISTER:

| DWG NO. | DWG NAME | SCALE |
|---------|--|-------|
| DA01 | COVER SHEET | N/A |
| DA101 | SITE & ROOF PLAN | 1:100 |
| DA102 | PLANS - EXISTING | 1:100 |
| DA103 | PLANS - PROPOSED GROUND/FLOOR | 1:100 |
| DA104 | PLANS - PROPOSED FIRST FLOOR | 1:100 |
| DA105 | LANDSCAPE PLAN | 1:100 |
| DA106 | GEACALCULATION PLAN | 1:100 |
| DA201 | ELEVATIONS - SHEET 1 | 1:100 |
| DA202 | ELEVATIONS - SHEET 2 | 1:100 |
| DA203 | ELEVATIONS - SHEET 3 | 1:100 |
| DA204 | SECTIONS | 1:100 |
| DA205 | STREETSCAPE ELEVATION | 1:200 |
| DA301 | EXTERNAL FINISHES SCHEDULE | 1:100 |
| DA302 | SITE ANALYSIS PLAN | N/A |
| DA303 | STORMWATER CONCEPT PLAN | 1:100 |
| DA415 | SHADOW DIAGRAMS - JUNE 21 - 9AM | N/A |
| DA416 | SHADOW DIAGRAMS - JUNE 21 - 10AM | N/A |
| DA417 | SHADOW DIAGRAMS - JUNE 21 - 11AM | N/A |
| DA418 | SHADOW DIAGRAMS - JUNE 21 - 12PM | N/A |
| DA419 | SHADOW DIAGRAMS - JUNE 21 - 1PM | N/A |
| DA420 | SHADOW DIAGRAMS - JUNE 21 - 2PM | N/A |
| DA421 | SHADOW DIAGRAMS - JUNE 21 - 3PM | N/A |
| DA422 | SHADOW DIAGRAMS - MAR 21 / SEP 23 - 9AM | N/A |
| DA423 | SHADOW DIAGRAMS - MAR 21 / SEP 23 - 10AM | N/A |
| DA424 | SHADOW DIAGRAMS - MAR 21 / SEP 23 - 11AM | N/A |
| DA425 | SHADOW DIAGRAMS - MAR 21 / SEP 23 - 12PM | N/A |
| DA426 | SHADOW DIAGRAMS - MAR 21 / SEP 23 - 1PM | N/A |
| DA427 | SHADOW DIAGRAMS - MAR 21 / SEP 23 - 2PM | N/A |
| DA428 | SHADOW DIAGRAMS - MAR 21 / SEP 23 - 3PM | N/A |
| DA501 | NOTIFICATION PLAN | 1:200 |
| DA601 | STREETSCAPE PERSPECTIVE | N/A |
| DA602 | STREETSCAPE PERSPECTIVE | N/A |
| DA603 | REAR LANE PERSPECTIVE | N/A |
| DA604 | REAR LANE PERSPECTIVE | N/A |

LOCATION PLAN:



DA COMPLIANCE TABLE:

| ITEM | EXISTING | PROPOSED | STANDARD | COMPLIANT |
|---------------------------------|---------------------|----------------------|--------------------------|-----------|
| SITE AREA | 175.2m ² | 87.03m ² | 82.34m ² | - |
| GROSS FLOOR AREA (GROUND FLOOR) | - | 65.03m ² | - | - |
| GROSS FLOOR AREA (FIRST FLOOR) | - | 147.07m ² | 178.2m ² | YES |
| TOTAL GROSS FLOOR AREA | 0.4911 | 0.8311 | 1.1 | YES |
| PRIVATE OPEN SPACE (TOTAL) | 23.28m ² | 50.25m ² | 45m ² | YES |
| PRIVATE OPEN SPACE (PERVIOUS) | 0m ² | 50.25m ² | 22.5m ² (60%) | YES |
| SITE COVERAGE | 73.5% | 56.6% | - | - |

LEGEND:

- EXISTING WALLS
- NEW WALLS
- EXISTING TO BE DEMOLISHED
- EXISTING RELATIVE LEVEL
- NEW RELATIVE LEVEL
- NEW WORK
- OUTLINE OF DA CONDITIONED APPROVAL - CA 20221075

NOTES:

- GENERAL**
- ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH ALL RELEVANT AND CURRENT:
 - PROVISIONS OF BUILDING CODE OF AUSTRALIA;
 - RELEVANT STANDARDS ISSUED BY STANDARDS AUSTRALIA;
 - AND ALL OTHER RELEVANT AUTHORITY REQUIREMENTS
- REFER TO BASIX NOTES ON DA0.01 FOR ALL BASIX COMMITMENTS

BASIX NOTES:

- FIXTURES AND SYSTEMS:**
- HOT WATER: THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT, AND INSTANTANEOUS CONSTRUCTION:
 - CONSTRUCTION: THE APPLICANT MUST CONTRIBUTE TO THE NEW OR ALTERED (COLORS, WALLS AND CEILING) FINISH ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW EXCEPT THAT IF ADDITIONAL INSULATION IS NOT REQUIRED WHERE THE AREA OF THE ROOF CONSTRUCTION IS LESS THAN 10m², INSULATION IS REQUIRED TO BE INSTALLED TO THE ROOF CONSTRUCTION WHERE INSULATION IS REQUIRED.
 - CONCRETE SLAB OR SKIRTING: ALL INSULATION REQUIRED
 - FLOOR ABOVE EXISTING OR BELOW OF BUILDING: ALL INSULATION REQUIRED
 - EXTERNAL WALL COLOURS (EXTERIOR): INSULATION REQUIRED: F1 IS (OR F1 TO INCLUDING CONSTRUCTION)
 - EXTERNAL WALL FRAME (ALUMINIUM, IRON, METALCLAD): INSULATION REQUIRED: F1 IS (OR F1 TO INCLUDING CONSTRUCTION)
- WINDOWS AND GLAZED DOORS:**
- THE APPLICANT MUST INSTALL THE FOLLOWING WINDOWS, GLAZED DOORS AND SKIRTING DEVICES IN ACCORDANCE WITH THE SPECIFICATIONS LIST IN THE TABLE BELOW INCLUDING CONTRIBUTING TO THE SPECIFICATIONS LISTED IN THE TABLE BELOW:
- FOR PROJECTIONS EXCEEDED IN MILLIMETRES, THE LEADING EDGE OF EACH FRAME (VERTICAL, HORIZONTAL, BALCONY OR WINDOW) MUST BE NO MORE THAN 20mm ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR AND NO MORE THAN 20mm ABOVE THE SILL.
- OVERSHADING BUILDING OR VEGETATION MUST BE OF THE HEIGHT (SPACE FROM THE CENTRE AND THE BASE OF THE WINDOW AND GLAZED DOOR) AS SPECIFIED IN THE OVERSHADING COLUMN IN THE TABLE BELOW.
- M01 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M02 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M03 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M04 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M05 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M06 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M07 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M08 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M09 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M10 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M11 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M12 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M13 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M14 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M15 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M16 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M17 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M18 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M19 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M20 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M21 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M22 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M23 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M24 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M25 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M26 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M27 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M28 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M29 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M30 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M31 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M32 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M33 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M34 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M35 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M36 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M37 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M38 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M39 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M40 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M41 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M42 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M43 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M44 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M45 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M46 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M47 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M48 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M49 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M50 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M51 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M52 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M53 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M54 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M55 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M56 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M57 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M58 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M59 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M60 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M61 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M62 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M63 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M64 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M65 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M66 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M67 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M68 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M69 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M70 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M71 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M72 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M73 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M74 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M75 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M76 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M77 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M78 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M79 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M80 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M81 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M82 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M83 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M84 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M85 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M86 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M87 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M88 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M89 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M90 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M91 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M92 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M93 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M94 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M95 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M96 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M97 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M98 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M99 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)
 - M100 SHIRING: WINDOW (FIXED) -> WINDOW FRAME & GLASS TYPE: STANDARD ALUMINIUM SINGLE CLEAR, (OR U VALUE: 7.0; SHGC: 0.79)

SKYLIGHTS:

- INSTALL THE SKYLIGHTS IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW:
- S1 SHIRING: EXTERNAL JUST OVER HANGING WINDOW OR BLIND - ALUMINIUM MOLDED PLASTIC SINGLE CLEAR, (OR U VALUE: 2.1; SHGC: 0.80)
 - S2 SHIRING: EXTERNAL JUST OVER HANGING WINDOW OR BLIND - ALUMINIUM MOLDED PLASTIC SINGLE CLEAR, (OR U VALUE: 2.1; SHGC: 0.80)
 - S3 SHIRING: EXTERNAL JUST OVER HANGING WINDOW OR BLIND - ALUMINIUM MOLDED PLASTIC SINGLE CLEAR, (OR U VALUE: 2.1; SHGC: 0.80)
 - S4 SHIRING: EXTERNAL JUST OVER HANGING WINDOW OR BLIND - ALUMINIUM MOLDED PLASTIC SINGLE CLEAR, (OR U VALUE: 2.1; SHGC: 0.80)
 - S5 SHIRING: EXTERNAL JUST OVER HANGING WINDOW OR BLIND - ALUMINIUM MOLDED PLASTIC SINGLE CLEAR, (OR U VALUE: 2.1; SHGC: 0.80)

GOODWIN SCARFONE BELGORNIO NETTIS

41 Douglas Street,
Camperdown NSW 1585
0818 628 697 62
www.goodwin.nettis.com.au
nettis@goodwin.nettis.com.au

Nettis Architects Pty Ltd
11/233

COMPLIANCE NOTES:

| ISSUE DATE | AMENDMENTS |
|------------|--|
| A | 02/22 ISSUE FOR DA |
| B | 02/22 ISSUE FOR DA |
| C | 26/23 SECTION 42 |
| D | 02/23 SECTION 42 - RE-SUBMIT TO COUNCIL FOR LP |

PROJECT: DOMPEDRO STOKES

PROJECT NO.: 2114

ADDRESS: 19 NORTHWOOD STREET, CAMPERDOWN 2050

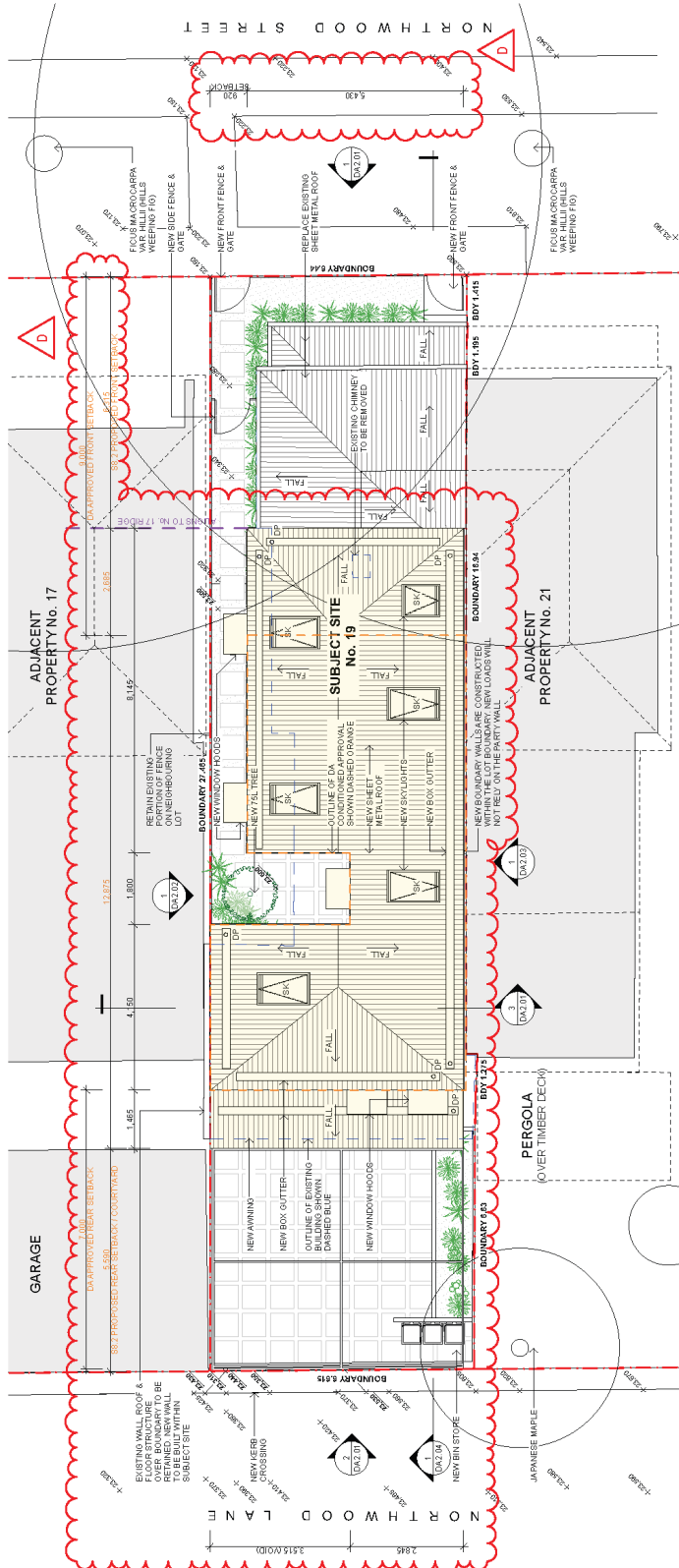
SHEET TITLE: COVER SHEET

SHEET: DA0.01

SCALE: N/A

DATE: 12.10.2023

ISSUE: D



LEGEND:

- EXISTING WALLS
- NEW WALLS
- EXISTING TO BE DEMOLISHED
- EXISTING RELATIVE LEVEL
- NEW RELATIVE LEVEL
- NEW WORK
- OUTLINE OF DA CONDITIONED APPROVAL DA2227075

NOTES:

GENERAL

- ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKSMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2011 OF AUSTRALIA.
- PROVISIONS OF BUILDING CODE OF AUSTRALIA.
- AUSTRALIAN STANDARDS ISSUED BY "STANDARDS AUSTRALIA".
- AND ALL OTHER RELEVANT AUTHORITY REQUIREMENTS
- REFER TO BASK NOTES ON DA3 OF FOR ALL BASK COMMITMENTS

| | | | | | |
|---------|--------|-----------|----------------|-------|--|
| DRAWN | RS | SCALE | 1:100 @ A3 | NORTH | |
| CHECKED | HG | DATE | 12.10.2023 | | |
| SHEET | DA1.01 | SCALE BAR | 0m 1m 2m 3m 4m | | |

| | | | |
|------------------|-------------|-----------------|--------------------------------------|
| SHEET TITLE | PROJECT NO. | PROJECT | ADDRESS |
| SITE & ROOF PLAN | 214 | DOMPEDRO STOKES | 19 NORTHWOOD STREET, CAMPERDOWN 2060 |

| | | |
|-------|----------|--|
| ISSUE | DATE | AMENDMENTS |
| A | 02.12.22 | ISSUE FOR DA |
| B | 25.08.23 | REVISION FOR COUNCIL SECTION 52 |
| C | 25.08.23 | SECTION 52 - RE-USE TO COUNCIL FOR LPP |
| D | 15.10.23 | COUNCIL FOR LPP |

COMMIT NOTES

1. THE DEVELOPER MUST OBTAIN ALL NECESSARY APPROVALS FROM THE LOCAL COUNCIL AND STATE GOVERNMENT AGENCIES BEFORE COMMENCING WORK.

2. THE DEVELOPER MUST OBTAIN ALL NECESSARY APPROVALS FROM THE LOCAL COUNCIL AND STATE GOVERNMENT AGENCIES BEFORE COMMENCING WORK.

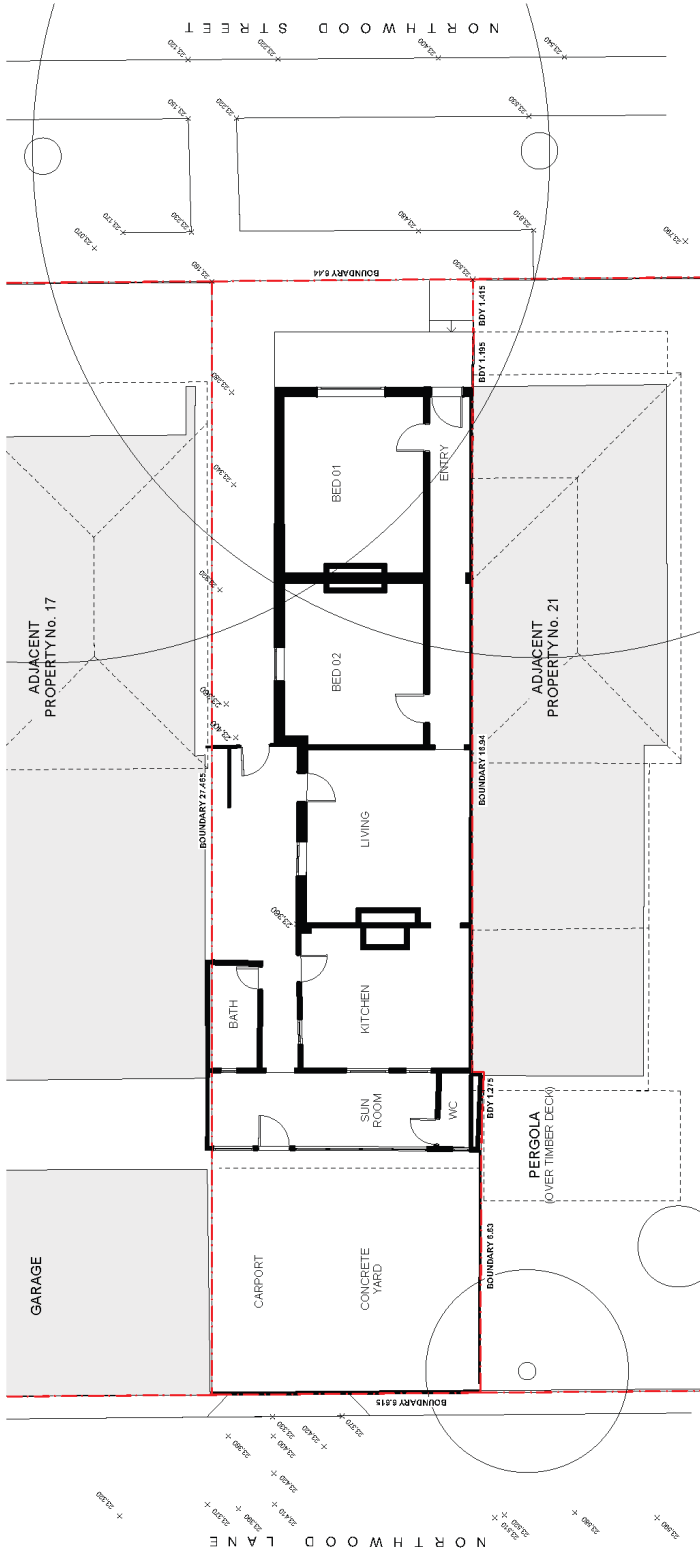
3. THE DEVELOPER MUST OBTAIN ALL NECESSARY APPROVALS FROM THE LOCAL COUNCIL AND STATE GOVERNMENT AGENCIES BEFORE COMMENCING WORK.

44 Douglas Street
Camperdown NSW 2050
p 02 9550 6200
www.goodwin-scalfone-belgiorno-nettis.com.au
info@goodwin-scalfone-belgiorno-nettis.com.au

Goodwin
SCARFONE
BELGIORNO
NETTIS

Non-Arch: Harry Coleman 11333

Document Set ID: 39205387
Version 2, Version Date: 17/10/2023



NOTES:

GENERAL

- ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKSMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2015.
- PROVISIONS OF BUILDING CODE OF AUSTRALIA, "AUSTRALIAN STANDARDS ISSUED BY STANDARDS AUSTRALIA".
- AND ALL OTHER RELEVANT AUTHORITY REQUIREMENTS.
- REFER TO BARR NOTES ON DA01 FOR ALL BARR COMMITMENTS.

- LEGEND:**
- EXISTING WALLS
 - NEW WALLS
 - EXISTING TO BE DEMOLISHED
 - EXISTING RELATIVE LEVEL
 - NEW RELATIVE LEVEL
 - NEW WORK
 - OUTLINE OF DA CONDITIONED APPROVAL DA/2022/075

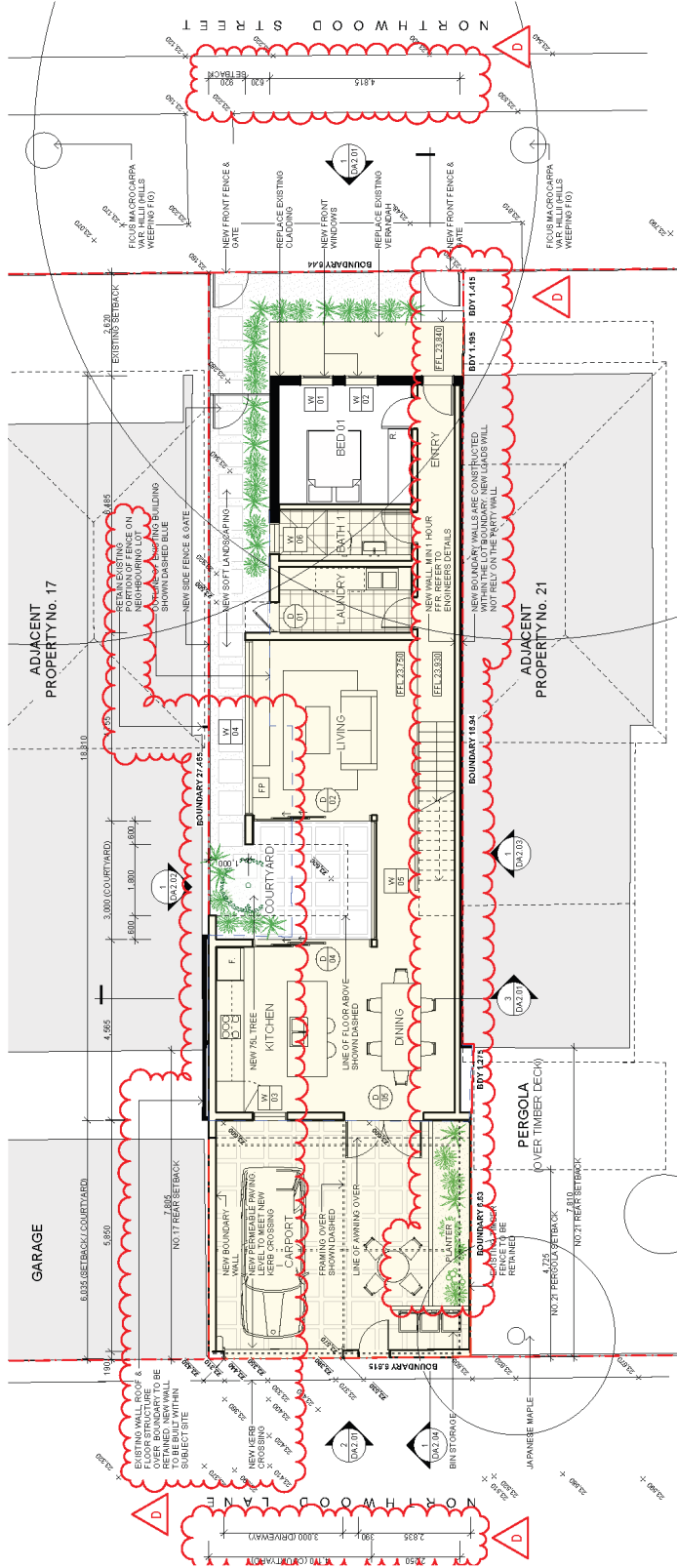
DRAWN: RS
 CHECKED: HG
 SCALE: 1:100 @ A3
 DATE: 13.10.2023
 SCALE BAR: 0m 1m 2m 3m 4m
 NORTH

SHEET TITLE: PLANS - EXISTING
 PROJECT NO: 2114
 PROJECT: DOMPEDRO STOKES
 ADDRESS: 19 NORTHWOOD STREET, CAMPERDOWN 2060
 SHEET: DA1.02
 ISSUE: D

SHEET NO: 2114
 PROJECT: DOMPEDRO STOKES
 ADDRESS: 19 NORTHWOOD STREET, CAMPERDOWN 2060
 SHEET: DA1.02
 ISSUE: D

COMMIT NOTES
 A 02.12.22 ISSUE FOR DA
 B 25.08.23 SECTION 92 - RESUB TO COUNCIL FOR LPP
 C 25.08.23 SECTION 92 - RESUB TO COUNCIL FOR LPP
 D 15.10.23 COUNCIL FOR LPP

GOODWIN SCARFONE BELGIORNO NETTIS
 44 Douglas Street
 Camperdown NSW 2050
 p 0813 341 666
 www.gjnet.com.au
 Email: nettis@gjnet.com.au
 Non-Arch: Harry | October 11/2023



LEGEND:

- EXISTING WALLS
- NEW WALLS
- EXISTING TO BE DEMOLISHED
- EXISTING RELATIVE LEVEL
- NEW RELATIVE LEVEL
- NEW WORK
- OUTLINE OF DA CONDITIONED APPROVAL: DA2227075

NOTES:

GENERAL

- ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKSMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.
- PROVISIONS OF BUILDING CODE OF AUSTRALIA, AUSTRALIA.
- AND ALL OTHER RELEVANT AUTHORITY REQUIREMENTS
- REFER TO BASIX NOTES ON DA1.01 FOR ALL BASIX COMMITMENTS

| | | |
|-----------|----------------|-------|
| DRIVEN | SCALE | NORTH |
| RS | 1:100 @ A3 | |
| CHECKED | DATE | |
| HG | 12.10.2023 | |
| SCALE BAR | 0m 1m 2m 3m 4m | |

| | |
|-------------------------------|--------------------------------------|
| SHEET TITLE | PROJECT NO. |
| PLANS - PROPOSED GROUND FLOOR | 2114 |
| SHEET | ADDRESS |
| DA1.03 | 19 NORTHWOOD STREET, CAMPERDOWN 2060 |
| ISSUE | |
| D | |

| | |
|------------|--|
| ISSUE DATE | AMENDMENTS |
| 02.12.22 | ISSUE FOR DA |
| 25.08.23 | SECTION 42 - COUNCIL |
| 15.10.23 | SECTION 42 - RE-ISSUE TO COUNCIL FOR LPP |

COMPLIANCE NOTES

1. THE PROPOSED WORKS SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIA.

2. THE PROPOSED WORKS SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENT'S DEVELOPMENT CONTROL PLAN (DCP).

3. THE PROPOSED WORKS SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENT'S DEVELOPMENT CONTROL PLAN (DCP).

4. THE PROPOSED WORKS SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENT'S DEVELOPMENT CONTROL PLAN (DCP).

5. THE PROPOSED WORKS SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENT'S DEVELOPMENT CONTROL PLAN (DCP).

6. THE PROPOSED WORKS SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENT'S DEVELOPMENT CONTROL PLAN (DCP).

7. THE PROPOSED WORKS SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENT'S DEVELOPMENT CONTROL PLAN (DCP).

8. THE PROPOSED WORKS SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENT'S DEVELOPMENT CONTROL PLAN (DCP).

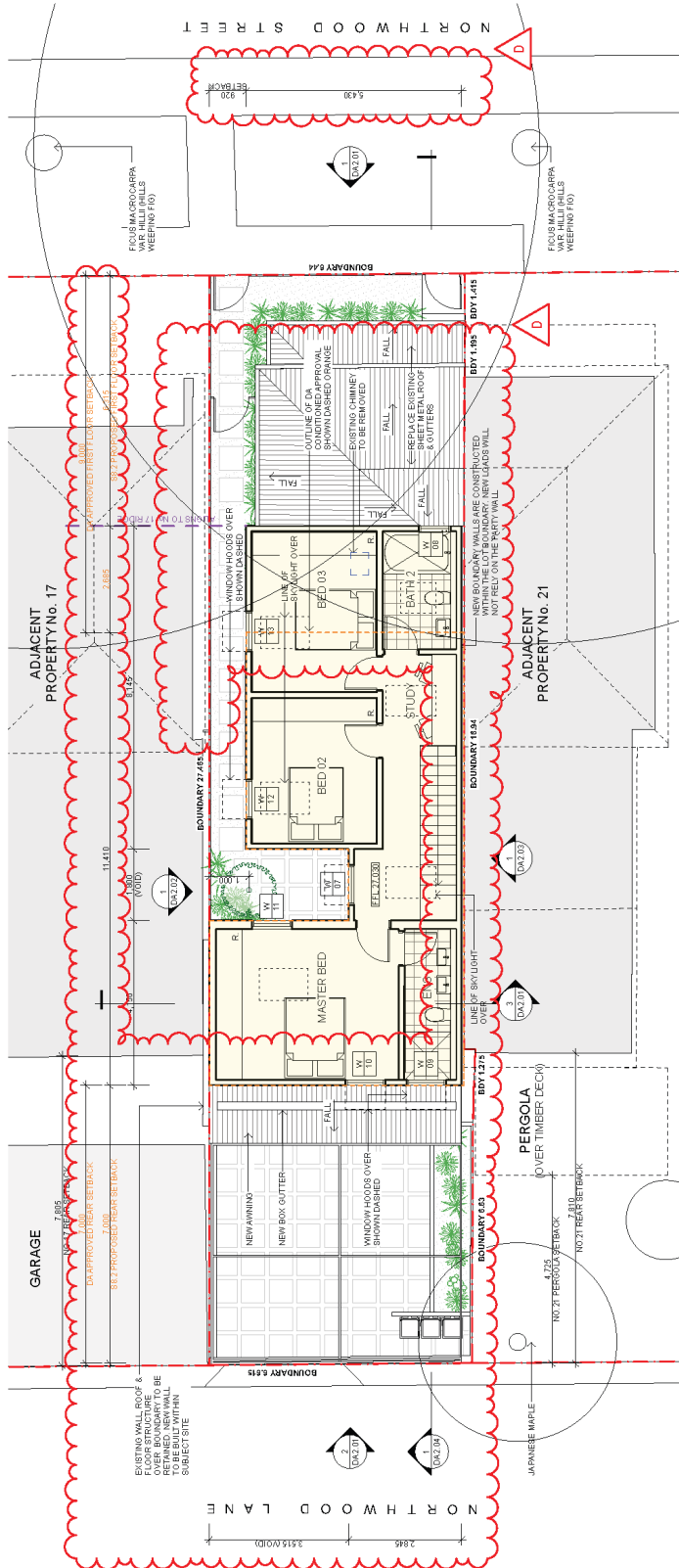
9. THE PROPOSED WORKS SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENT'S DEVELOPMENT CONTROL PLAN (DCP).

10. THE PROPOSED WORKS SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENT'S DEVELOPMENT CONTROL PLAN (DCP).

44 Douglas Street
Camperdown NSW 1510
p 02 9550 2200
www.goodwin.com.au
info@goodwin.com.au

Goodwin
SCARFONE
BELGIORNO
NETTIS

Non-Arch: Harry Coleman 11333



LEGEND:

- EXISTING WALLS
- NEW WALLS
- EXISTING TO BE DEMOLISHED
- EXISTING RELATIVE LEVEL
- NEW RELATIVE LEVEL
- NEW WORK
- OUTLINE OF DA CONDITIONED APPROVAL - DA20221015

NOTES:

GENERAL

- ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS 2011 AND THE PROVISIONS OF BUILDING CODE OF AUSTRALIA.
- AUSTRALIAN STANDARDS ISSUED BY "STANDARDS AUSTRALIA".
- AND ALL OTHER RELEVANT AUTHORITY REQUIREMENTS
- REFER TO BAKIX NOTES ON DA101 FOR ALL BAKIX COMMITMENTS

| | | |
|-----------|------------|-------|
| DRIVEN | SCALE | NORTH |
| RS | 1:100 @ A3 | |
| CHECKED | DATE | |
| HG | 12.10.2023 | |
| SCALE BAR | | |
| 0m | 1m | 2m |
| | 3m | 4m |

| | | |
|------------------------------|--------------------------------------|-------|
| SHEET TITLE | PROJECT NO. | ISSUE |
| PLANS - PROPOSED FIRST FLOOR | 2114 | D |
| SHEET | ADDRESS | |
| DA1.04 | 19 NORTHWOOD STREET, CAMPERDOWN 2060 | |

| | | |
|-------|----------|--|
| ISSUE | DATE | AMENDMENTS |
| A | 02.12.22 | ISSUE FOR DA |
| B | 25.08.23 | FOR COUNCIL APPROVAL |
| C | 25.08.23 | SECTION 42 - COUNCIL |
| D | 15.10.23 | SECTION 42 - RE-USE TO COUNCIL FOR LPP |

COMMITMENT NOTES

1. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE RELEVANT AUTHORITIES.

2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE RELEVANT AUTHORITIES.

3. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE RELEVANT AUTHORITIES.

4. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE RELEVANT AUTHORITIES.

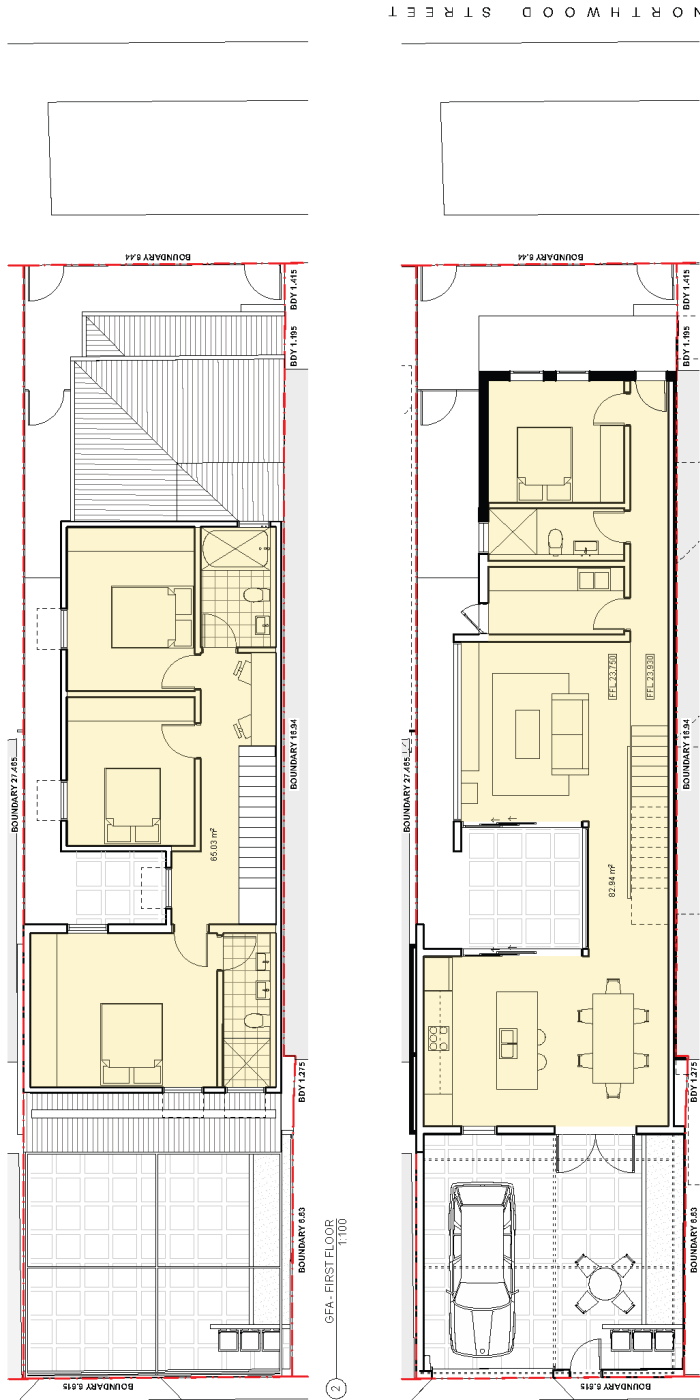
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE RELEVANT AUTHORITIES.

44 Douglas Street
 Camperdown NSW 2060
 A 02 9550 2200
 P 02 9550 2201
 www.goodwin.com.au
 info@goodwin.com.au

Non-Arch: Harry / October 11/2023

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Document Set ID: 39205387
 Version 2, Version Date: 11/10/2023



NORTHWOOD STREET

NORTHWOOD LANE

DA COMPLIANCE TABLE:

| ITEM | EXISTING | PROPOSED | STANDARD | COMPLIANT |
|---------------------------------|---------------------|----------------------|--------------------------|-----------|
| SITE AREA | 178.2m ² | - | - | - |
| GROSS FLOOR AREA (GROUND FLOOR) | 87.03m ² | 82.94m ² | - | - |
| GROSS FLOOR AREA (FIRST FLOOR) | - | 85.03m ² | - | - |
| TOTAL GROSS FLOOR AREA | 87.03m ² | 147.97m ² | 178.2m ² | YES |
| FSR | 0.49:1 | 0.83:1 | 1:1 | YES |
| PRIVATE OPEN SPACE (TOTAL) | 23.26m ² | 50.25m ² | 45m ² | YES |
| PRIVATE OPEN SPACE (PERVIOUS) | 0m ² | 50.25m ² | 22.5m ² (50%) | YES |
| SITE COVERAGE | 73.5% | 56.6% | - | - |

LEGEND:



GOODWIN SCARFONE BELGIORNO NETTIS
 44 Douglas Street,
 Camperdown NSW 1585
 p. 0813 341 658
 www.gwbnet.com.au
 info@gwbnet.com.au

Non-Arch: Harry Coleman 11333

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 2. The architect is not responsible for the accuracy of any information provided by the client.
 3. The architect is not responsible for the accuracy of any information provided by the client.
 4. The architect is not responsible for the accuracy of any information provided by the client.

ISSUE DATE AMENDMENTS
 A 02.12.22 ISSUE FOR DA
 B 25.08.23 SECTION 92 - COUNCIL
 C 25.08.23 SECTION 92 - COUNCIL
 D 15.10.23 SECTION 92 - RE-SUB TO COUNCIL FOR LPP

PROJECT
 PROJECT NO. 2114
 PROJECT NAME: DOMPEDRO STOKES
 ADDRESS: 19 NORTHWOOD STREET, CAMPERDOWN 2060

SHEET
 SHEET NO. DA1.06
 SHEET NAME: GFA CALCULATION PLAN

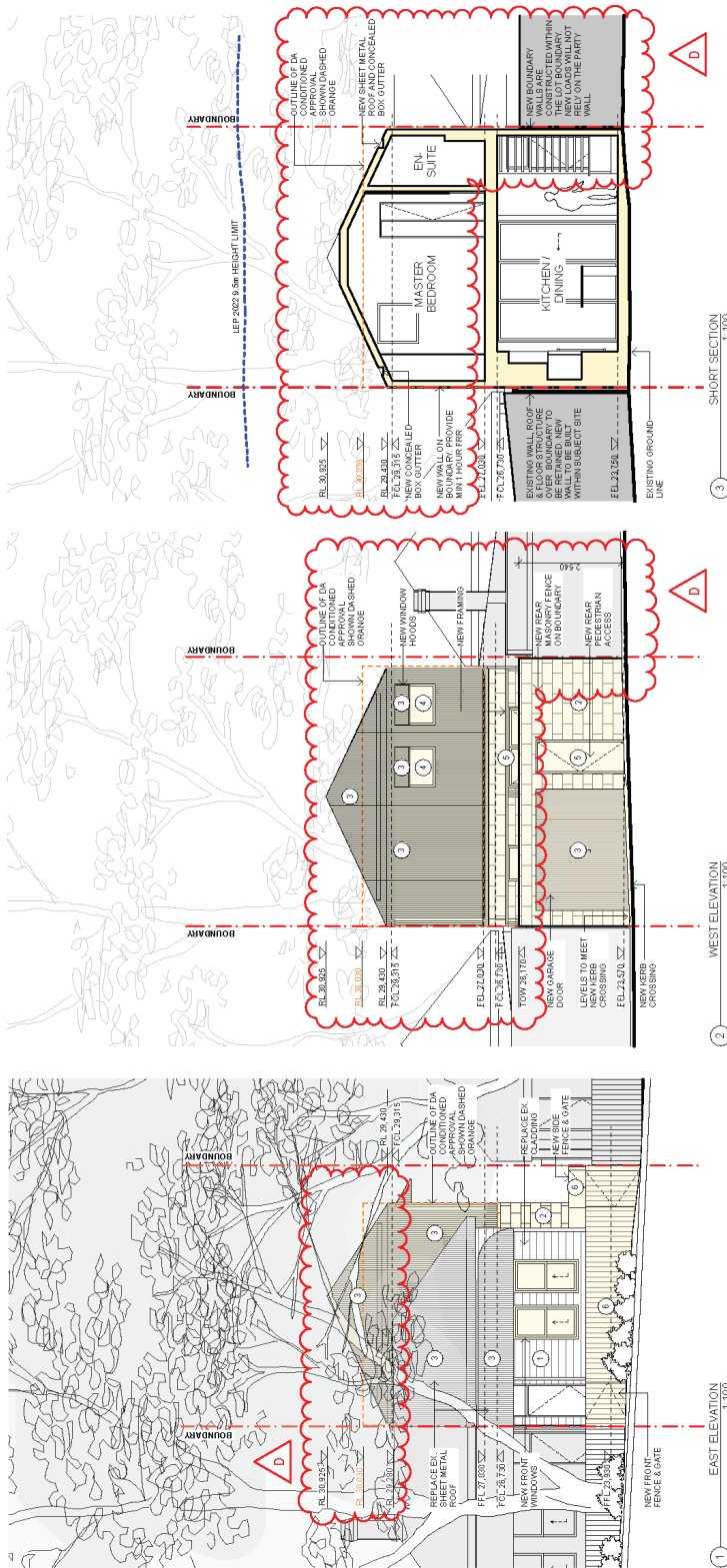
SCALE
 SCALE: 1:100 @ A3
 SCALE BAR: 0m 1m 2m 3m 4m

DATE
 DATE: 12.10.2023

ISSUE
 ISSUE NO. D

DRIVEN
 DRAWN: RS
 CHECKED: HG

NORTH



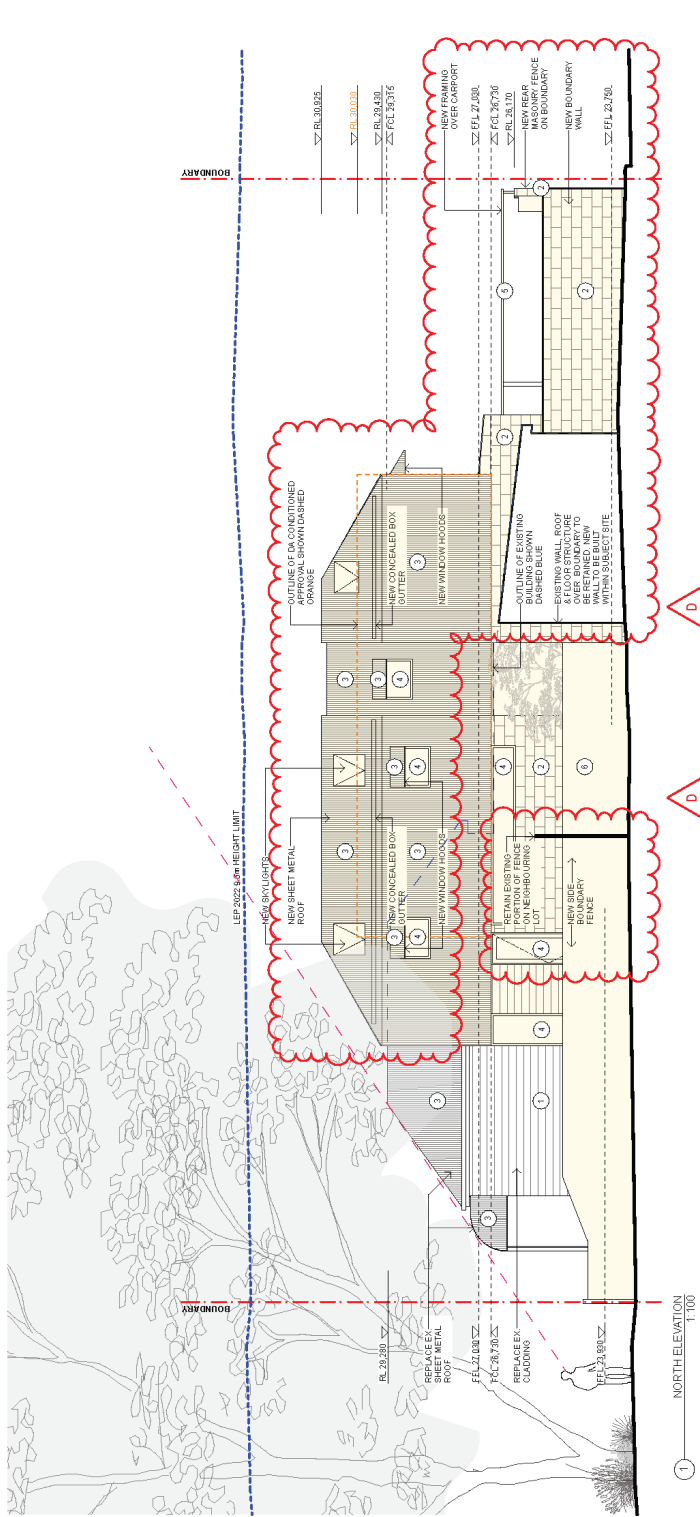
EXTERIOR FINISHES:

- 1 WEATHERBOARDS PAINT FINISH
- 2 CONCRETE BLOCK
- 3 SHEET METAL
- 4 ALUMINIUM DOORS & WINDOWS
- 5 STEEL PAINT FINISH
- 6 TIMBER FENCE - PAINT FINISH

NOTES:

- GENERAL**
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| <p>44 Douglas Street, Camperdown NSW 1510 p 0811 341 658 www.jfscardinals.com.au james@jfs-cardinals.com.au</p> <p>Non-Arch: Harry / October 11/23</p> | | <p>PROJECT NO. 2114</p> <p>PROJECT DOMPEDRO STOKES</p> <p>ADDRESS 19 NORTHWOOD STREET, CAMPERDOWN 2060</p> | <p>SCALE 1:100 @ A3</p> <p>DATE 12.10.2023</p> <p>SCALE BAR 0m 1m 2m 3m 4m</p> |
| <p>ISSUE DATE</p> <p>ISSUE FOR DA</p> <p>SECTION 42</p> <p>SECTION 42 - RESUBMIT TO COUNCIL FOR LPP</p> | <p>PROJECT</p> <p>DOMPEDRO STOKES</p> <p>ADDRESS</p> <p>19 NORTHWOOD STREET, CAMPERDOWN 2060</p> | <p>ISSUE DATE</p> <p>ISSUE FOR DA</p> <p>SECTION 42</p> <p>SECTION 42 - RESUBMIT TO COUNCIL FOR LPP</p> | <p>SCALE 1:100 @ A3</p> <p>DATE 12.10.2023</p> <p>SCALE BAR 0m 1m 2m 3m 4m</p> |
| <p>DRYING NOTES</p> <p>1. ALL WORKS TO BE COMPLETED WITHIN THE DRYING PERIOD.</p> <p>2. ALL WORKS TO BE COMPLETED WITHIN THE DRYING PERIOD.</p> <p>3. ALL WORKS TO BE COMPLETED WITHIN THE DRYING PERIOD.</p> <p>4. ALL WORKS TO BE COMPLETED WITHIN THE DRYING PERIOD.</p> <p>5. ALL WORKS TO BE COMPLETED WITHIN THE DRYING PERIOD.</p> <p>6. ALL WORKS TO BE COMPLETED WITHIN THE DRYING PERIOD.</p> | <p>PROJECT NO. 2114</p> <p>PROJECT DOMPEDRO STOKES</p> <p>ADDRESS</p> <p>19 NORTHWOOD STREET, CAMPERDOWN 2060</p> | <p>ISSUE DATE</p> <p>ISSUE FOR DA</p> <p>SECTION 42</p> <p>SECTION 42 - RESUBMIT TO COUNCIL FOR LPP</p> | <p>SCALE 1:100 @ A3</p> <p>DATE 12.10.2023</p> <p>SCALE BAR 0m 1m 2m 3m 4m</p> |



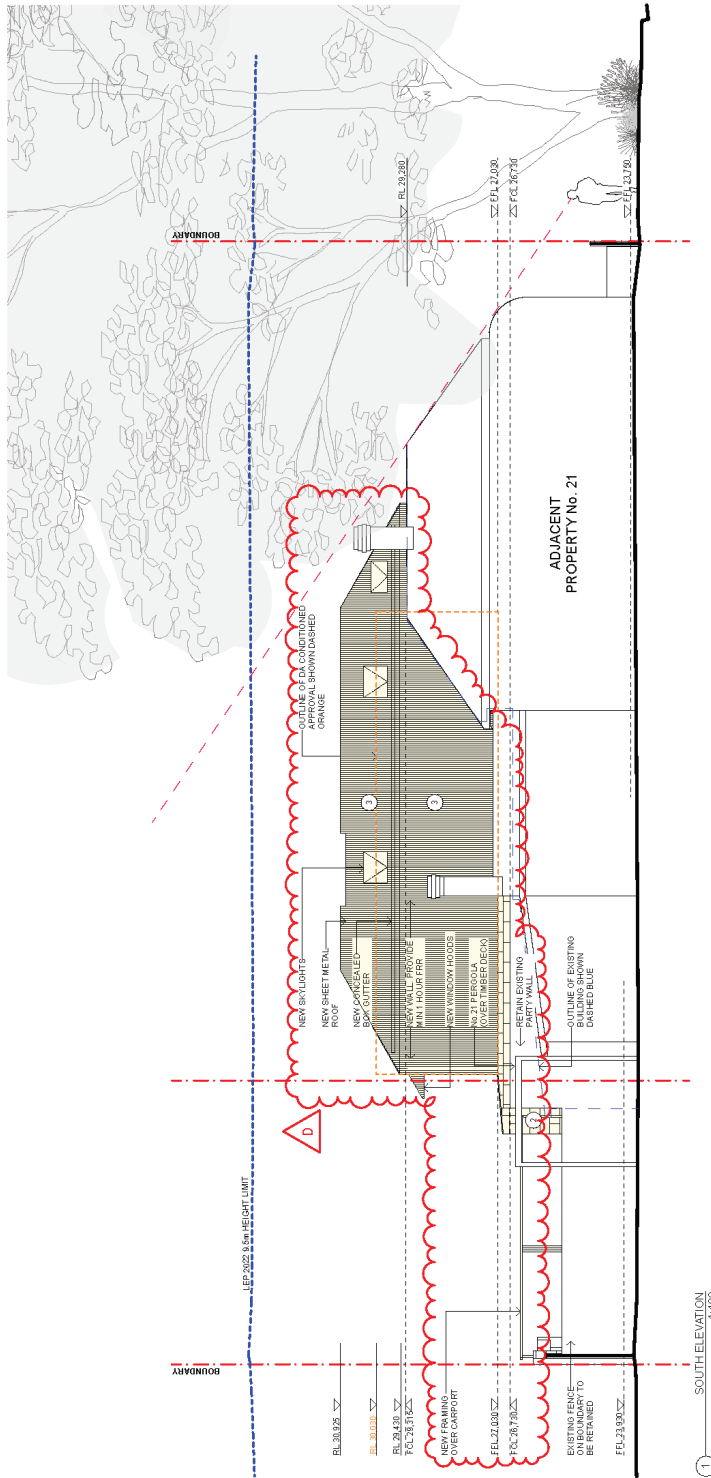
NOTES:

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EXTERIOR FINISHES:

- 1 WEATHERBOARDS PAINT FINISH
- 2 CONCRETE BLOCK
- 3 SHEET METAL
- 4 ALUMINIUM DOORS & WINDOWS
- 5 STEEL PAINT FINISH
- 6 TIMBER FENCE PAINT FINISH

| | | | | | |
|---|---|--|--------------------------|--|---|
| <p>44 Douglas Street Camperdown NSW 1510 Ph: 0811 341 658 www.gjnetlands.com.au gjnet@netlands.com.au</p> <p>Goodwin Scarfone Belgioro Nettis</p> | <p>ISSUE DATE: 02.12.22 ISSUE FOR: DA PREPARED BY: SECTION 42 - COUNCIL CHECKED BY: SECTION 42 - RE-USE TO COUNCIL FOR LUP</p> | <p>PROJECT: DOMPEDRO STOKES ADDRESS: 19 NORTHWOOD STREET, CAMPERDOWN 2060</p> | <p>PROJECT NO.: 2114</p> | <p>SHEET FILE: ELEVATIONS - SHEET 2 SHEET: DAZ.02</p> | <p>SCALE: 1:100 @ A3 DATE: 12.10.2023 SCALE BAR: 0m 1m 2m 3m 4m</p> |
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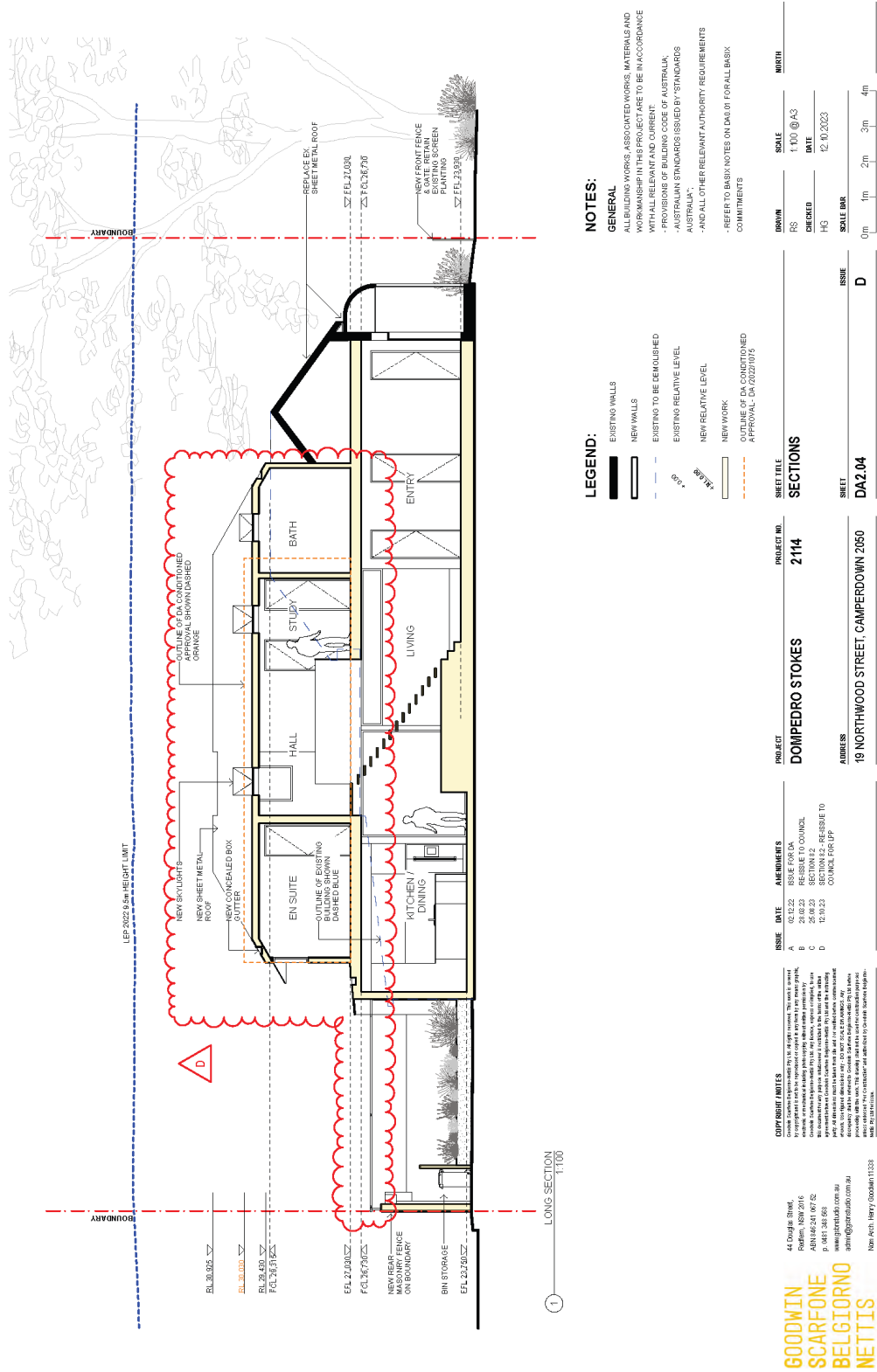
EXTERIOR FINISHES:

- 1 WEATHERBOARDS PAINT FINISH
- 2 CONCRETE BLOCK
- 3 SHEET METAL
- 4 ALUMINIUM DOORS & WINDOWS
- 5 STEEL PAINT FINISH
- 6 TIMBER FENCE PAINT FINISH

NOTES:

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| | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--|---|--|--|--|--|--|---|--|--|--|--|--|---------------------------------------|--|---------------------------------------|--|---|--|--------------------------------------|--|--|--|--------------------------------|--|--|--|
| <p>44 Douglas Street Camperdown NSW 1510 02 9550 2200 p 0811 341 658 www.jginteriors.com.au ajm@jginteriors.com.au</p> <p>Non-Arch: Harry Coleman 11333</p> | | <p>GOODWIN SCARFONE BELGIORNO NETTIS</p> | | <p>COMMIT NOTES</p> <p>A 02.12.22 ISSUE FOR DA COUNCIL</p> <p>B 05.02.23 SECTION 52 - RE-USE TO COUNCIL FOR LPP</p> <p>C 25.02.23 SECTION 52 - RE-USE TO COUNCIL FOR LPP</p> <p>D 15.10.23 SECTION 52 - RE-USE TO COUNCIL FOR LPP</p> | | <p>ISSUE DATE APPROVERS</p> <p>02.12.22 ISSUE FOR DA COUNCIL</p> <p>05.02.23 SECTION 52 - RE-USE TO COUNCIL FOR LPP</p> <p>15.10.23 SECTION 52 - RE-USE TO COUNCIL FOR LPP</p> | | <p>PROJECT</p> <p>DOMPEDRO STOKES</p> | | <p>PROJECT NO.</p> <p>2114</p> | | <p>SHEET TITLE</p> <p>ELEVATIONS - SHEET 3</p> | | <p>SCALE</p> <p>1:100 @ A3</p> | | <p>DATE</p> <p>12.10.2023</p> | | <p>SCALE BAR</p> <p>0m 1m 2m 3m 4m</p> | | | | | | | | | |
| <p>ADDRESS</p> <p>19 NORTHWOOD STREET, CAMPERDOWN 2060</p> | | | | <p>SHEET</p> <p>DAZ.03</p> | | | | <p>ISSUE</p> <p>D</p> | | | | <p>DRIVEN</p> <p>RS</p> | | | | <p>SCALE</p> <p>1:100 @ A3</p> | | | | <p>DATE</p> <p>12.10.2023</p> | | | | <p>DRIVEN</p> <p>RS</p> | | | |



GOODWIN SCARFONE BELGIORNO NETTIS

44 Douglas Street,
Camperdown NSW 1510
A 02 9550 2244
P 02 9550 2245
www.gbn.nett.com.au
arn@gbn.nett.com.au

Non-Arch: Harry Coleman 11333

Document Set ID: 38205387
Version 2, Version Date: 11/10/2023



1 STREETScape ELEVATION
1:200

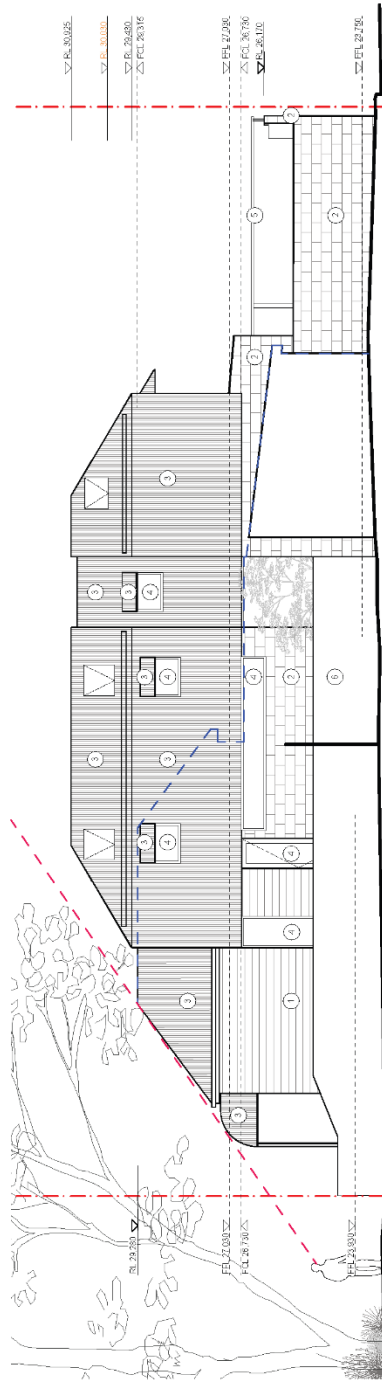
NOTES:

GENERAL

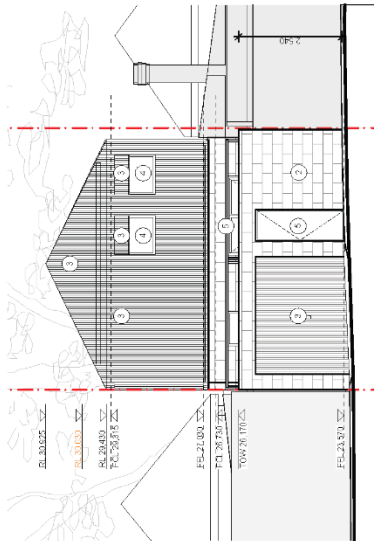
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- AND ALL OTHER RELEVANT AUTHORITY REQUIREMENTS
- REFER TO BASIX NOTES ON DAZ.01 FOR ALL BASIX COMMITMENTS

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|--|--|-------------------------------------|--|--|--|------------------------------------|--|---|--|
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| <p>DATE 24.12.22</p> | | <p>ISSUE FOR DA</p> | | <p>PROJECT DOMPEDRO STOKES</p> | | <p>PROJECT NO. 2114</p> | | <p>SHEET TITLE STREETScape ELEVATION</p> | |
| <p>ISSUE A 24.12.22</p> | | <p>AMENDMENTS</p> | | <p>ADDRESS 19 NORTHWOOD STREET, CAMPERDOWN 2060</p> | | <p>ISSUE D</p> | | <p>DATE 12.10.2023</p> | |
| <p>ISSUE B 25.08.23</p> | | <p>AMENDMENTS</p> | | <p>SECTION 42 - RE-USE TO COUNCIL FOR LUP</p> | | <p>SECTION DAZ.05</p> | | <p>DATE 12.10.2023</p> | |
| <p>ISSUE C 25.08.23</p> | | <p>AMENDMENTS</p> | | <p>SECTION 42 - RE-USE TO COUNCIL FOR LUP</p> | | <p>SECTION DAZ.05</p> | | <p>DATE 12.10.2023</p> | |
| <p>ISSUE D 15.10.23</p> | | <p>AMENDMENTS</p> | | <p>SECTION 42 - RE-USE TO COUNCIL FOR LUP</p> | | <p>SECTION DAZ.05</p> | | <p>DATE 12.10.2023</p> | |

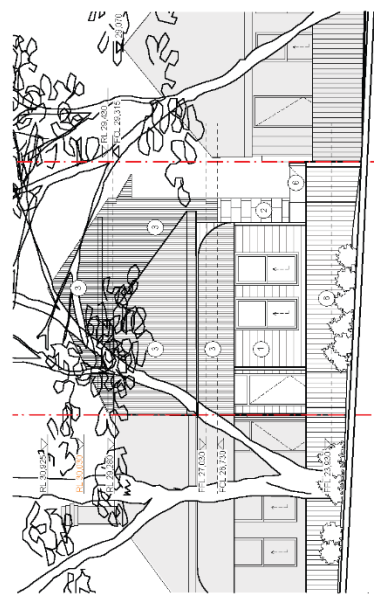
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1 NORTH ELEVATION
1:100



3 WEST ELEVATION
1:100



2 EAST ELEVATION
1:100

| | | |
|--------------------------|---|-----------------------------|
| WEATHERBOARDS | 1 | PAINT FINISH - WHITE |
| CONCRETE BLOCK | 2 | LIGHT GREY / WHITE |
| SHEET METAL | 3 | PAINT FINISH - POLYURETHANE |
| ALUMINUM WINDOWS & DOORS | 4 | LIGHT GREY |
| STEEL PAINT FINISH | 5 | PAINT FINISH |
| TIMBER FENCE | 6 | PAINT FINISH |

**GOODWIN
SCARFONE
BELGIORNO
NETTIS**

46 Dowling Street,
Sydney NSW 1585
t 02 9550 2100
p 02 9550 2100
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info@gbn.net.au

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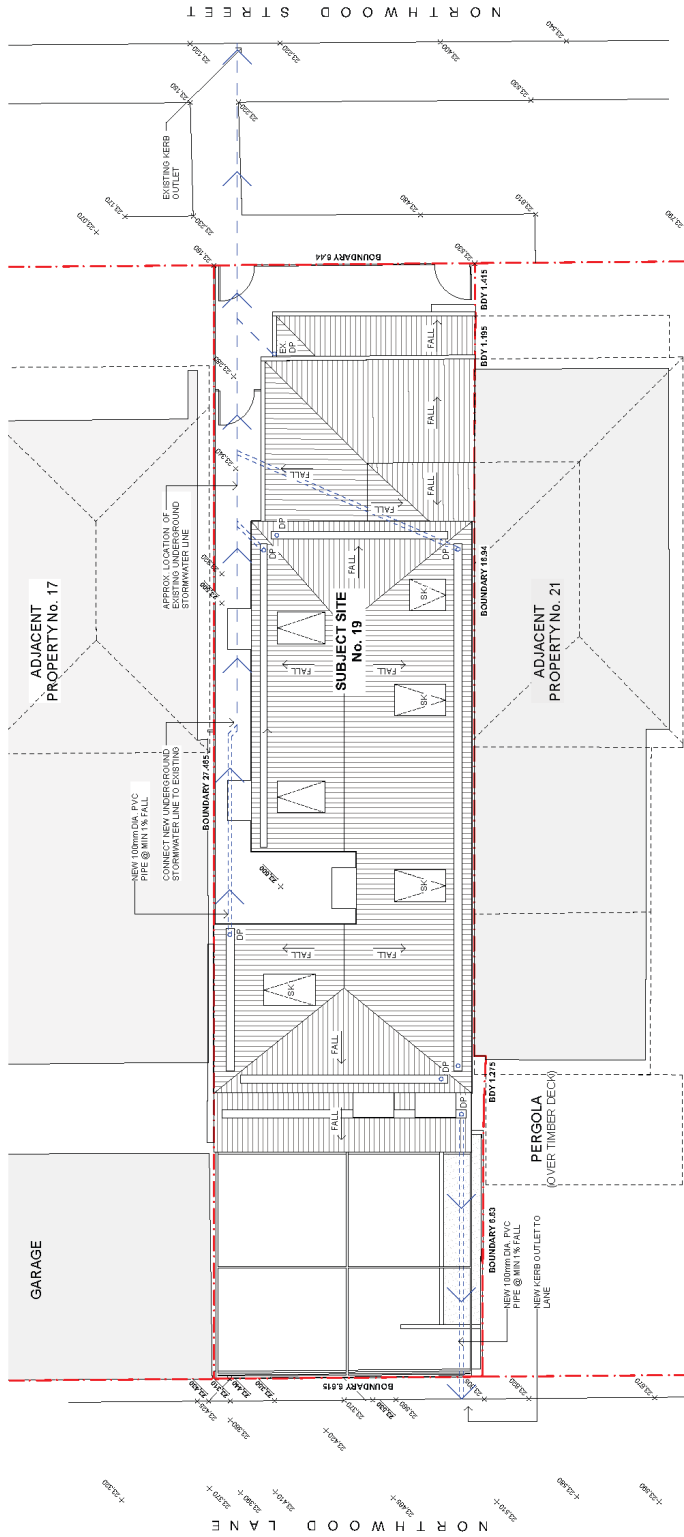
102/22
C 25/02/23
D 12/10/23

PROJECT
DOMPEDRO STOKES
19 NORTHWOOD STREET, CAMPERDOWN 2050

PROJECT NO.
2114

SHEET TITLE
EXTERNAL FINISHES SCHEDULE

DRAWN RS
CHECKED HG
SCALE 1:100 @ A3
DATE 12.10.2023
ISSUE D
SCALE BAR DA3.01



LEGEND:

- - - - - EXISTING UNDERGROUND STORMWATER PIPE
- - - - - NEW UNDERGROUND STORMWATER PIPE
- - - - - APPROX. LOCATION OF EXISTING UNDERGROUND STORMWATER LINE
- - - - - NEW UNDERGROUND STORMWATER PIPE
- ↔ DIRECTION OF FLOW

NOTES:

GENERAL

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- PROVISIONS OF BUILDING CODE OF AUSTRALIA.
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- AND ALL OTHER RELEVANT AUTHORITY REQUIREMENTS.

- REFER TO BASKY NOTES ON DA3.01 FOR ALL BASKY COMMITMENTS

| | | | | | |
|------------------|----|--------------|----------------|--------------|--|
| DRAWN | RS | SCALE | 1:100 @ A3 | NORTH | |
| CHECKED | HG | DATE | 12.10.2023 | | |
| SCALE BAR | | | 0m 1m 2m 3m 4m | | |

| | | | |
|--------------------|--------------------------------------|--------------|---|
| SHEET TITLE | STORMWATER CONCEPT PLAN | | |
| PROJECT NO. | 214 | | |
| PROJECT | DOMPEDRO STOKES | | |
| ADDRESS | 19 NORTHWOOD STREET, CAMPERDOWN 2060 | | |
| SHEET | DA3.03 | ISSUE | D |

| | |
|-------------------|---|
| ISSUE DATE | AMENDMENTS |
| A 02.12.22 | ISSUE FOR DA |
| B 25.08.23 | SECTION 52 - COUNCIL |
| C 15.10.23 | SECTION 52 - RESUBSE TO COUNCIL FOR LPP |
| D 15.10.23 | COUNCIL FOR LPP |

COMMITMENT NOTES

1. The applicant is responsible for ensuring that the information provided in this application is true and correct. The applicant is responsible for ensuring that the information provided in this application is true and correct. The applicant is responsible for ensuring that the information provided in this application is true and correct.

2. The applicant is responsible for ensuring that the information provided in this application is true and correct. The applicant is responsible for ensuring that the information provided in this application is true and correct. The applicant is responsible for ensuring that the information provided in this application is true and correct.

3. The applicant is responsible for ensuring that the information provided in this application is true and correct. The applicant is responsible for ensuring that the information provided in this application is true and correct. The applicant is responsible for ensuring that the information provided in this application is true and correct.

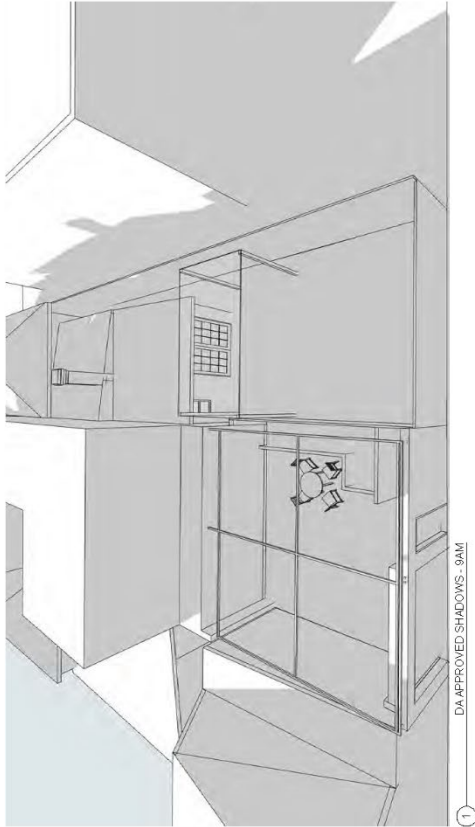
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Non-Fich: Henry / October 11/23

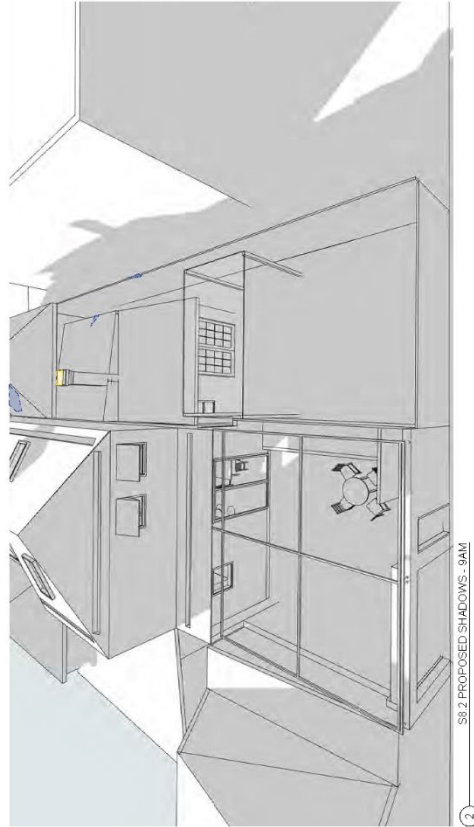
Document Set ID: 39205387
Version 2, Version Date: 11/10/2023

DA APPROVED SHADOWS (MASSING)
VIEW FROM ADJACENT PROPERTY NO. 21



S8.2 PROPOSED SHADOWS
VIEW FROM ADJACENT PROPERTY NO. 21

- REDUCED SHADOW
- ADDITIONAL SHADOW



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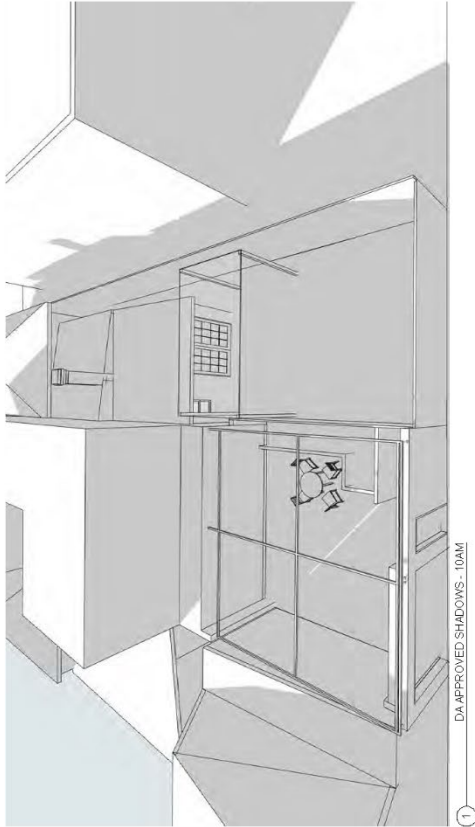
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| | | | | | |
|------------------------------|--------------------------------|---|---------------------------------------|--------------|-------------|
| ISSUE DATE | MEMBERS | PROJECT | SHEET TITLE | SCALE | DATE |
| A - 26.02.23 B - 12.10.23 | SECTION 52 COUNCIL FOR L.P. | DOMPEDRO STOKES | SHADOW DIAGRAMS: JUNE 21 - 9AM | N/A | 12.10.2023 |
| | | 2114 | | | |
| | | 19 NORTHWOOD STREET, CAMPERDOWN 2050 | DA4.15 | | |
| | | | | | |

DA APPROVED SHADOWS (MASSING)
VIEW FROM ADJACENT PROPERTY NO. 21

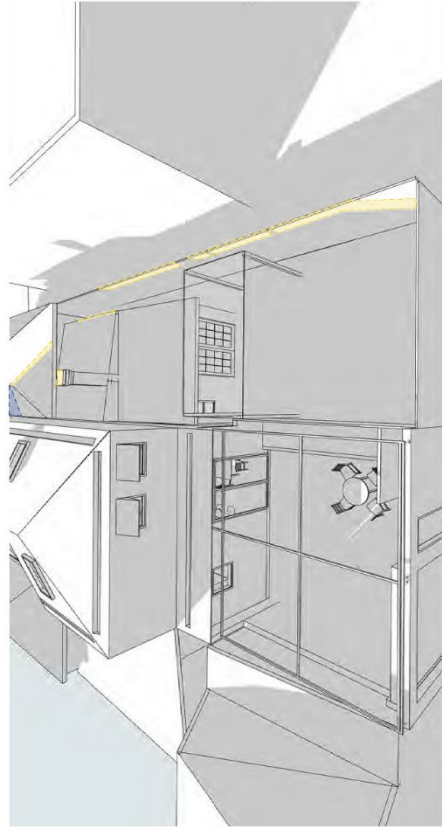


DA APPROVED SHADOWS - 10AM

1

S8.2 PROPOSED SHADOWS
VIEW FROM ADJACENT PROPERTY NO. 21

- REDUCED SHADOW
- ADDITIONAL SHADOW



S8.2 PROPOSED SHADOWS - 10AM

2

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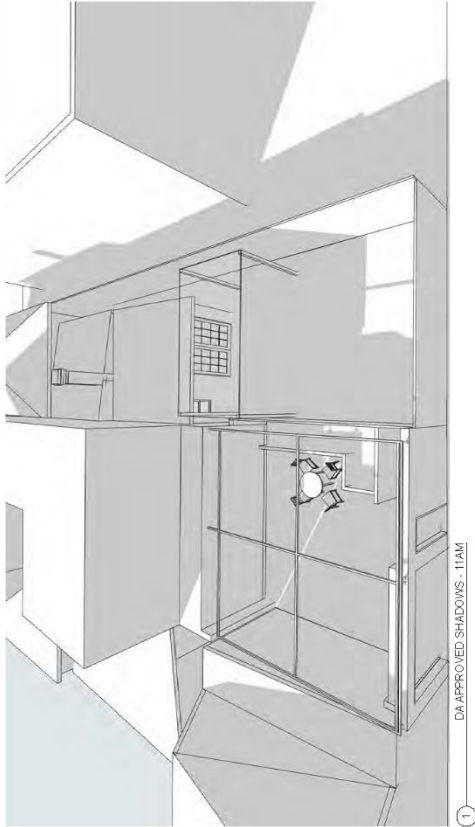
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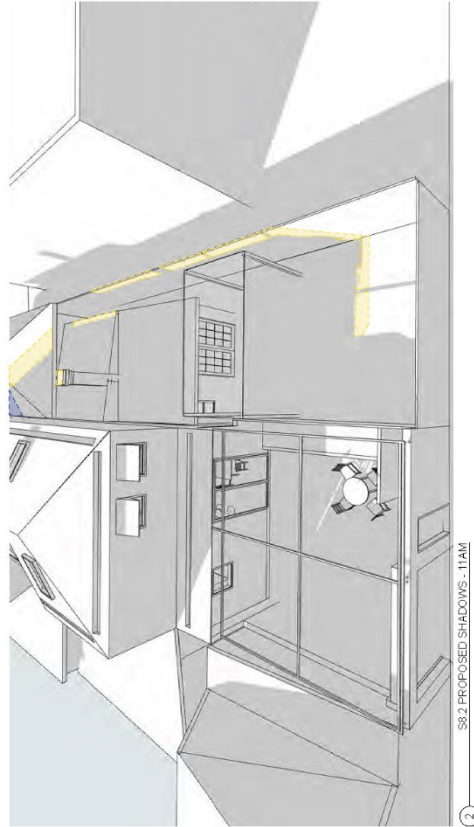
| | | | | | |
|--------------------------|------------------------------|---|--|------------------|-------------|
| ISSUE DATE | MEMBERS | PROJECT | SHEET TITLE | SCALE | DATE |
| A 26/02/23 B 02/03/23 | SECTION 82 COUNCIL FORKUP | DOMPEDRO STOKES | SHADOW DIAGRAMS: JUNE 21 - 10AM | N/A | 12.10.2023 |
| | | PROJECT NO. | SHEET | SCALE BAR | |
| | | 2114 | DA4.16 | | |
| | | ADDRESSES | ISSUE | | |
| | | 19 NORTHWOOD STREET, CAMPERDOWN 2050 | B | | |

DA APPROVED SHADOWS (MASSING)
VIEW FROM ADJACENT PROPERTY NO. 21



S8.2 PROPOSED SHADOWS
VIEW FROM ADJACENT PROPERTY NO. 21

- REDUCED SHADOW
- ADDITIONAL SHADOW



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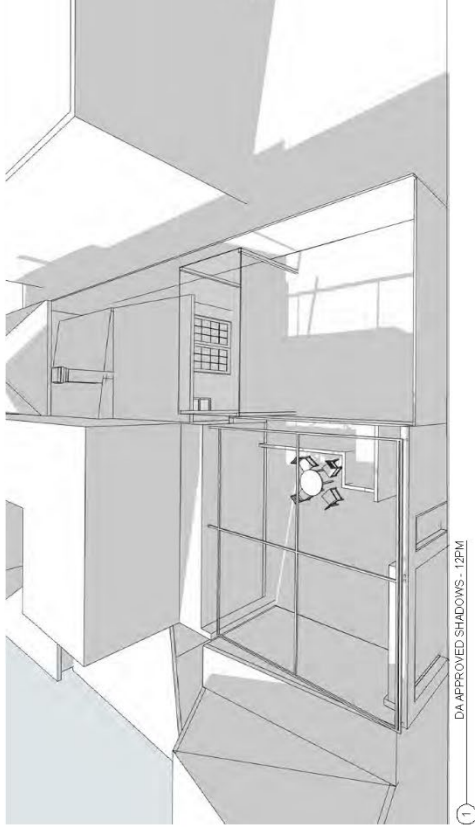
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| | | | | | | |
|-------------------|----------------|---|--|--------------|--------------|-------------|
| ISSUE DATE | MEMBERS | PROJECT | SHEET TITLE | ISSUE | SCALE | DATE |
| A 26/02/23 | SECTION 82 | DOMPEDRO STOKES | SHADOW DIAGRAMS: JUNE 21 - 11AM | B | N/A | N/A |
| B 01/07/23 | COUNCIL FORUP | 2114 | DA4.17 | B | HQ | 12.10.2023 |
| ADDRESS | | 19 NORTHWOOD STREET, CAMPERDOWN 2050 | | | | |

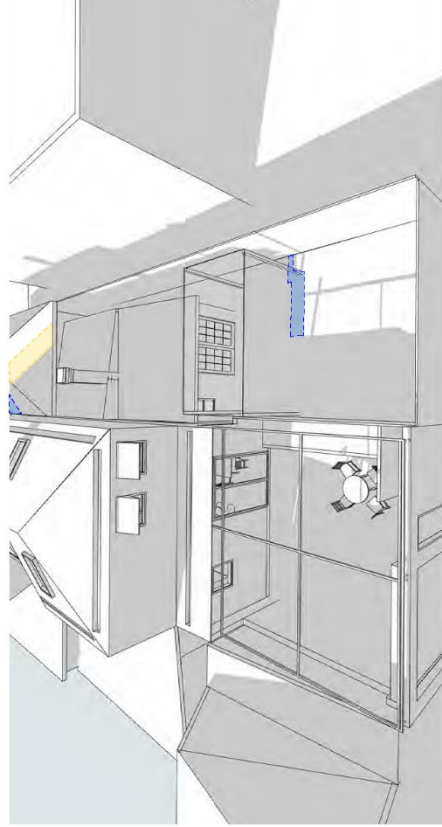
DA APPROVED SHADOWS (MASSING)
VIEW FROM ADJACENT PROPERTY NO. 21



DA APPROVED SHADOWS - 12PM

1

S8.2 PROPOSED SHADOWS
VIEW FROM ADJACENT PROPERTY NO. 21



S8.2 PROPOSED SHADOWS - 12PM

2

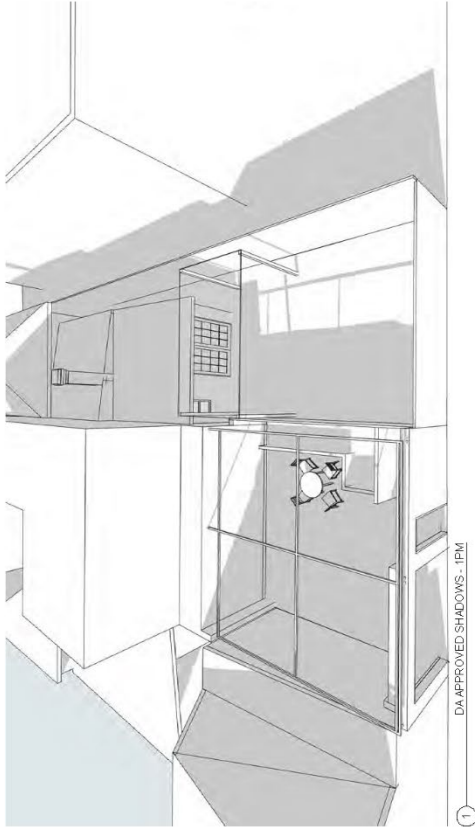
REDUCED SHADOW
ADDITIONAL SHADOW

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| ISSUE DATE | MEMBERS | PROJECT | SHEET TITLE | SCALE | DATE |
| A - 26/02/23 | SECTION 82 | 2114 | SHADOW DIAGRAMS: JUNE 21 - 12PM | N/A | |
| B - 12/10/23 | COUNCIL FORUP | DOMPEDRO STOKES | DA4.18 | HQ | 12.10.2023 |
| | | ADDRESS | ISSUE | | |
| | | 19 NORTHWOOD STREET, CAMPERDOWN 2050 | B | | |

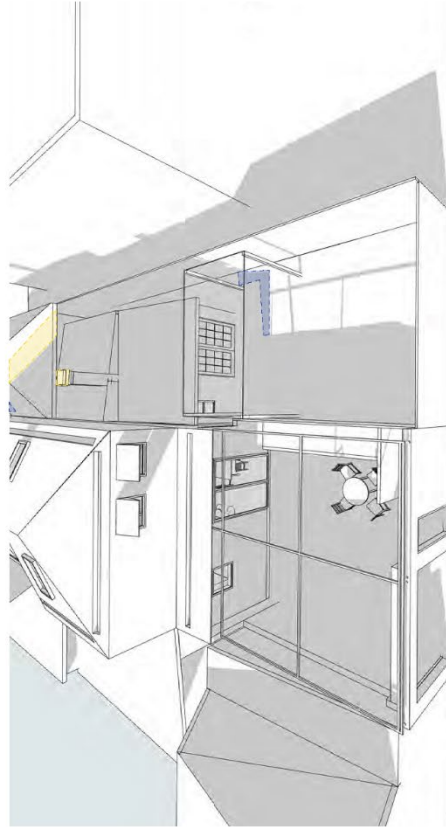
DA APPROVED SHADOWS (MASSING)
VIEW FROM ADJACENT PROPERTY NO. 21



DA APPROVED SHADOWS - 1PM

S8.2 PROPOSED SHADOWS
VIEW FROM ADJACENT PROPERTY NO. 21

- REduced SHADOW
- ADDITIONAL SHADOW



S8.2 PROPOSED SHADOWS - 1PM

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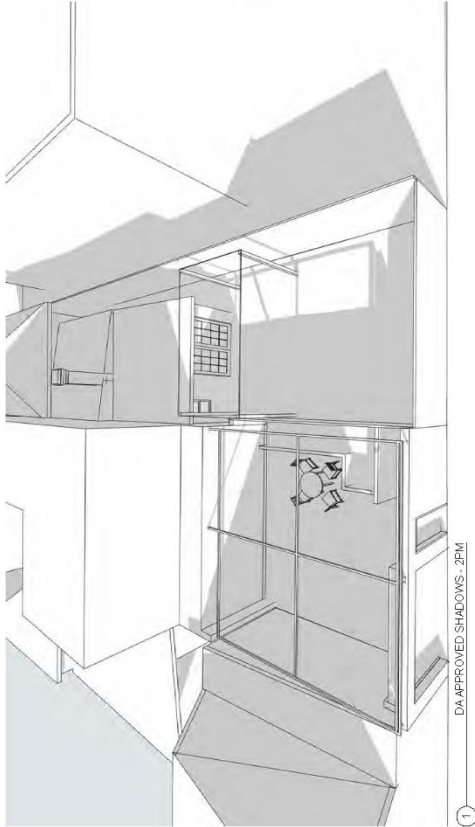
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|------------------------------|-------------------------------|---|---------------------------------------|---------------------------|--------------|
| ISSUE DATE | MEMBERS | PROJECT | SHEET TITLE | SCALE | MONTH |
| A - 26.02.23 B - 12.10.23 | SECTION 52 COUNCIL FOR LEP | 2114 DOMPEDRO STOKES | SHADOW DIAGRAMS: JUNE 21 - 1PM | N/A DATE 12.10.2023 | |
| | | 19 NORTHWOOD STREET, CAMPERDOWN 2050 | DA4.19 | RS HG | |
| | | ADDRESSES | ISSUE | CHECKED | |
| | | | B | SCALE BAR | |

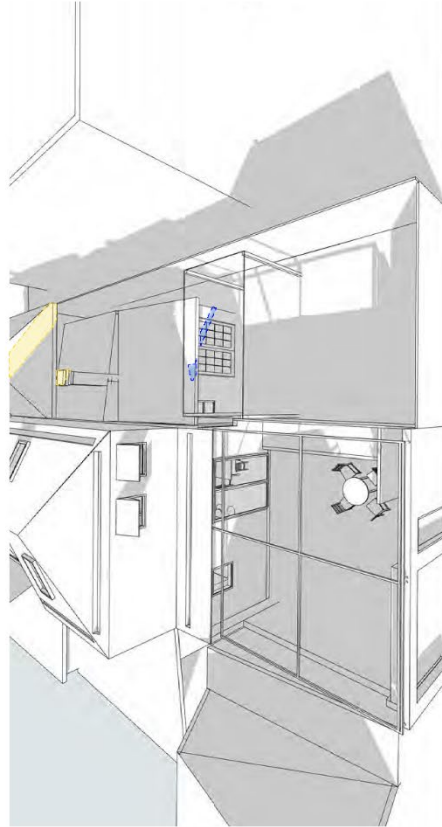
DA APPROVED SHADOWS (MASSING)
VIEW FROM ADJACENT PROPERTY NO. 21



DA APPROVED SHADOWS - 2PM

S8.2 PROPOSED SHADOWS
VIEW FROM ADJACENT PROPERTY NO. 21

- REDUCED SHADOW
- ADDITIONAL SHADOW



S8.2 PROPOSED SHADOWS - 2PM

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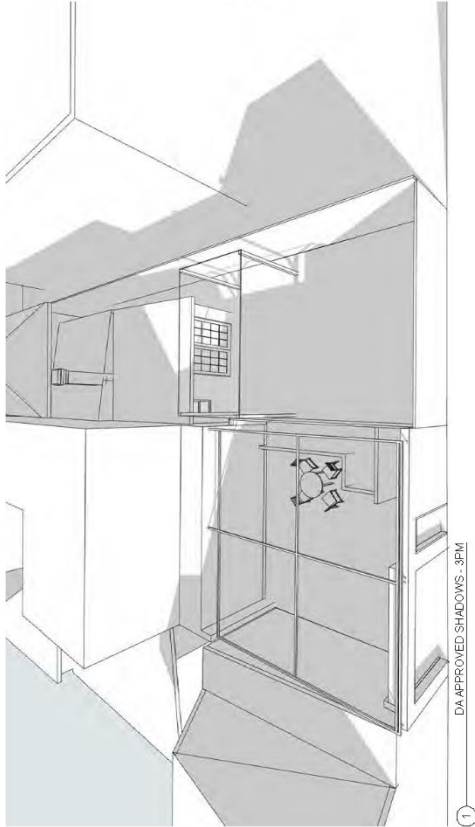
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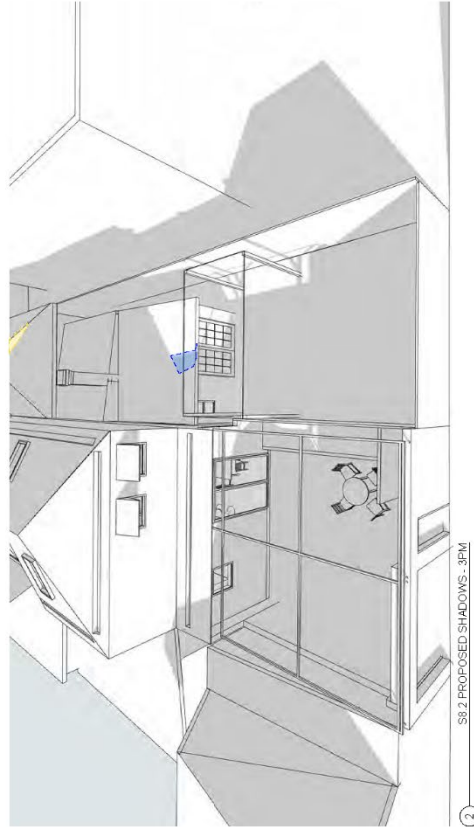
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| A - 26/02/23 | SECTION 82 | DOMPEDRO STOKES | SHADOW DIAGRAMS: JUNE 21 - 2PM | N/A | N/A |
| B - 12/10/23 | COUNCIL FORUP | 2114 | DA4.20 | HG | 12.10.2023 |
| ADDRESS | | | ISSUE | SCALE BAR | |
| 19 NORTHWOOD STREET, CAMPERDOWN 2050 | | | B | | |

DA APPROVED SHADOWS (MASSING)
VIEW FROM ADJACENT PROPERTY NO. 21



S8.2 PROPOSED SHADOWS
VIEW FROM ADJACENT PROPERTY NO. 21

- REDUCED SHADOW
- ADDITIONAL SHADOW



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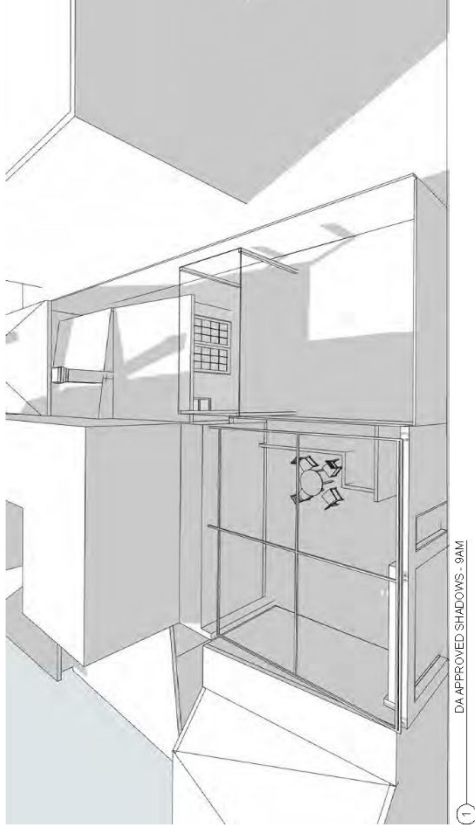
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| ISSUE | DATE | MEMBERS | PROJECT | PROJECT NO. | SHEET TITLE | SCALE | DATE |
|-------|----------|---------------|--------------------------------------|-------------|--------------------------------|-------|------------|
| A | 26/02/23 | SECTION 82 | DOMPEDRO STOKES | 2114 | SHADOW DIAGRAMS: JUNE 21 - 3PM | N/A | N/A |
| B | 12/10/23 | COUNCIL FORUP | 19 NORTHWOOD STREET, CAMPERDOWN 2050 | DA4.21 | | HG | 12/10/2023 |

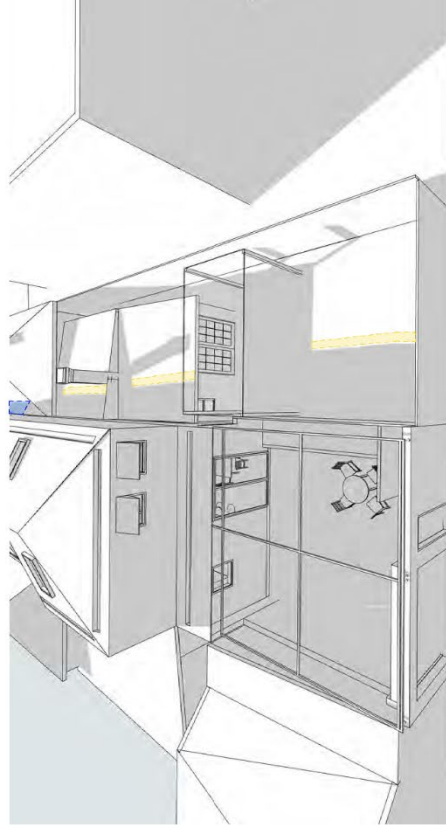
DA APPROVED SHADOWS (MASSING)
VIEW FROM ADJACENT PROPERTY NO. 21



DA APPROVED SHADOWS - 9AM

1

S8.2 PROPOSED SHADOWS
VIEW FROM ADJACENT PROPERTY NO. 21



S8.2 PROPOSED SHADOWS - 9AM

2

REDUCED SHADOW
ADDITIONAL SHADOW

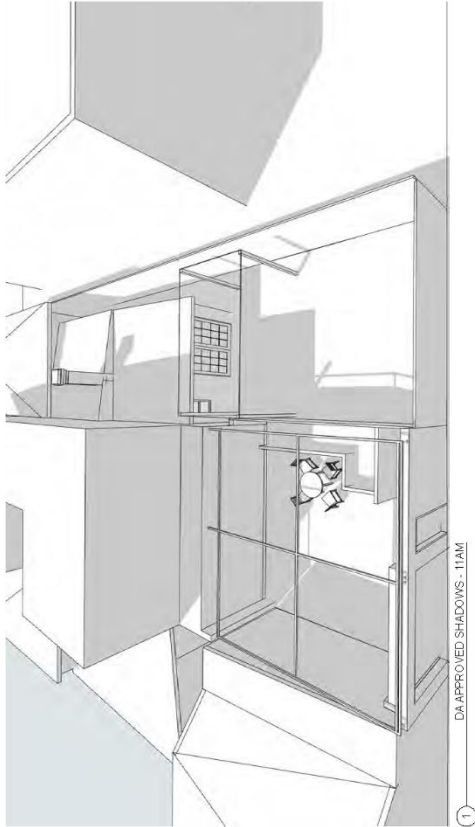
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|------------------------------|------------------------------|---|---|--------------|-------------|
| ISSUE DATE | MEMBERS | PROJECT | SHEET TITLE | SCALE | DATE |
| A - 26/02/23 B - 12/10/23 | SECTION 52 COUNCIL FORKUP | DOMPEDRO STOKES | SHADOW DIAGRAMS: MAR 21 / SEP 23 - 9AM | N/A | 12.10.2023 |
| | | 2114 | 9AM | | |
| | | 19 NORTHWOOD STREET, CAMPERDOWN 2050 | DA4-22 | | |
| | | | B | | |

DA APPROVED SHADOWS (MASSING)
VIEW FROM ADJACENT PROPERTY NO. 21

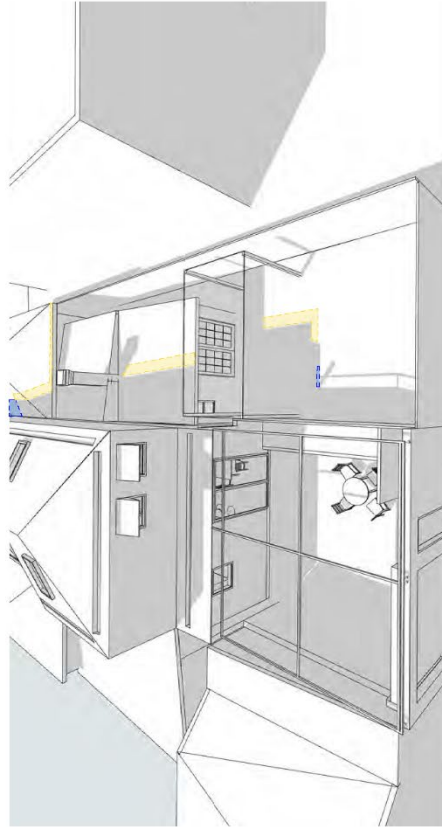


DA APPROVED SHADOWS - 11AM

1

S8.2 PROPOSED SHADOWS
VIEW FROM ADJACENT PROPERTY NO. 21

- REduced SHADOW
- ADDITIONAL SHADOW



S8.2 PROPOSED SHADOWS - 11AM

2

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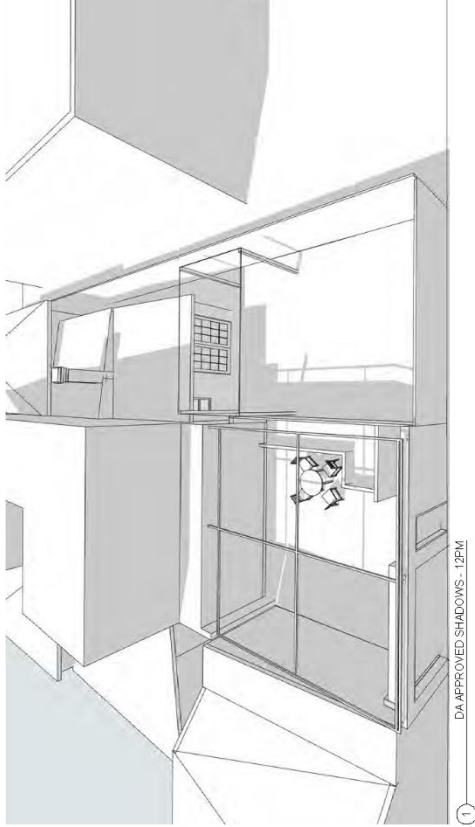
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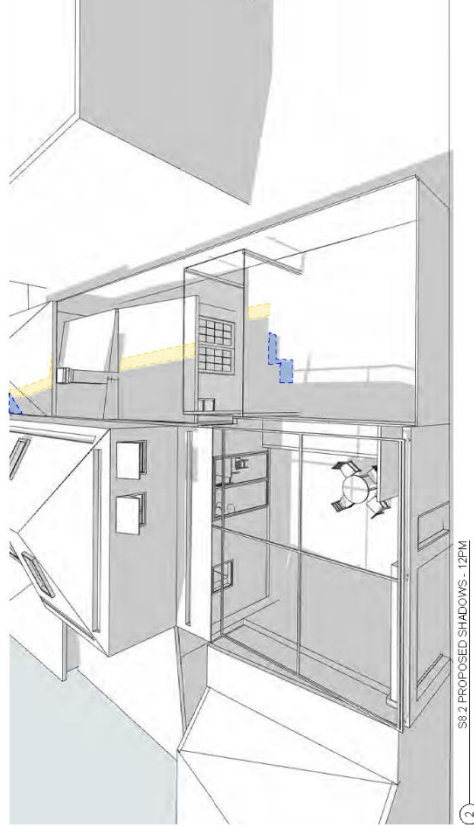
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| B - 12/10/23 | COUNCIL FORKUP | 2114 | SH11 | HG | 12.10.2023 |
| ADDRESS | | | SHEET | SCALE BAR | |
| 19 NORTHWOOD STREET, CAMPERDOWN 2050 | | | DA4.24 | | |
| | | | REVISION | | |
| | | | B | | |

DA APPROVED SHADOWS (MASSING)
VIEW FROM ADJACENT PROPERTY NO. 21



S8.2 PROPOSED SHADOWS
VIEW FROM ADJACENT PROPERTY NO. 21

- REDUCED SHADOW
- ADDITIONAL SHADOW



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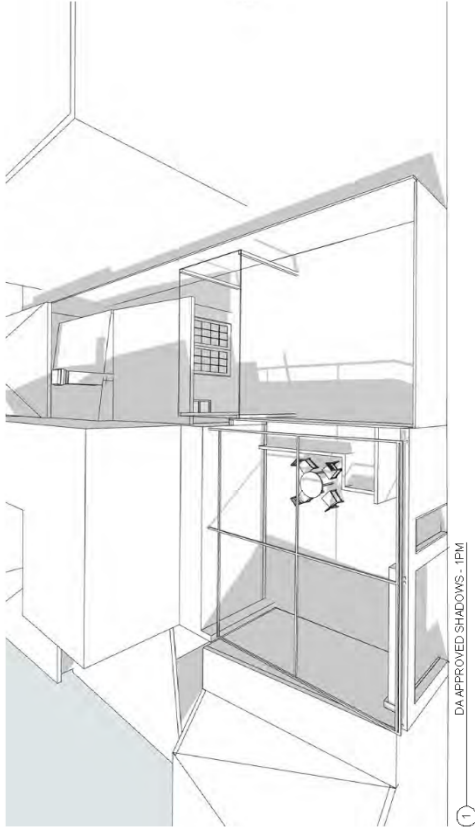
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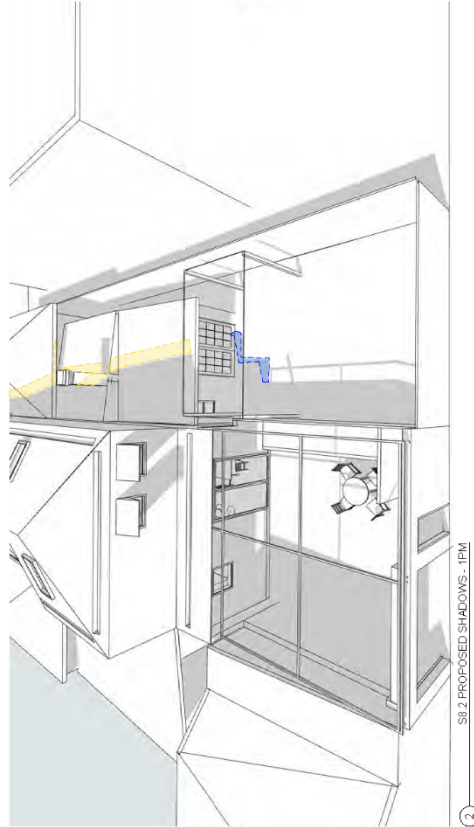
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| B - 12/10/23 | COUNCIL FORKUP | 2114 | DA4.25 | HG | 12.10.2023 |
| ADDRESS | | | PROJECT NO. | SCALE BAR | NOTES |
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| | | | ISSUE | | |
| | | | B | | |

DA APPROVED SHADOWS (MASSING)
VIEW FROM ADJACENT PROPERTY NO. 21



S8.2 PROPOSED SHADOWS
VIEW FROM ADJACENT PROPERTY NO. 21

- REDUCED SHADOW
- ADDITIONAL SHADOW

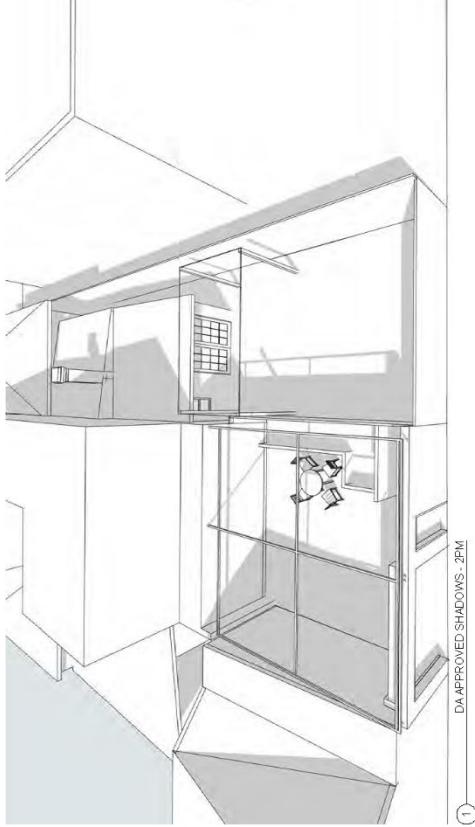


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 7. All dimensions are to the face of the wall unless otherwise stated.
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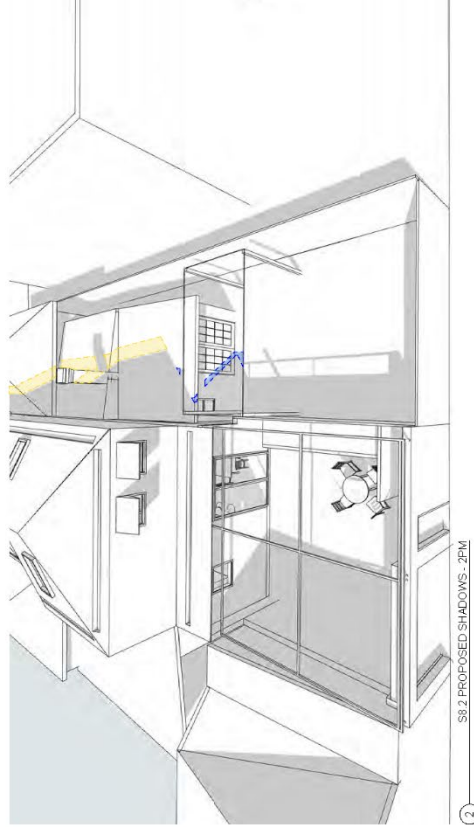
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| B - 12.10.23 | COUNCIL FORKUP | 2114 | 1PM | HG | 12.10.2023 |
| | | ADDRESS | SHEET | SCALE BAR | NOTES |
| | | 19 NORTHWOOD STREET, CAMPERDOWN 2050 | DA4.26 | | B |

DA APPROVED SHADOWS (MASSING)
VIEW FROM ADJACENT PROPERTY NO. 21



S8.2 PROPOSED SHADOWS
VIEW FROM ADJACENT PROPERTY NO. 21

- REDUCED SHADOW
- ADDITIONAL SHADOW



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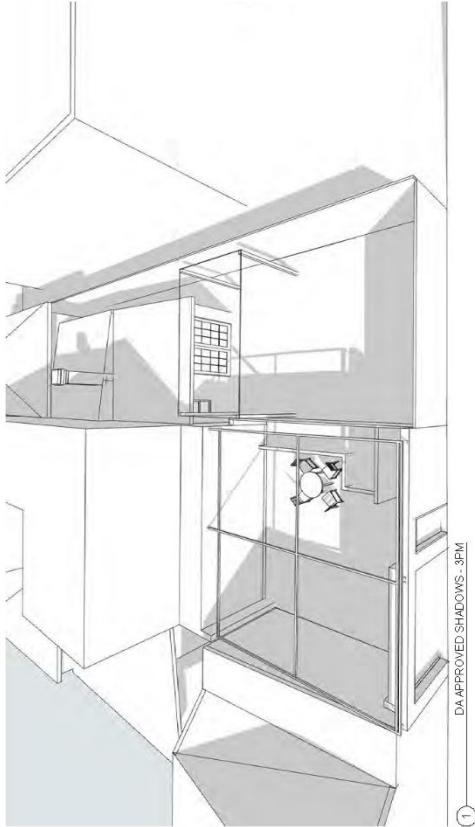
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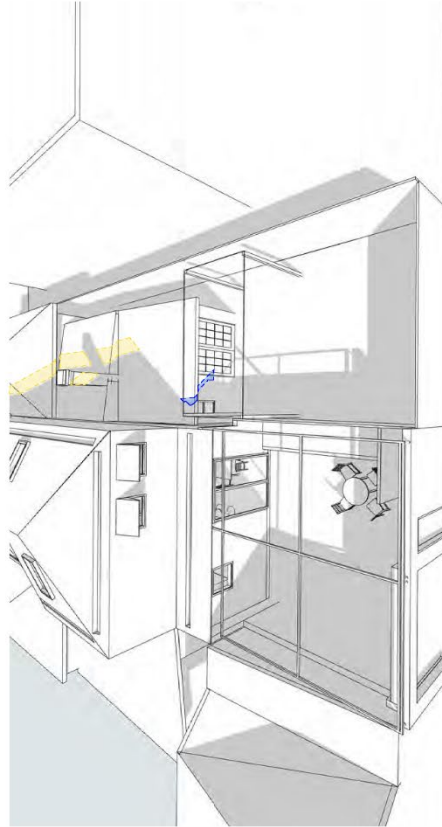
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| | | 19 NORTHWOOD STREET, CAMPERDOWN 2050 | DA4.27 | RS HG | |
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| | | | | SCALE BAR | |
| | | | | DATE | |

DA APPROVED SHADOWS (MASSING)
VIEW FROM ADJACENT PROPERTY NO. 21



DA APPROVED SHADOWS - 3PM

S8.2 PROPOSED SHADOWS
VIEW FROM ADJACENT PROPERTY NO. 21



S8.2 PROPOSED SHADOWS - 3PM

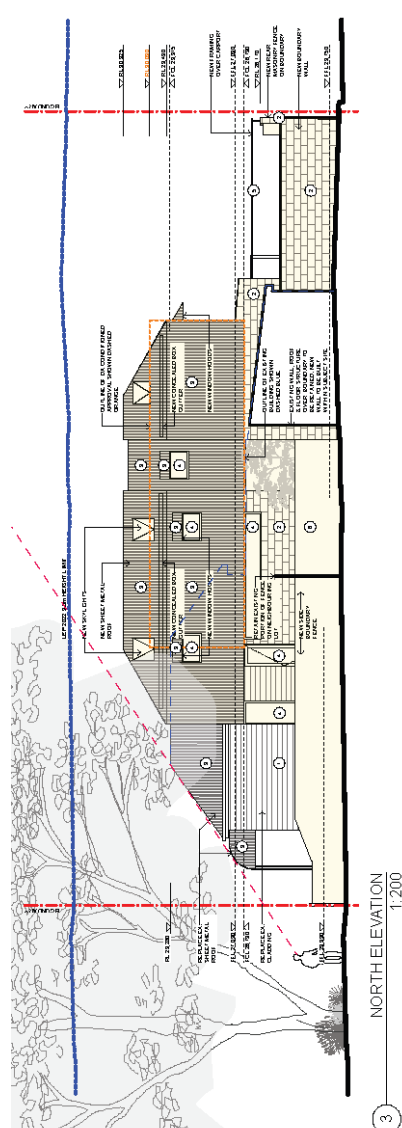
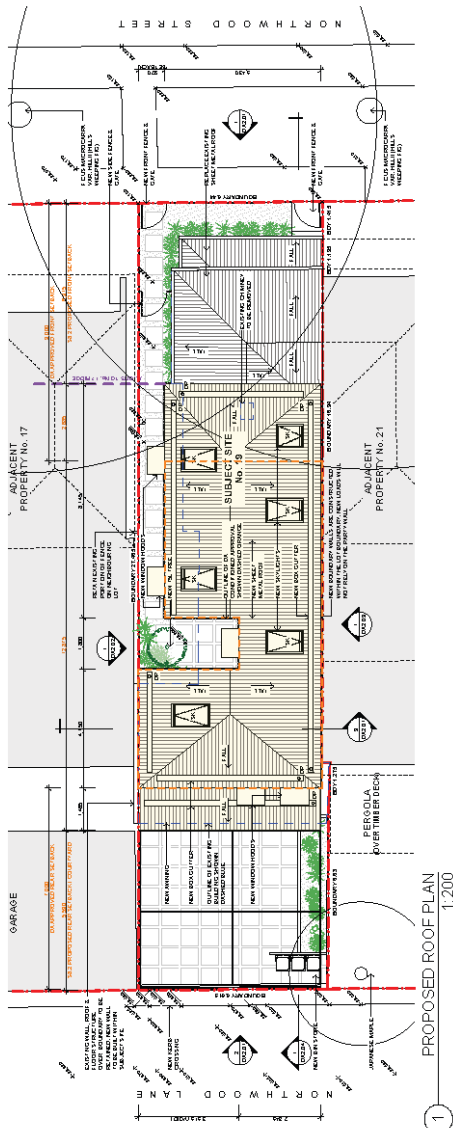
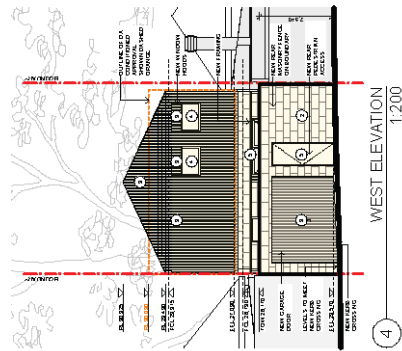
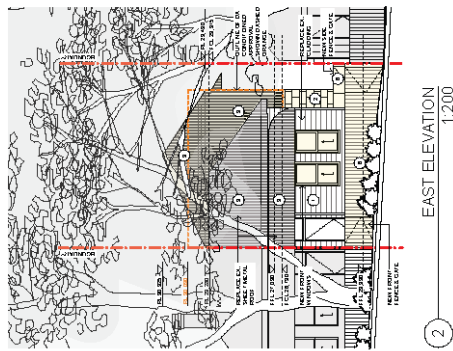
REDUCED SHADOW
ADDITIONAL SHADOW

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| ISSUE DATE | MEMBERS | PROJECT | SHEET TITLE | SCALE | DATE |
| A - 26/02/23 | SECTION 52 | 2114 | SHADOW DIAGRAMS: MAR 21 / SEP 23 - 3PM | N/A | N/A |
| B - 12/10/23 | COUNCIL FORKUP | DOMPEDRO STOKES | SHADOW DIAGRAMS: MAR 21 / SEP 23 - 3PM | HQ | 12.10.2023 |
| | | 19 NORTHWOOD STREET, CAMPERDOWN 2050 | DA4-28 | | |
| | | | B | | |



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| PROJECT | DOMPEDRO STOKES 2114 |
| ADDRESS | 19 NORTHWOOD STREET, CAMPERDOWN 2050 |
| PROJECT NO. | 2114 |
| SHEET | DA5.01 |
| ISSUE | D |
| SCALE BAR | |
| CHECKED | HG |
| DATE | 12.10.2023 |
| SCALE | 1:200 @ A4 |
| DRAWN | RS |

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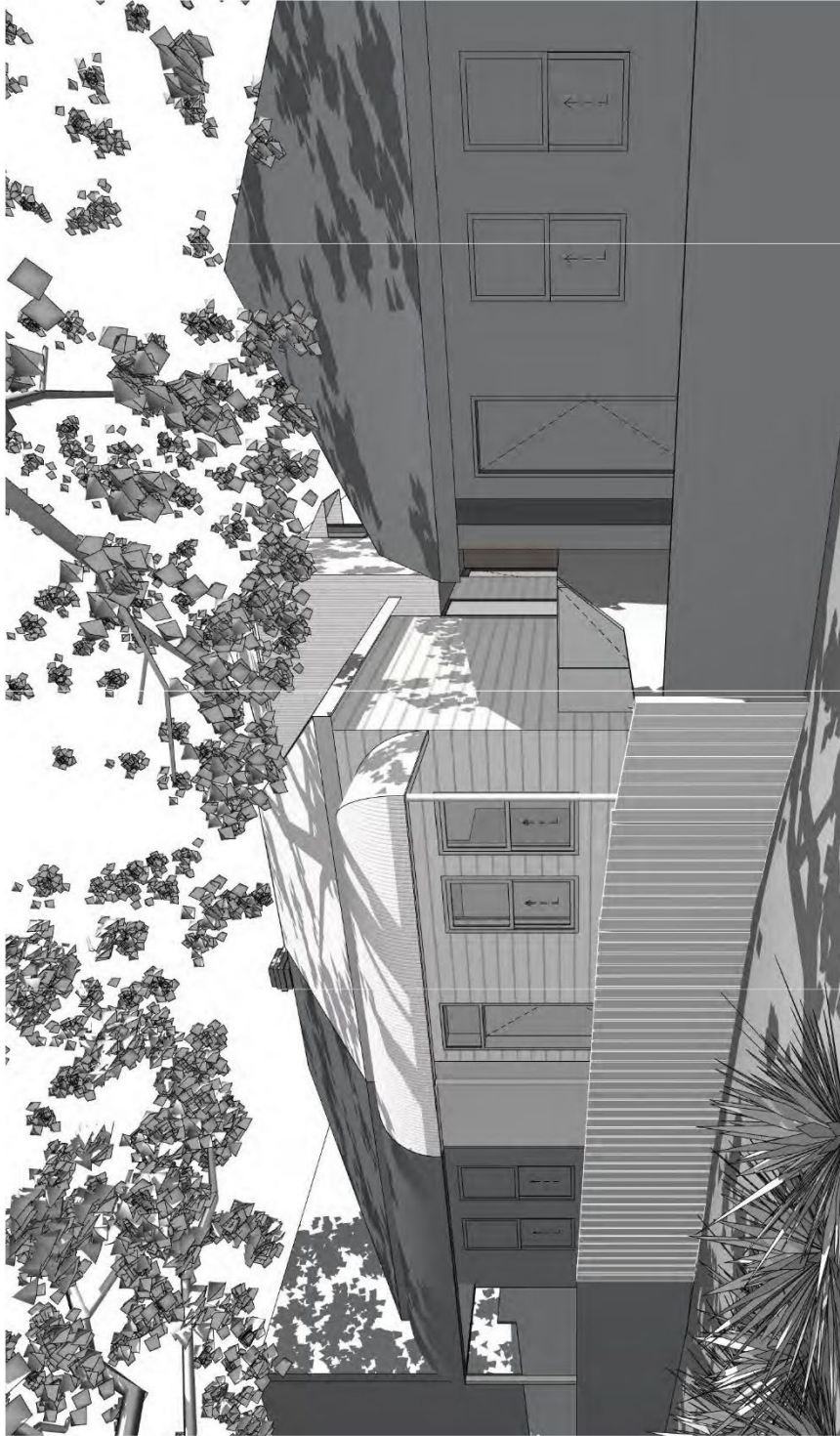
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41 Douglas Street,
Sydney NSW 2008
Phone: +61 (0)2 9231 6772
Fax: +61 (0)2 9231 6773
www.gbn.net.au
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B 13.09.23 COUNCIL FOR LEP

PROJECT
DOMPEDRO STOKES

ADDRESS
19 NORTHWOOD STREET, CAMPERDOWN 2050

PROJECT NO.
2114

SHEET
DA6.02

SHEET TITLE
STREETSCAPE PERSPECTIVE

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| GOODWIN SCARFONE BELGIORNO NETTIS <small>411 Douglas Street, Sydney NSW 2009 Phone: 61 61 2 926 2000 Fax: 61 61 2 926 2001 www.giftradar.com.au info@giftradar.com.au New York, New York, USA 10018</small> | GOODWIN SCARFONE BELGIORNO NETTIS | RIGHTS RESERVED <small>This document is the property of Goodwin Scarfone Belgiorno Nettis and is to be used only for the purposes intended. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Goodwin Scarfone Belgiorno Nettis.</small> | | ISSUE DATE A 25.08.23 B 03.10.23 | | AMENDMENTS SECTION 4.2 COUNCIL FOR LEP | | PROJECT DOMPEDRO STOKES | | PROJECT NO. 2114 | | SHEET TITLE REAR LANE PERSPECTIVE | | DRAWN RS | | SCALE N/A | | NORTH NORTH | |
| | | DATE 12.10.2023 | | CHECKED HG | | SCALE BAR | | SHEET DA6.03 | | ISSUE B | | DATE 12.10.2023 | | CHECKED HG | | SCALE BAR | | NORTH NORTH | |
| | | ADDRESS 19 NORTHWOOD STREET, CAMPERDOWN 2050 | | SECTION DA6.03 | | PROJECT NO. 2114 | | SHEET TITLE REAR LANE PERSPECTIVE | | PROJECT NO. 2114 | | SHEET TITLE REAR LANE PERSPECTIVE | | SCALE BAR | | DATE 12.10.2023 | | NORTH NORTH | |
| | | ADDRESS 19 NORTHWOOD STREET, CAMPERDOWN 2050 | | SECTION DA6.03 | | PROJECT NO. 2114 | | SHEET TITLE REAR LANE PERSPECTIVE | | PROJECT NO. 2114 | | SHEET TITLE REAR LANE PERSPECTIVE | | SCALE BAR | | DATE 12.10.2023 | | NORTH NORTH | |

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| <p>GOODWIN SCARFONE BELGIORNO NETTIS</p> <p>411 Douglas Street, Newtown, NSW 1590 p 02 9550 2600 www.gbn.nettis.com.au info@gbn.nettis.com.au</p> <p>Newtown, Sydney, Australia 1590</p> | | <p>COPYRIGHT NOTES</p> <p>This drawing is the property of Goodwin Scarfone Belgiorno Nettis Pty Ltd. It is to be used only for the project and site specified. It is not to be used for any other project or site without the written consent of Goodwin Scarfone Belgiorno Nettis Pty Ltd. It is not to be used for any other purpose without the written consent of Goodwin Scarfone Belgiorno Nettis Pty Ltd. All dimensions and specifications are to be confirmed with the architect.</p> | | <p>ISSUE DATE AMENDMENTS</p> <p>A 25.06.23 SECTION 1.2 B 4.10.23 COUNCIL FOR LEP</p> | | <p>PROJECT</p> <p>DOMPEDRO STOKES</p> <p>ADDRESS 19 NORTHWOOD STREET, CAMPERDOWN 2050</p> | | <p>PROJECT NO. 2114</p> | | <p>SHEET TITLE REAR LANE PERSPECTIVE</p> <p>SHEET DA6.04</p> <p>ISSUE B</p> | | <p>DRAWN RS</p> <p>CHECKED HG</p> <p>SCALE BAR</p> | | <p>SCALE N/A</p> <p>DATE 12.10.2023</p> <p>NORTH</p> | |
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Attachment C – Consent of DA/2022/1075



NOTICE OF DETERMINATION - APPROVAL

Issued under Section 4.16(1)(a) of the Environmental Planning and Assessment Act 1979

| | |
|------------------------------------|--|
| Development Application No. | DA/2022/1075 |
| Applicant | Lucia Hamdorf |
| Land to be developed | 19 Northwood Street CAMPERDOWN NSW 2050 |
| Approved development | Alterations and additions to a semi-detached dwelling including construction of a ground floor extension, first floor addition. |
| Cost of development | \$619,455.00 |
| Determination | The application was determined by Delegation to Staff and was granted consent subject to the conditions attached. |
| Other Approvals | Before commencing <i>building work</i> or <i>subdivision work</i> , a relevant Construction Certificate must be obtained from Council or an Accredited Certifier. Council must be appointed the Principal Certifier for any <i>subdivision work</i> under the Act. |
| Determination date | 15 May 2023 |
| Consent is to operate from | 15 May 2023 |
| Consent will lapse on | 15 May 2028 |

Reasons for conditions

To protect the environmental amenity of the area and the public interest.

Right of appeal

Inner West Council
 innerwest.nsw.gov.au
 02 9392 5000

council@innerwest.nsw.gov.au
 PO Box 14, Petersham NSW 2049

Document Set ID: 37738938
 Version: 1, Version Date: 18/05/2023

If you are dissatisfied with this decision, Section 8.7 of the *Environmental Planning and Assessment Act 1979* gives you the right to appeal to the Land and Environment Court in accordance with the timeframes set out in [Section 8.10](#) of the *Environmental Planning and Assessment Act 1979*. In addition to the above, third party appeal rights are set out in the *Environmental Planning and Assessment Act 1979* and may be applicable.

Section 8.2 of the *Environmental Planning and Assessment Act 1979* provides that the applicant may request the Council to review the determination. Section 8.2 does not apply to complying development, designated development, a determination made by Council under Section 4.2 in respect of Crown applications, or a decision that is already subject to a Section 8.2 review.

For further information please contact **Angela Berryman** on (02) 9392 5979 or angela.berryman@innerwest.nsw.gov.au.



Kaitlin Zieme
Team Leader Development Assessment

CONDITIONS OF CONSENT

DOCUMENTS RELATED TO THE CONSENT

1. Documents related to the consent

The development must be carried out in accordance with plans and documents listed below:

| Plan, Revision and Issue No. | Plan Name | Date Issued | Prepared by |
|-------------------------------------|-------------------------------|--------------------|--------------------------------------|
| DA1.01 B | Site & Roof Plan | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| DA1.03 B | Plans - Proposed Ground Floor | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| DA1.04 B | Plans - Proposed First Floor | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| DA1.05 B | Landscape Plan | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| DA2.01 B | Elevations - Sheet 1 | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| DA2.02 B | Elevations - Sheet 2 | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| DA2.03 B | Elevations - Sheet 3 | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| DA2.04 B | Sections | 28.03.2023 | Goodwin Scarfone Belgiorno Nettis |
| DA3.01 A | External Finishes Schedule | 29.11.2022 | Goodwin Scarfone Belgiorno Nettis |
| A470474 | BASIX Certificate | 20.09.2022 | GSDN Studio |

As amended by the conditions of consent.

DESIGN CHANGE

2. Design Change

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans demonstrating the following:

- a. A front setback of minimum 9m from the front boundary be provided to the first floor.
- b. A rear setback of minimum 7m from the rear boundary be provided to the first floor.
- c. Reduction in the maximum height of the development by 200mm, to a maximum RL of 30.030
- d. Replacement of the front elevation windows on the ground floor must be to timber framed windows.

FEES

3. Security Deposit - Custom

Prior to the commencement of demolition works or prior to the issue of a Construction Certificate, the Certifying Authority must be provided with written evidence that a security deposit and inspection fee has been paid to Council to cover the cost of making good any damage caused to any Council property or the physical environment as a consequence of carrying out the works and as surety for the proper completion of any road, footpath and drainage works required by this consent.

| | |
|--------------------------|------------|
| Security Deposit: | \$5,600.00 |
| Inspection Fee: | \$350.00 |

Payment will be accepted in the form of cash, bank cheque, EFTPOS/credit card (to a maximum of \$10,000) or bank guarantee. Bank Guarantees must not have an expiry date.

The inspection fee is required for the Council to determine the condition of the adjacent road reserve and footpath prior to and on completion of the works being carried out.

Should any of Council's property and/or the physical environment sustain damage during the course of the demolition or construction works, or if the works put Council's assets or the

environment at risk, or if any road, footpath or drainage works required by this consent are not completed satisfactorily, Council may carry out any works necessary to repair the damage, remove the risk or complete the works. Council may utilise part or all of the security deposit to restore any damages, and Council may recover, in any court of competent jurisdiction, any costs to Council for such restorations.

A request for release of the security may be made to the Council after all construction work has been completed and a final Occupation Certificate issued.

The amount nominated is only current for the financial year in which the initial consent was issued and is revised each financial year. The amount payable must be consistent with Council's Fees and Charges in force at the date of payment.

4. Section 7.12 (formerly section 94A) Development Contribution Payments

Prior to the issue of a Construction Certificate, written evidence must be provided to the Certifying Authority that a monetary contribution to the Inner West Council has been paid, towards the provision of infrastructure, required to address increased demand for local services generated by additional development within the Local Government Area (LGA). This condition is imposed in accordance with Section 7.12 of the *Environmental Planning and Assessment Act 1979* and in accordance with *Marrickville Section 94/94A Contributions Plan 2014*.

Note: Copies of these contribution plans can be inspected at any of the Inner West Council Service Centres or viewed online at <https://www.innerwest.nsw.gov.au/develop/planning-controls/section-94-contributions>

Payment amount*:

\$6,194.55

*Indexing of the Section 7.12 contribution payment:

The contribution amount to be paid to the Council is to be adjusted at the time of the actual payment in accordance with the provisions of the relevant contributions plan. In this regard, you are recommended to make contact with Inner West Council *prior to arranging your payment method* to confirm the correct current payment amount (at the expected time of payment).

Payment methods:

The required contribution must be paid either **by BPAY (to a maximum of \$500,000); unendorsed bank cheque (from an Australian Bank only); EFTPOS (Debit only); credit card (Note: A 1% credit card transaction fee applies to all credit card transactions; cash (to a maximum of \$10,000)**. It should be noted that personal cheques or bank guarantees

cannot be accepted for the payment of these contributions. **Prior to payment contact Council's Planning Team to review charges to current indexed quarter, please allow a minimum of 2 business days for the invoice to be issued before payment can be accepted.**

5. Long Service Levy

Prior to the issue of a Construction Certificate, written evidence must be provided to the Certifying Authority that the long service levy in accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986* has been paid at the prescribed rate of 0.25% of the total cost of the work to either the Long Service Payments Corporation or Council for any work costing \$250,000 or more.

GENERAL CONDITIONS

6. Boundary Alignment Levels

Alignment levels for the site at all pedestrian and vehicular access locations must match the existing back of footpath levels at the boundary.

7. Waste Management Plan

Prior to the commencement of any works (including any demolition works), the Certifying Authority is required to be provided with a Recycling and Waste Management Plan (RWMP) in accordance with the relevant Development Control Plan.

8. Erosion and Sediment Control

Prior to the issue of a commencement of any works (including any demolition works), the Certifying Authority must be provided with an erosion and sediment control plan and specification. Sediment control devices must be installed and maintained in proper working order to prevent sediment discharge from the construction site.

9. Works Outside the Property Boundary

This development consent does not authorise works outside the property boundaries on adjoining lands.

10. Tree Protection

No trees on public property (footpaths, roads, reserves etc.) are to be removed or damaged during works unless specifically approved in this consent or marked on the approved plans for removal.

Prescribed trees protected by Council's Management Controls on the subject property and/or any vegetation on surrounding properties must not be damaged or removed during works unless specific approval has been provided under this consent.

Any public tree within five (5) metres of the development must be protected in accordance with Council's *Development Fact Sheet—Trees on Development Sites*.

No activities, storage or disposal of materials taking place beneath the canopy of any tree (including trees on neighbouring sites) protected under Council's Tree Management Controls at any time.

The trees identified below are to be retained and protected in accordance with the conditions of consent or approved Tree Protection Plan throughout the development (note: tree numbers must correspond with approved Tree Protection Plan if conditioned) :

| Tree No. | Botanical/Common Name | Location |
|----------|--|-------------------------------|
| 1 | <i>Ficus macrocarpa</i> var. <i>hillii</i> (Hills Weeping Fig) | Council land to front of site |
| 2 | <i>Ficus macrocarpa</i> var. <i>hillii</i> (Hills Weeping Fig) | Council land to front of site |
| 3 | <i>Acer palmatum</i> (Japanese Maple) | rear of 21 Northwood St. |

Details of the trees must be included on all Construction Certificate plans and shall be annotated in the following way:

- a. Green for trees to be retained;
- b. Red for trees to be removed;
- c. Blue for trees to be pruned; and
- d. Yellow for trees to be transplanted.

NOTE: Reference should be made to the *Arboricultural Impact Assessment Report prepared by Axiom Arbor Tree Services dated March 2023 for tree numbering and locations*.

11. Project Arborist

Prior to the commencement of any demolition or construction works within close proximity to protected trees a Project Arborist must be engaged for the duration of the site preparation, demolition, construction and landscaping to supervise works. Details of the Project Arborist must be submitted to the Certifying Authority before work commences.

PRIOR TO ANY DEMOLITION**12. Hoardings**

The person acting on this consent must ensure the site is secured with temporary fencing prior to any works commencing.

If the work involves the erection or demolition of a building and is likely to cause pedestrian or vehicular traffic on public roads or Council controlled lands to be obstructed or rendered inconvenient, or building involves the enclosure of public property, a hoarding or fence must be erected between the work site and the public property. An awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling onto public property.

Separate approval is required from the Council under the *Roads Act 1993* to erect a hoarding or temporary fence or awning on public property.

13. Dilapidation Report

Prior to any works commencing (including demolition), the Certifying Authority and owners of identified properties, must be provided with a colour copy of a dilapidation report prepared by a suitably qualified person. The report is required to include colour photographs of all the adjoining property (21 Northwood Street) to the Certifying Authority's satisfaction. In the event that the consent of the adjoining property owner cannot be obtained to undertake the report, copies of the letter/s that have been sent via registered mail and any responses received must be forwarded to the Certifying Authority before work commences.

14. Advising Neighbours Prior to Excavation

At least 7 days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.

15. Construction Fencing

Prior to the commencement of any works (including demolition), the site must be enclosed with suitable fencing to prohibit unauthorised access. The fencing must be erected as a barrier between the public place and any neighbouring property.

PRIOR TO CONSTRUCTION CERTIFICATE**16. Dilapidation Report – Pre-Development – Minor**

Prior to the issue of a Construction Certificate or any demolition, the Certifying Authority must be provided with a dilapidation report including colour photos showing the existing condition of the footpath and roadway adjacent to the site.

17. Stormwater Drainage System – Minor Developments (OSD is not required)

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with stormwater drainage design plans certified by a suitably qualified Civil Engineer that the design of the site drainage system complies with the following specific requirements:

- a. Stormwater runoff from all roof areas within the property being collected in a system of gutters, pits and pipeline and be discharged, together with overflow pipelines from any rainwater tank(s), by gravity to the kerb and gutter of a public road;
- b. Comply with Council's Stormwater Drainage Code, Australian Rainfall and Runoff (A.R.R.), Australian Standard AS3500.3-2018 'Stormwater Drainage' and Council's DCP;
- c. Pipe and channel drainage systems must be designed to cater for the twenty (20) year Average Recurrence Interval (ARI) storm in the case of low and medium residential developments, the twenty (20) year ARI Storm in the case of high-density residential development and commercial and/or industrial developments and the fifty (50) year ARI Storm in the case of heavy industry. In all cases, the major event surface flow paths must be designed to cater for the one hundred (100) year ARI Storm;
- d. Charged or pump-out stormwater drainage systems are not permitted including for roof drainage other than to drain downpipes to the rainwater tank(s);
- e. To provide for adequate site drainage all roof and surface stormwater from the site and any catchment external to the site that presently drains to it, must be collected in a system of pits and pipelines/channels and major storm event surface flow paths and being discharged to a stormwater drainage system in accordance with the requirements of Council's DCP. Please note any stormwater outlets through sandstone kerbs must be carefully core drilled;
- f. The design plans must detail the existing and proposed site drainage layout, size, class and grade of pipelines, pit types, roof gutter and downpipe sizes;

- g. An overland flowpath must be provided within the setback to the northern side boundary between the rear of the dwelling and the North Street frontage. The rear courtyard must be graded so that bypass flows from the site drainage system are directed to the overland flowpath.
- h. The stormwater system must not be influenced by backwater effects or hydraulically controlled by the receiving system;
- i. A minimum 150 mm step up shall be provided between all external finished surfaces and adjacent internal floor areas;
- j. The design must make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands;
- k. No nuisance or concentration of flows to other properties;
- l. The stormwater system must not be influenced by backwater effects or hydraulically controlled by the receiving system;
- m. The design plans must specify that any components of the existing system to be retained must be certified during construction to be in good condition and of adequate capacity to convey the additional runoff generated by the development and be replaced or upgraded if required;
- n. An inspection opening or stormwater pit must be installed inside the property, adjacent to the boundary, for all stormwater outlets;
- o. Only a single point of discharge is permitted to the kerb and gutter, per frontage of the site;
- p. New pipelines within the footpath area that are to discharge to the kerb and gutter must be hot dipped galvanised steel hollow section with a minimum wall thickness of 4.0 mm and a maximum section height and width of 100 mm or sewer grade uPVC pipe with a maximum diameter of 100 mm;
- q. All stormwater outlets through sandstone kerbs must be carefully core drilled in accordance with Council standard drawings;
- r. All redundant pipelines within footpath area must be removed and footpath/kerb reinstated;
- s. No impact to street tree(s);

18. Changes to Levels

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans incorporating the following amendments:

- a. A 150 mm step down must be provided between the finished floor level of the internal room and the finished surface level of the external area.

19. Parking Facilities - Domestic

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with plans certified by a suitably qualified Civil Engineer demonstrating that the design of the

vehicular access and off-street parking facilities must comply with Australian Standard AS/NZS2890.1-2004 Parking Facilities – Off-Street Car Parking and the following specific requirements:

- a. The internal vehicle hardstand area must be redesigned such that the level at the boundary must match the invert level of the adjacent gutter plus 110 mm at both sides of the vehicle entry. This will require the internal garage slab or hard stand area to be adjusted locally at the boundary to ensure that it matches the above-issued alignment levels;
- b. The garage slab or driveway must rise within the property to be 170 mm above the adjacent road gutter level and higher than the street kerb and footpath across the full width of the vehicle crossing. The longitudinal profile across the width of the vehicle crossing must comply with the Ground Clearance requirements of AS/NZS 2890.1-2004;
- c. A minimum of 2200 mm headroom must be provided throughout the access and parking facilities. Note that the headroom must be measured at the lowest projection from the ceiling, such as lighting fixtures, and to open garage doors;
- d. Longitudinal sections along each outer edge of the access and parking facilities, extending to the centreline of the road carriageway must be provided, demonstrating compliance with the above requirements;
- e. The garage/carport/parking space must have minimum clear internal dimensions of 5700 mm x 3000 mm (length x width) and a door opening width of 3000 mm. The dimensions must be exclusive of obstructions such as walls, doors and columns, except where they do not encroach inside the design envelope specified in Section 5.2 of AS/NZS 2890.1-2004;
- f. Where the drop adjacent to the end of the parking module(s) exceeds 600mm, structural barriers must be provided. Where the drop is between 150-600mm, wheel stops must be provided. These physical controls must be installed in accordance with the requirements of Section 2.4.5 of AS/NZS2890.1-2004. The design of structural barriers must be certified by a suitably qualified Civil Engineer with Chartered Engineer of Institution of Engineers Australia (CPEng) or Registered Professional Engineer of Professionals Australia (RPEng) qualifications;
- g. A plan of the proposed access and adjacent laneway, drawn at a 1:100 scale, demonstrating that vehicle manoeuvrability for entry and exit to the parking space complies with swept paths from AS/NZS 2890.1:2004. The plan must include any existing on-street parking spaces;
- h. The maximum gradients within the parking module must not exceed 1 in 20 (5%), measured parallel to the angle of parking and 1 in 16 (6.25%), measured in any other direction in accordance with the requirements of Section 2.4.6 of AS/NZS 2890.1-2004; and
- i. The external form and height of the approved structures must not be altered from the approved plans.

20. Party Walls

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with Architectural Plans accompanied by a Structural Certificate which verifies that the architectural plans do not rely on the Party Wall for lateral or vertical support and that additions are independently supported. A copy of the Certificate & plans must be provided to all owners of the party wall/s.

21. Structural Certificate for retained elements of the building

Prior to the issue of a Construction Certificate, the Certifying Authority is required to be provided with a Structural Certificate prepared by a practising structural engineer, certifying the structural adequacy of the property and its ability to withstand the proposed additional, or altered structural loads during all stages of construction. The certificate must also include all details of the methodology to be employed in construction phases to achieve the above requirements without result in demolition of elements marked on the approved plans for retention.

22. Sydney Water – Tap In

Prior to the issue of a Construction Certificate, the Certifying Authority is required to ensure approval has been granted through Sydney Water's online 'Tap In' program to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met.

Note: Please refer to the web site <http://www.sydneywater.com.au/tapin/index.htm> for details on the process or telephone 13 20 92

23. Construction Methods to Minimise Impact on Trees

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with details certified by a suitably qualified Arborist demonstrating that the footings of the approved planter, utilise tree sensitive construction techniques (such as isolated pier or pier and beam construction) within the specified radius of the trunk/s of the following tree/s:

| Tree No. | Botanical/Common Name | Radius in metres |
|----------|---------------------------------------|------------------|
| 3 | <i>Acer palmatum</i> (Japanese Maple) | 2.4 |

Prior to the issue of a Construction Certificate, the Certifying Authority must verify that no proposed underground services are located beneath the canopy of any prescribed tree/s located on the subject site and adjoining sites (including trees located within the public domain).

DURING DEMOLITION AND CONSTRUCTION

24. Construction Hours – Class 1 and 10

Unless otherwise approved by Council, excavation, demolition, construction or subdivision work are only permitted between the hours of 7:00am to 5.00pm, Mondays to Saturdays (inclusive) with no works permitted on, Sundays or Public Holidays.

25. Canopy and Root Pruning

Canopy and/or root pruning of the following tree/s which is necessary to accommodate the approved building works must be undertaken by, or directly supervised by, the Project Arborist.

| Tree No. | Botanical/Common Name | Radius in metres |
|----------|--|------------------|
| 1 | <i>Ficus macrocarpa</i> var. <i>hillii</i> (Hills Weeping Fig) | 11.28 |
| 2 | <i>Ficus macrocarpa</i> var. <i>hillii</i> (Hills Weeping Fig) | 12.96 |

The person acting on this consent has approval under Council's Tree Management Controls to; prune the canopy to achieve a clearance of the structure. Pruning is limited to those branches that will come into direct contact the built structure and where branch diameter (at its point of attachment) does not exceed 40 mm.

26. Inspections by Project Arborist

The trees to be retained must be inspected, monitored and treated by the Project Arborist during and after completion of development works to ensure their long-term survival. Regular inspections and documentation from the Project Arborist to the Certifying Authority are required at the following times or phases of work:

| Tree No./ Botanical/ Common Name/ Location | Time of Inspection | Key stage/ Hold point |
|--|--------------------------------|---|
| Tree 1 <i>Ficus macrocarpa</i> var. <i>hillii</i> (Hills Weeping Fig) - front of site on Council land Tree 2 <i>Ficus macrocarpa</i> var. <i>hillii</i> (Hills Weeping Fig) - front of site on Council land Tree 3 <i>Acer palmatum</i> (Japanese Maple) - rear of 21 Northwood Street | Prior to commencement of works | <ul style="list-style-type: none"> Inspection and sign off installation of tree protection measures. |

| | | |
|--|--------------|---|
| | During Works | <ul style="list-style-type: none"> • Supervise all site preparation and demolition works within the TPZ; • Supervise all works inside or above the TPZ; • Supervise all excavation, trenching works, landscaping works and tree/planting replenishment within the TPZ; • Supervise all tree work. |
|--|--------------|---|

Recommendations to ensure the tree/s long term survival must be carried out immediately upon receipt of the report.

PRIOR TO OCCUPATION CERTIFICATE

27. Public Domain Works

Prior to the issue of an Occupation Certificate, the Principal Certifier must be provided with written evidence from Council that the following works on the Road Reserve have been completed in accordance with the requirements of the approval under Section 138 of the *Roads Act 1993* including:

- a. Light/Heavy duty concrete vehicle crossing(s) at the vehicular access location(s);
- b. The redundant vehicular crossing to the site must be removed and replaced by kerb and gutter and footpath. Where the kerb in the vicinity of the redundant crossing is

predominately stone (as determined by Council's Engineer) the replacement kerb must also be in stone;

- c. The existing concrete footpath across the frontage of the site must be reconstructed; and
- d. Other works subject to the *Roads Act 1993* approval.

All works must be constructed in accordance with Council's standards and specifications and AUS-SPEC#2-“Roadworks Specifications”.

28. No Encroachments

Prior to the issue of an Occupation Certificate, the Principal Certifier must ensure that any encroachments on to Council road or footpath resulting from the building works have been removed, including opening doors, gates and garage doors with the exception of any awnings or balconies approved by Council.

29. Protect Sandstone Kerb

Prior to the issue of an Occupation Certificate, the Principal Certifier must ensure that any stone kerb, damaged as a consequence of the work that is the subject of this development consent, has been replaced.

30. Light Duty Vehicle Crossing

Prior to the issue of an Occupation Certificate, the Principal Certifier must ensure that a light duty concrete vehicle crossing(s), in accordance with Council's Standard crossing and footpath specifications and AUS-SPEC#2-“Roadworks Specifications” have been constructed at the vehicular access locations.

31. Parking Signoff – Minor Developments

Prior to the issue of an Occupation Certificate, the Principal Certifier must be provided with certification from a qualified practising Civil Engineer that the vehicle access and off street parking facilities have been constructed in accordance with the approved design and relevant Australian Standards.

32. Certification of Tree Planting

Prior to the issue of any Occupation Certificate, the Principal Certifier is to be provided with evidence certified by a person holding a minimum qualification of AQF3 Certificate of Horticulture or Arboriculture that:

A minimum of 1 x 75litre size additional tree, which will attain a minimum mature height of six (6) metres, must be planted in a more suitable location within the property at a minimum of 1.5 metres from any boundary or structure and allowing for future tree growth. The tree is to conform to AS2303—*Tree stock for landscape use*. Trees listed as exempt species from Council's Tree Management Controls, and species recognised to have a short life span will not be accepted as suitable replacements.

If the replacement trees are found to be faulty, damaged, dying or dead within twelve (12) months of planting then they must be replaced with the same species (up to 3 occurrences). If the trees are found dead before they reach a height where they are protected by Council's Tree Management Controls, they must be replaced with the same species.

33. Project Arborist Certification

Prior to the issue of any Occupation Certificate, the Principal Certifier is to be provided with certification from the project arborist the requirements of the conditions of consent related to the landscape plan and the role of the project arborist have been complied with.

ON-GOING

34. Bin Storage

All bins are to be stored within the site.

35. Tree Establishment

The tree/s planted as part of this consent is/are to be maintained in a healthy and vigorous condition for 12 months from the issue of an Occupation Certificate. If any of the tree/s is/are found faulty, damaged, dying or dead within 12 months of the issue of an Occupation Certificate it/they must be replaced with the same species within one (1) month (up to 3 occurrences).

ADVISORY NOTES

Permits

Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent must obtain all applicable Permits from Council in

accordance with Section 68 (Approvals) of the *Local Government Act 1993* and/or Section 138 of the *Roads Act 1993*. Permits are required for the following activities:

- a. Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application;
- b. A concrete pump across the roadway/footpath;
- c. Mobile crane or any standing plant;
- d. Skip Bins;
- e. Scaffolding/Hoardings (fencing on public land);
- f. Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.;
- g. Awning or street veranda over the footpath;
- h. Partial or full road closure; and
- i. Installation or replacement of private stormwater drain, utility service or water supply.

If required contact Council's Road Access team to ensure the correct Permit applications are made for the various activities. Applications for such Permits must be submitted and approved by Council prior to the commencement of the works associated with such activity.

Insurances

Any person acting on this consent or any contractors carrying out works on public roads or Council controlled lands is required to take out Public Liability Insurance with a minimum cover of twenty (20) million dollars in relation to the occupation of, and approved works within those lands. The Policy is to note, and provide protection for Inner West Council, as an interested party and a copy of the Policy must be submitted to Council prior to commencement of the works. The Policy must be valid for the entire period that the works are being undertaken on public property.

Prescribed Conditions

This consent is subject to the prescribed conditions of consent within Sections 69-86 of the *Environmental Planning and Assessment Regulations 2021*.

Notification of commencement of works

At least 7 days before any demolition work commences:

- a. The Council must be notified of the following particulars:
 - i. the name, address, telephone contact details and licence number of the person responsible for carrying out the work; and
 - ii. the date the work is due to commence and the expected completion date; and

- b. A written notice must be placed in the letter box of each directly adjoining property identified advising of the date the work is due to commence.

Storage of Materials on public property

The placing of any materials on Council's footpath or roadway is prohibited, without the prior consent of Council.

Infrastructure

The developer must liaise with the Sydney Water Corporation, Ausgrid, AGL and Telstra concerning the provision of water and sewerage, electricity, natural gas and telephones respectively to the property. Any adjustment or augmentation of any public utility services including Gas, Water, Sewer, Electricity, Street lighting and Telecommunications required as a result of the development must be undertaken before occupation of the site.

Toilet Facilities

The following facilities must be provided on the site:

- a. Toilet facilities in accordance with WorkCover NSW requirements, at a ratio of one toilet per every 20 employees; and
- b. A garbage receptacle for food scraps and papers, with a tight fitting lid.

Facilities must be located so that they will not cause a nuisance.

Other Approvals may be needed

Approvals under other acts and regulations may be required to carry out the development. It is the responsibility of property owners to ensure that they comply with all relevant legislation. Council takes no responsibility for informing applicants of any separate approvals required.

Failure to comply with conditions

Failure to comply with the relevant provisions of the *Environmental Planning and Assessment Act 1979* and/or the conditions of this consent may result in the serving of penalty notices or legal action.

Other works

Works or activities other than those approved by this Development Consent will require the submission of a new Development Application or an application to modify the consent under Section 4.55 of the *Environmental Planning and Assessment Act 1979*.

Obtaining Relevant Certification

This development consent does not remove the need to obtain any other statutory consent or approval necessary under any other Act, such as (if necessary):

- a. Application for any activity under that Act, including any erection of a hoarding;
- b. Application for a Construction Certificate under the *Environmental Planning and Assessment Act 1979*;
- c. Application for an Occupation Certificate under the *Environmental Planning and Assessment Act 1979*;
- d. Application for a Subdivision Certificate under the *Environmental Planning and Assessment Act 1979* if land (including stratum) subdivision of the development site is proposed;
- e. Application for Strata Title Subdivision if strata title subdivision of the development is proposed;
- f. Development Application for demolition if demolition is not approved by this consent;
or
- g. Development Application for subdivision if consent for subdivision is not granted by this consent.

National Construction Code (Building Code of Australia)

A complete assessment of the application under the provisions of the National Construction Code (Building Code of Australia) has not been carried out. All building works approved by this consent must be carried out in accordance with the requirements of the National Construction Code.

Notification of commencement of works

Residential building work within the meaning of the *Home Building Act 1989* must not be carried out unless the PCA (not being the council) has given the Council written notice of the following information:

- a. In the case of work for which a principal contractor is required to be appointed:
 - i. The name and licence number of the principal contractor; and
 - ii. The name of the insurer by which the work is insured under Part 6 of that Act.
- b. In the case of work to be done by an owner-builder:
 - i. The name of the owner-builder; and
 - ii. If the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

Dividing Fences Act

The person acting on this consent must comply with the requirements of the *Dividing Fences Act 1991* in respect to the alterations and additions to the boundary fences.

Permits from Council under Other Acts

Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent must obtain all applicable Permits from Council in accordance with Section 68 (Approvals) of the *Local Government Act 1993* and/or Section 138 of the *Roads Act 1993*. Permits are required for the following activities:

- a. Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application;
- b. A concrete pump across the roadway/footpath;
- c. Mobile crane or any standing plant;
- d. Skip bins;
- e. Scaffolding/Hoardings (fencing on public land);
- f. Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.;
- g. Awning or street verandah over footpath;
- h. Partial or full road closure; and
- i. Installation or replacement of private stormwater drain, utility service or water supply.

Contact Council's Road Access team to ensure the correct Permit applications are made for the various activities. A lease fee is payable for all occupations.

Noise

Noise arising from the works must be controlled in accordance with the requirements of the *Protection of the Environment Operations Act 1997*.

Lead-based Paint

Buildings built or painted prior to the 1970's may have surfaces coated with lead-based paints. Recent evidence indicates that lead is harmful to people at levels previously thought safe. Children particularly have been found to be susceptible to lead poisoning and cases of acute child lead poisonings in Sydney have been attributed to home renovation activities involving the removal of lead based paints. Precautions should therefore be taken if painted surfaces are to be removed or sanded as part of the proposed building alterations, particularly where children or pregnant women may be exposed, and work areas should be thoroughly cleaned prior to occupation of the room or building.

Useful Contacts

| | | |
|--|--|--|
| BASIX Information | 1300 650 908 weekdays 2:00pm - 5:00pm | www.basix.nsw.gov.au |
| Department of Fair Trading | 13 32 20 | www.fairtrading.nsw.gov.au |
| | Enquiries relating to Owner Builder Permits and Home Warranty Insurance. | |
| Dial Prior to You Dig | 1100 | www.dialprior toyoudig.com.au |
| Landcom | 9841 8660 | To purchase copies of Volume One of "Soils and Construction" |
| Long Service Corporation | Payments 131441 | www.lspc.nsw.gov.au |
| NSW Food Authority | 1300 552 406 | www.foodnotify.nsw.gov.au |
| NSW Government | | www.nsw.gov.au/fibro www.diysafe.nsw.gov.au |
| | Information on asbestos and safe work practices. | |
| NSW Office of Environment and Heritage | 131 555 | www.environment.nsw.gov.au |
| Sydney Water | 13 20 92 | www.sydneywater.com.au |

Waste Service - SITA 1300 651 116
Environmental Solutions
www.wasteservice.nsw.gov.au

Water Efficiency Labelling and Standards (WELS) www.waterrating.gov.au

WorkCover Authority of NSW 13 10 50
www.workcover.nsw.gov.au

Enquiries relating to work safety and asbestos removal and disposal.

Consent of Adjoining property owners

This consent does not authorise the applicant, or the contractor engaged to do the tree works to enter a neighbouring property. Where access to adjacent land is required to carry out approved tree works, Council advises that the owner's consent must be sought. Notification is the responsibility of the person acting on the consent. Should the tree owner/s refuse access to their land, the person acting on the consent must meet the requirements of the *Access To Neighbouring Lands Act 2000* to seek access.

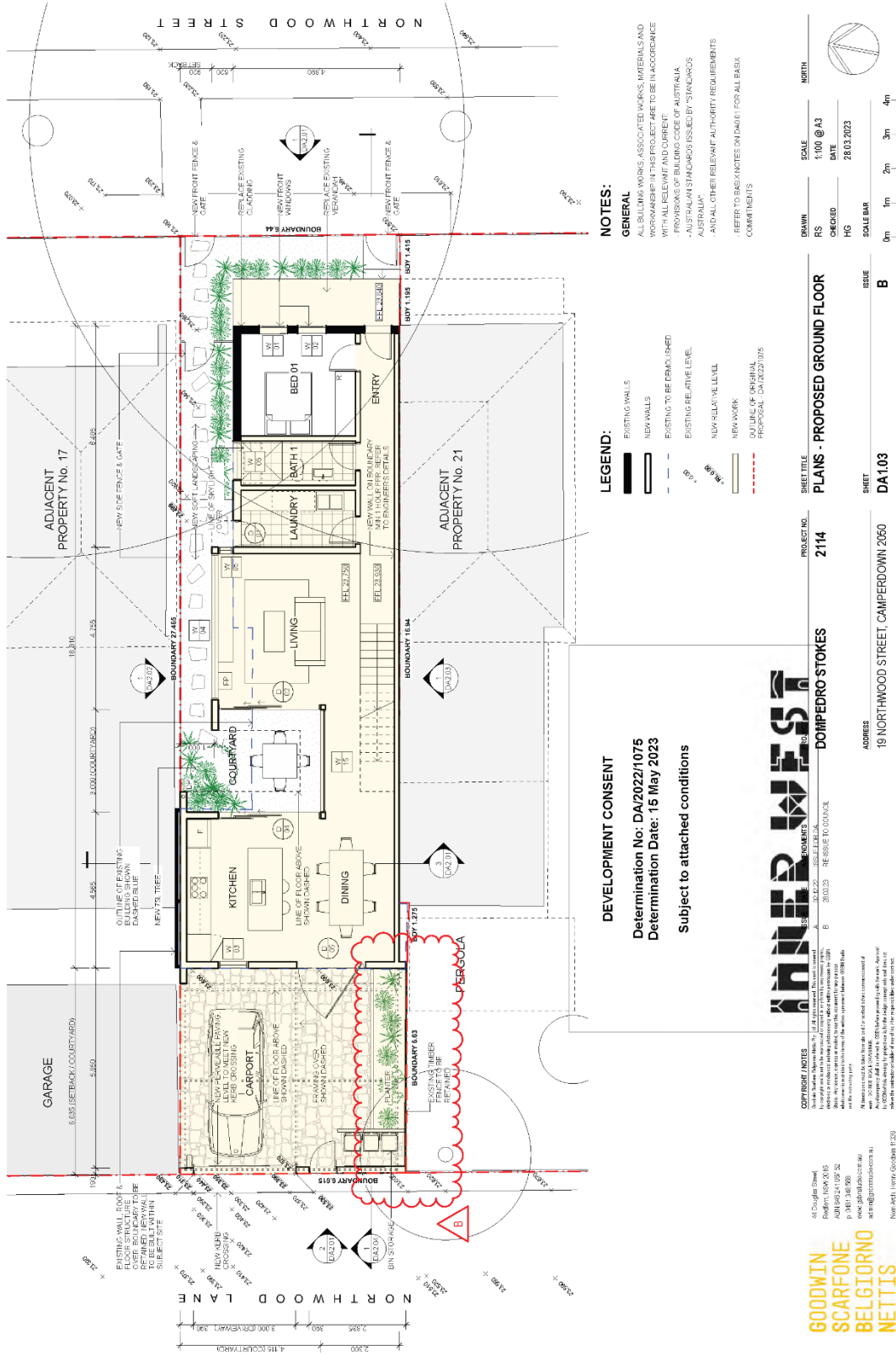
Arborists standards

All tree work must be undertaken by a practicing Arborist. The work must be undertaken in accordance with AS4373—*Pruning of amenity trees* and the Safe Work Australia Code of Practice—*Guide to Managing Risks of Tree Trimming and Removal Work*. Any works in the vicinity of the Low Voltage Overhead Network (including service lines—pole to house connections) must be undertaken by an approved Network Service Provider contractor for the management of vegetation conflicting with such services. Contact the relevant Network Service Provider for further advice in this regard.

Tree Protection Works

All tree protection for the site must be undertaken in accordance with Council's *Development Fact Sheet—Trees on Development Sites* and AS4970—*Protection of trees on development sites*.

Attachment D – Plans approved under DA/2022/1075



NOTES:

- GENERAL**
 ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (AS/NZS 1170:2011) AND THE BUILDING CODE OF AUSTRALIA (AS/NZS 1171:2011) AND ALL OTHER RELEVANT AUTHORITY REQUIREMENTS. REFER TO BASI/NOTES ON DA001 FOR ALL BASI COMMENTS.

LEGEND:

- EXISTING WALLS
- NEW WALLS
- EXISTING TO BE FINISHED
- EXISTING RELATIVE LEVEL
- NEW RELATIVE LEVEL
- NEW WORK
- OUTLINE OF ORIGINAL PROPOSAL DA/2022/1075

DEVELOPMENT CONSENT

Determination No: DA/2022/1075
 Determination Date: 15 May 2023
 Subject to attached conditions

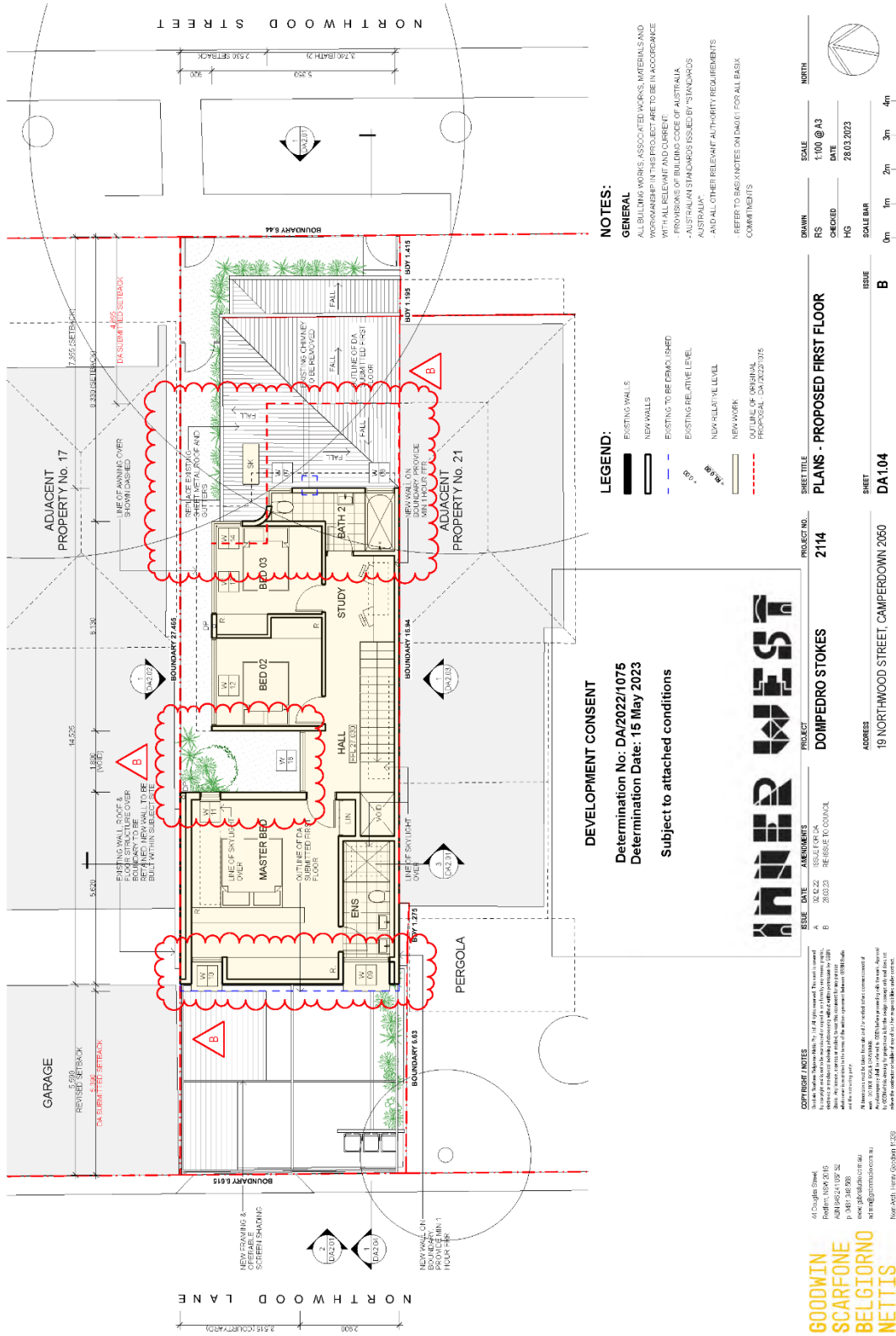
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| CHECKED | HG | 1:100 @ A3 | |
| DATE | | 28.03.2023 | |

| | | |
|-------------------------------|-------------|-------|
| SHEET TITLE | PROJECT NO. | ISSUE |
| PLANS - PROPOSED GROUND FLOOR | 2114 | B |

ADDRESS
 19 NORTHWOOD STREET, CAMPERDOWN 2050

INNER WEST
 DEVELOPMENT CONSULTANTS
 DOMPEDRO STOKES
 19 NORTHWOOD STREET, CAMPERDOWN 2050

GOODWIN SCARFONE BELGIORNO NETTIS
 41 Douglas Street
 Camperdown NSW 2050
 P 02 9550 1122
 F 02 9550 1123
 www.gwbnet.com.au
 info@gwbnet.com.au



LEGEND:

- EXISTING WALLS
- NEW WALLS
- EXISTING TO BE DEMOLISHED
- EXISTING RELATIVE LEVEL
- NEW RELATIVE LEVEL
- NEW WORK
- OUTLINE OF ORIGINAL PROPOSAL DA/2022/075

NOTES:

GENERAL

- ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS 2011 AND THE PROVISIONS OF BUILDING CODE OF AUSTRALIA
- AUSTRALIAN STANDARDS ISSUED BY "STANDARDS AUSTRALIA"
- AND ALL OTHER RELEVANT AUTHORITY REQUIREMENTS
- REFER TO BACK NOTES ON DRAWING FOR ALL TASK COMMENTS

DEVELOPMENT CONSENT
 Determination No: DA/2022/1075
 Determination Date: 15 May 2023
 Subject to attached conditions

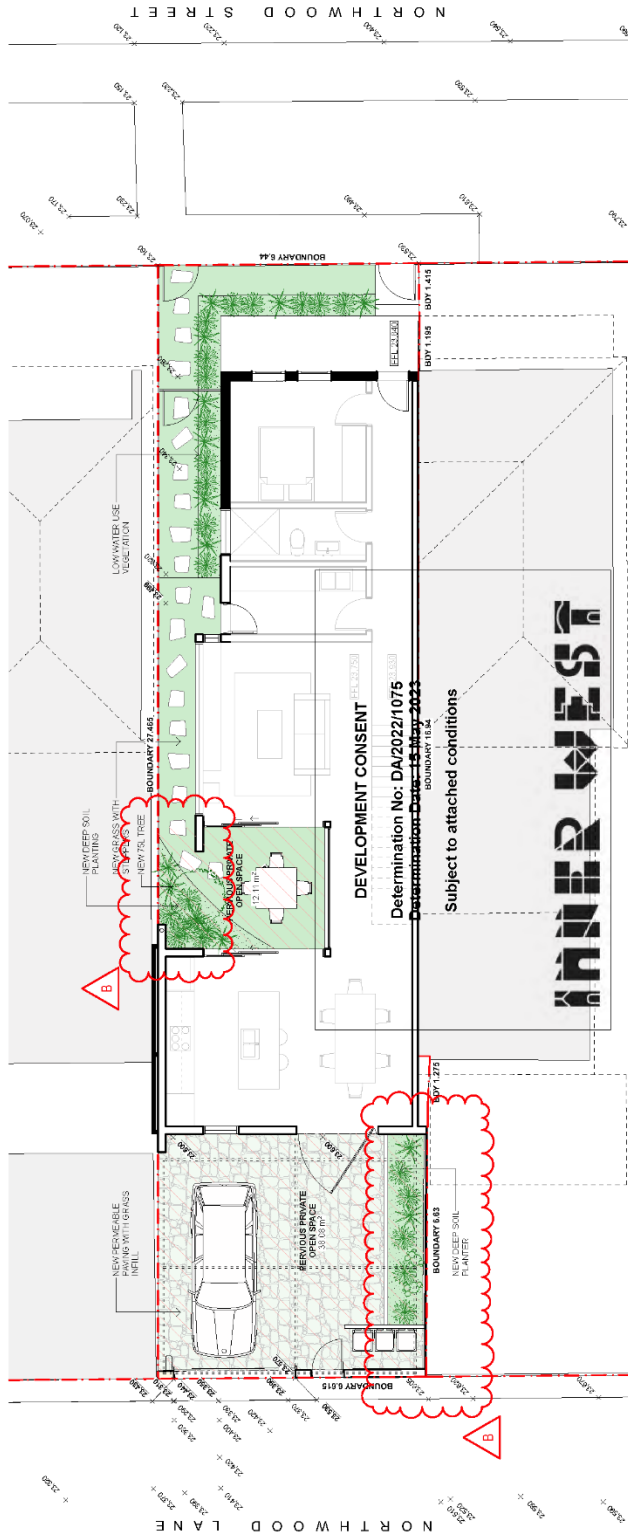


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|--------------------|------------------------------|------------------|---|------------------|--------------------------------------|
| PROJECT NO. | 2114 | PROJECT | DOMPEDRO STOKES | ADDRESS | 19 NORTHWOOD STREET, CAMPERDOWN 2060 |
| ISSUE DATE | 28.03.2023 | REVISIONS | A 04.02.23 ISSUE FOR DA B 28.03.23 RE-ISSUE TO COUNCIL | SHEET | DA1.04 |
| SCALE | 1:100 @ A3 | DATE | 28.03.2023 | ISSUE | B |
| DRAWN | RS | CHECKED | HG | SCALE BAR | 0m 1m 2m 3m 4m |
| SHEET TITLE | PLANS - PROPOSED FIRST FLOOR | | | | |
| ORIENT | NORTH | | | | |

GOODWIN SCARFONE BELGIORNO NETTIS

47 Douglas Street
 Camperdown NSW 2050
 t 02 9550 1032
 p 02 9550 1032
 www.gwbnet.com.au
 info@gwbnet.com.au

Drawn by: Henry, Colleen 11/2023



LEGEND:

- PERVIOUS PRIVATE OPEN SPACE
- PERVIOUS SOFT LANDSCAPING
- PERVIOUS PAVING

DA COMPLIANCE TABLE:

| ITEM | EXISTING | PROPOSED | STANDARD | COMPLIANT |
|---------------------------------|---------------------|--------------------------|---------------------|-----------|
| SITE AREA | 178.2m ² | - | - | - |
| GROSS FLOOR AREA (GROUND FLOOR) | 87.03m ² | 83.98m ² | - | - |
| GROSS FLOOR AREA (FIRST FLOOR) | - | 63.55m ² | - | - |
| TOTAL GROSS FLOOR AREA | 87.03m ² | 147.53m ² | 178.2m ² | YES |
| FSR | 0.481 | 0.831 | 1.1 | YES |
| PRIVATE OPEN SPACE (TOTAL) | 23.29m ² | 50.25m ² | 45m ² | YES |
| PRIVATE OPEN SPACE (PERVIOUS) | 0m ² | 22.5m ² (50%) | - | YES |
| SITE COVERAGE | 73.5% | 56.6% | - | - |

DEVELOPMENT CONSENT
 Determination No: DA/2022/1075
 Determination Date: 14 March 2023
 Subject to attached conditions



GOODWIN
SCARFONE
BELGIORNO
NETTIS

47 Douglas Street
 North Sydney NSW 1585
 t 02 9382 1037 f 02 9382 1032
 p 0817 348 898
 www.gwbnet.com.au
 info@gwbnet.com.au

North Sydney, Sydney, Queensland 41025

PROJECT
 2114
DOMPEDRO STOKES
 19 NORTHWOOD STREET, CAMPERDOWN 2060

ISSUE DATE
 28.03.2023

AMENDMENTS
 A ISSUE FOR DA
 B RE-ISSUE TO COUNCIL

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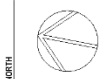
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DATE
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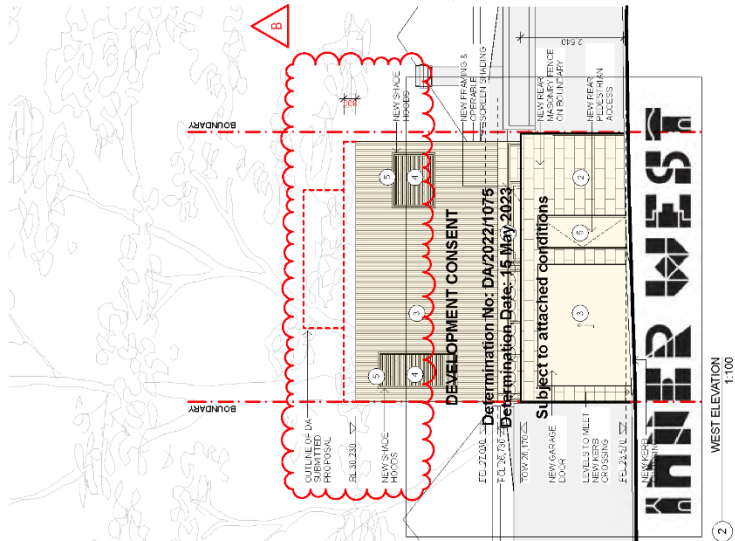
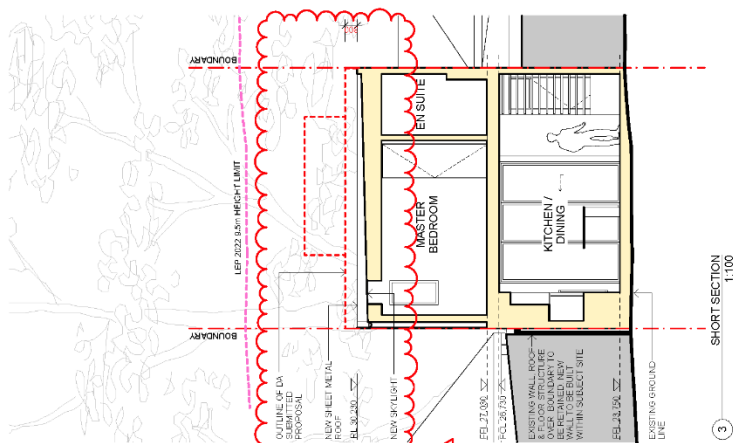
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SHEET TITLE
 LANDSCAPE PLAN

SHEET
 DA1.05

ISSUE
 B





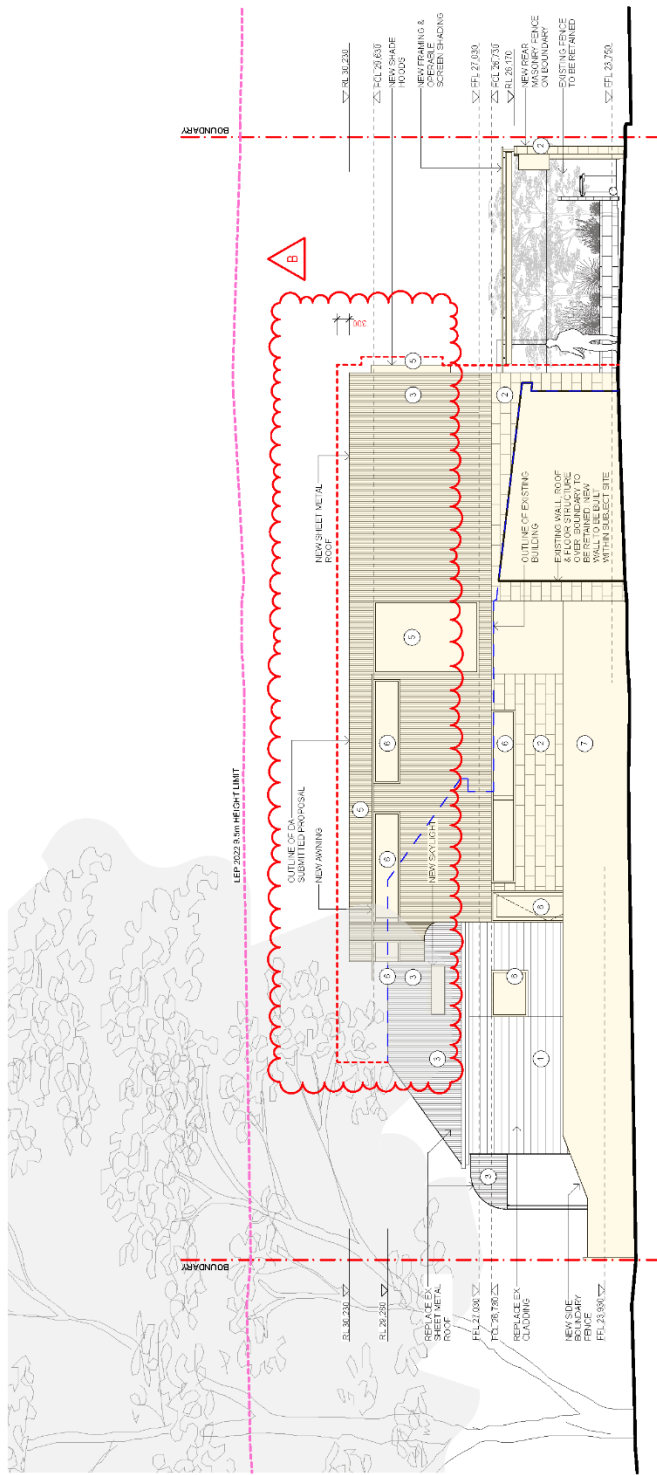
EXTERIOR FINISHES:

- 1 WEATHERBARDS PAINT FINISH
- 2 CONCRETE BLOCK
- 3 SHEET METAL
- 4 LOUIRES
- 5 STEEL PAINT FINISH
- 6 ALUMINIUM DOORS & WINDOWS
- 7 TIMBER FLOOR PAINT FINISH

NOTES:

- GENERAL**
- ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH ALL RELEVANT AND CURRENT PROVISIONS OF BUILDING CODE OF AUSTRALIA
- AUSTRALIAN STANDARDS ISSUED BY STANDARDS AUSTRALIA
- AND ALL OTHER RELEVANT AUTHORITY REQUIREMENTS
- REFER TO BASIX NOTES ON DA01 FOR ALL BASIX COMMITMENTS

| | | | | | | | | | | |
|--|--|--|---|--|--|---|----------------------------------|---|--|---------------------|
| GOODWIN SCARFONE BELGIORNO NETTIS | | 41 Douglas Street Newtown NSW 1590 t 02 9888 3100 f 02 9888 1072 www.nettis.com.au info@nettis.com.au New South Wales, Sydney NSW 1590 | ISSUE DATE: 28/03/23 REVISIONS: A ISSUE FOR DA B RE-ISSUE TO COUNCIL | PROJECT: 2114 DOMPEDRO STOKES | PROJECT NO.: 2114 ADDRESS: 19 NORTHWOOD STREET, CAMPERDOWN 2060 | SHEET: DA2.01 ISSUE: B | SCALE BAR: 0m 1m 2m 3m 4m | SCALE: 1:100 @ A3 DATE: 28.03.2023 | DRAWN: RS CHECKED: HG | NORTH: NORTH |
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DEVELOPMENT CONSENT
 Determination No: DA/2022/1075
 Determination Date: 15 May 2023
 Subject to attached conditions



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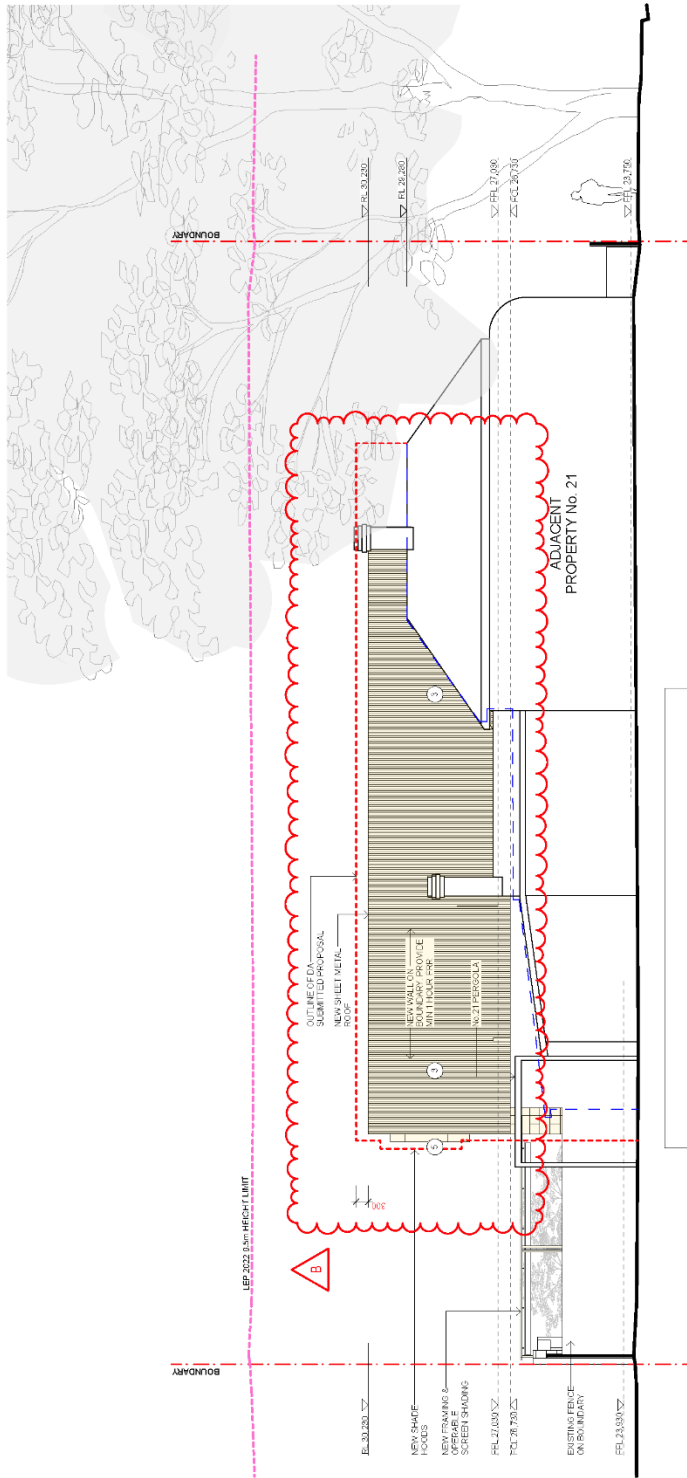
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 - AUSTRALIAN STANDARDS ISSUED BY STANDARDS AUSTRALIA
 - AND ALL OTHER RELEVANT AUTHORITY REQUIREMENTS
 - REFER TO BAS/NOTES ON D010 FOR ALL BASIS COMMITMENTS

EXTERIOR FINISHES:

- 1) WEATHERBOARD: PAINT FINISH
- 2) CONCRETE BLOCK
- 3) SHEET METAL
- 4) LOUIRES
- 5) STEEL PAINT FINISH
- 6) ALUMINIUM DOORS & WINDOWS
- 7) TIMBER FLOOR: PAINT FINISH

| | | | | | | | | | |
|---|--|---|--|---|--|--|--|--|--|
| GOODWIN SCARFONE BELGIORNO NETTIS | | 4/ Douglas Street Sydney NSW 1585 t 02 9550 1037 p 0871 348 899 www.gscarfone.com.au info@gscarfone.com.au New South Wales, Sydney 1585 | | PROJECT NO. 2114 | | PROJECT DOMPEDRO STOKES | | ADDRESS 19 NORTHWOOD STREET, CAMPERDOWN 2060 | |
| DATE 28.03.2023 | | ISSUE FOR DA RE-ISSUE TO COUNCIL | | SCALE 1:100 @ A3 | | CHECKED HG | | DATE 28.03.2023 | |
| ISSUE B | | SCALE BAR 0m 1m 2m 3m 4m | | SHRINK TITLE ELEVATIONS - SHEET 2 | | SCALE BAR 0m 1m 2m 3m 4m | | ISSUE B | |
| SHRINK TITLE ELEVATIONS - SHEET 2 | | PROJECT NO. 2114 | | PROJECT DOMPEDRO STOKES | | ADDRESS 19 NORTHWOOD STREET, CAMPERDOWN 2060 | | SCALE BAR 0m 1m 2m 3m 4m | |

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Version: 1, Version Date: 09/06/2023



DEVELOPMENT CONSENT
 Determination No: DA/2022/1075
 Determination Date: 15 May 2023
 Subject to attached conditions



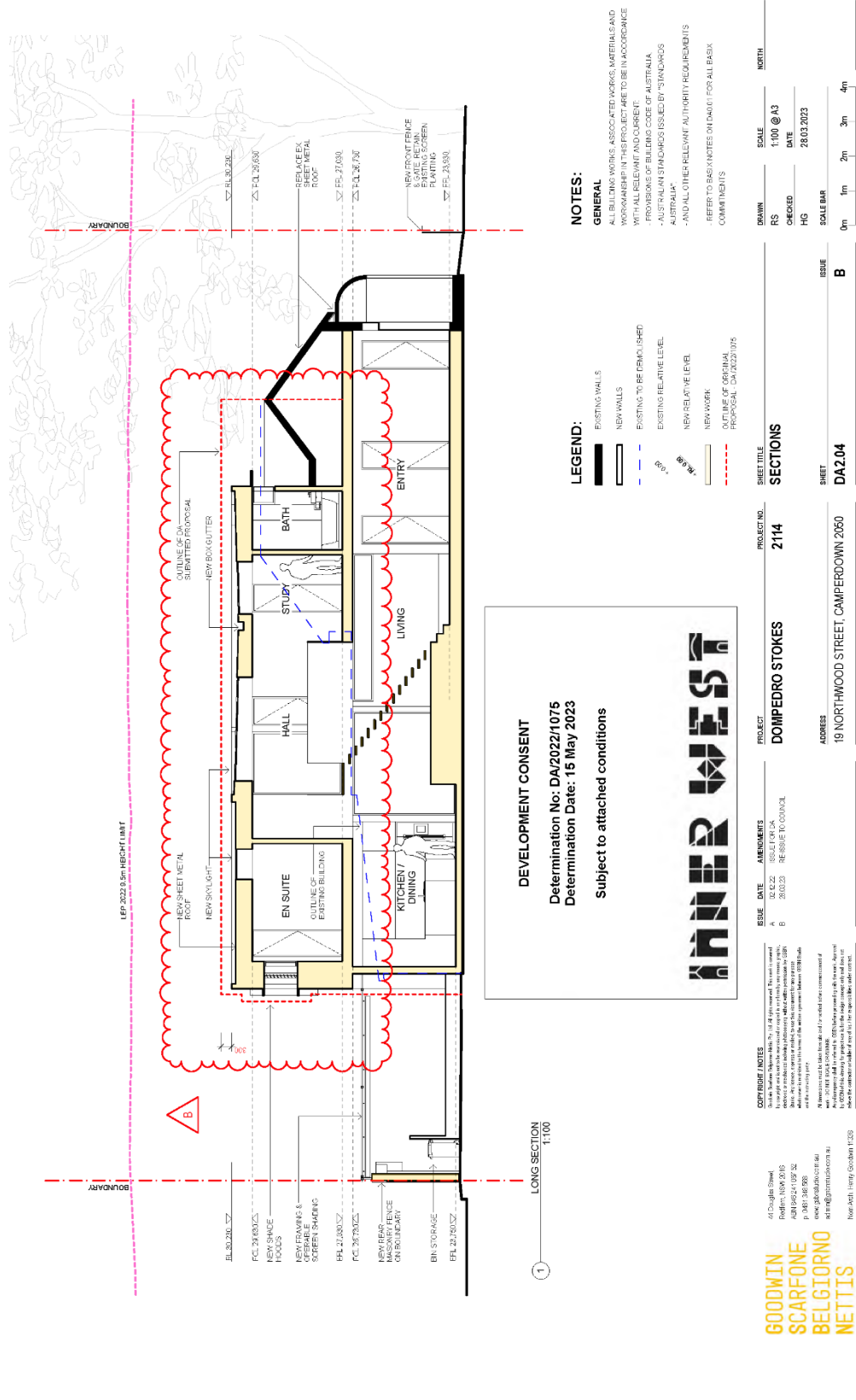
NOTES:

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 - AND ALL OTHER RELEVANT AUTHORITY REQUIREMENTS
 - REFER TO BASI'S NOTES ON DA0101 FOR ALL BASI COMMITMENTS

EXTERIOR FINISHES:

- 1 WEATHERBOARD: PAINT FINISH
- 2 CONCRETE BLOCK
- 3 SHEET METAL
- 4 LOUVERES
- 5 STEEL PAINT FINISH
- 6 ALUMINIUM DOORS & WINDOWS
- 7 TIMBER FLOOR: PAINT FINISH

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| <p>GOODWIN SCARFONE BELGIORNO NETTIS 4/1 Douglas Street North Sydney NSW 1585 t 02 9382 1032 f 02 9382 1032 p 0817 348 898 o www.gpbnet.com.au a info@gpbnet.com.au nsw.austl nsw.gov.au 11/2023</p> | | <p>INNER WEST</p> | |
| <p>DEVELOPMENT CONSENT Determination No: DA/2022/1075 Determination Date: 15 May 2023 Subject to attached conditions</p> | | <p>PROJECT DOMPEDRO STOKES</p> | |
| <p>ISSUE DATE A 04/02/2023 B 28/03/2023</p> | | <p>PROJECT NO. 2114</p> | |
| <p>ISSUE FOR DA RE-ISSUE TO COUNCIL</p> | | <p>ADDRESS 19 NORTHWOOD STREET, CAMPERDOWN 2060</p> | |
| <p>SCALE 1:100 @ A3</p> | | <p>SCALE BAR 0m 1m 2m 3m 4m</p> | |
| <p>CHECKED HG</p> | | <p>DATE 28.03.2023</p> | |
| <p>SCALE BAR 0m 1m 2m 3m 4m</p> | | <p>ISSUE B</p> | |
| <p>SHIPE TITLE ELEVATIONS - SHEET 3</p> | | <p>SHIPE DA2.03</p> | |



DEVELOPMENT CONSENT
 Determination No: DA/2022/1075
 Determination Date: 15 May 2023
 Subject to attached conditions

NOTES:
GENERAL
 ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH ALL RELEVANT AND CURRENT PROVISIONS OF BUILDING CODE OF AUSTRALIA.
 - ALL PLUMBING STANDARDS ISSUED BY THE INCORPORATED ENGINEERS BOARD OF AUSTRALIA.
 - ALL OTHER RELEVANT AUTHORITY REQUIREMENTS REFER TO BAS (NOTES ON DA01) FOR ALL BACK COMMENTS.

- LEGEND:**
- EXISTING WALLS
 - NEW WALLS
 - - - EXISTING TO BE DEMOLISHED
 - - - EXISTING RELATIVE LEVEL
 - - - NEW RELATIVE LEVEL
 - - - NEW WORK
 - - - OUTLINE OF ORIGINAL PROPOSAL - DA/2022/1075

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| ISSUE | B | ADDRESS | 19 NORTHWOOD STREET, CAMPERDOWN 2060 |
| SHEET | DA2.04 | | |

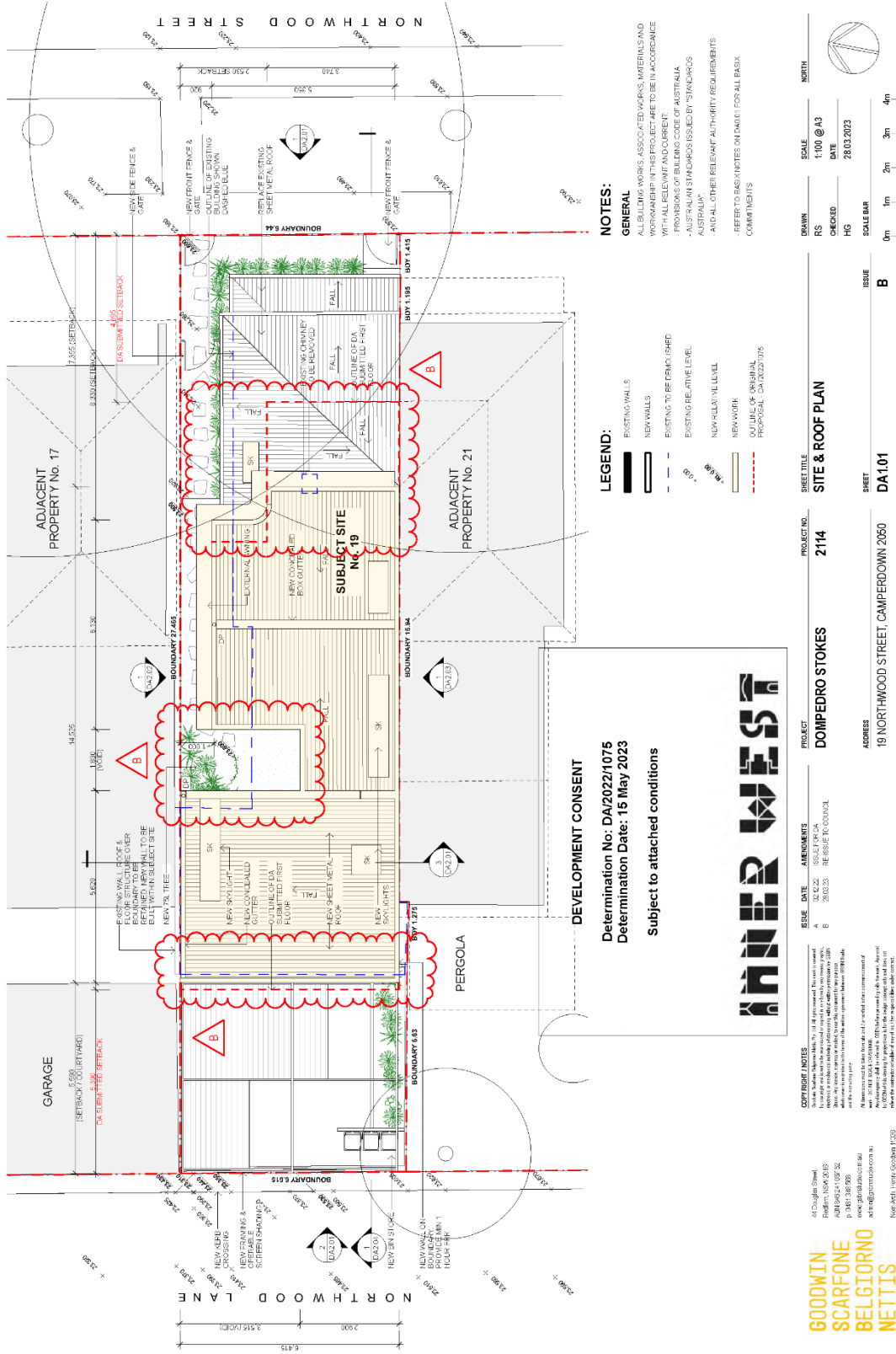
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| ISSUE DATE | 28.03.2023 | REVISIONS | RE-ISSUE TO COUNCIL |
| PROJECT | DOMPEDRO STOKES | | |

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 All dimensions are in millimetres unless otherwise stated.
 All drawings are to be read in conjunction with the following documents:
 - 2019 NSW State Planning Instrument (SP19/2019) - Development Control Plan (DCP) for the Inner West Council Local Government Area
 - 2019 NSW State Planning Instrument (SP19/2019) - Development Control Plan (DCP) for the Inner West Council Local Government Area
 - 2019 NSW State Planning Instrument (SP19/2019) - Development Control Plan (DCP) for the Inner West Council Local Government Area

GOODWIN SCARFONE BELGIORNO NETTIS

4/1 Douglas Street
 Camperdown NSW 2050
 Phone: 02 9550 1000
 Fax: 02 9550 1002
 Email: info@gwbnet.com.au

19 Northwood Street, Camperdown NSW 2060



DEVELOPMENT CONSENT
 Determination No: DA/2022/1075
 Determination Date: 15 May 2023
 Subject to attached conditions

INNER WEST

EXTERNAL FINISHES SCHEDULE

| ISSUE | DATE | AMENDMENTS | PROJECT NO. | SHEET TITLE | SCALE | DRAWN | CHECKED | DATE | ISSUE |
|-------|----------|--------------|-------------|----------------------------|------------|-------|---------|------------|-------|
| A | 20/11/22 | ISSUE FOR DA | 2114 | EXTERNAL FINISHES SCHEDULE | 1:100 @ A3 | RS | HG | 23/11/2022 | A |

PROJECT
 PROJECT NO. 2114
 PROJECT DOMPEDRO STOKES
 ADDRESS 19 NORTHWOOD STREET, CAMPERDOWN 2060

PROJECT AMENDMENTS

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CONTACT INFORMATION
 Goodwin Scarfone Belgiorno Nettis
 4/ Douglas Street
 Camperdown NSW 2060
 t 02 9550 1037 f 02 9550 1038
 p 0887 248 008
 www.gsn.net.au
 info@gsn.net.au

SCALE BAR
 0m 1m 2m 3m 4m

WEATHERBOARDS 1 PAINT FINISH - WHITE
CONCRETE BLOCK 2 LIGHT GREY - WHITE
SHEET METAL 3 POLYSPRING ZINC ALUMINE
LOUVRES 4 WARRLESS STEEL
STEEL PAINT FINISH 5 (GFP)
ALUMINIUM WINDOWS & DOORS 6 LIGHT GREY
TIMBER FENCE 7 PAINT FINISH

NORTH ELEVATION 1:100
EAST ELEVATION 1:100
WEST ELEVATION 1:100