





 DEVELOPMENT ASSESSMENT REPORT			
Application No.	MOD/2023/0137		
Address	4 Caroline Street BALMAIN NSW 2041		
Proposal	Modification to approved works inclusive of the following: deletion of deferred commencement condition relating to car access to lane and carstacker, changes to internal layout, new pool, new basement home theatre and utility room, changes to external works.		
Date of Lodgement	20 May 2023		
Applicant	Landmark Investments Australia Pty Ltd		
Owner	Landmark Investments Australia Pty Ltd		
Number of Submissions	12 plus petition with 27 signatures		
Value of works	\$2,000,000.00		
Reason for determination at Planning Panel	Number of submissions		
Main Issues	Vehicle use of Jaggars Lane		
Recommendation	Approved with Conditions		
Attachment A	Recommended conditions of consent to be modified		
Attachment B	Notice of Determination DA/2022/0322		
Attachment C	Plans of Proposed Modification		
Attachment D	Plans of Approved Development		
			
LOCALITY MAP			
Subject Site		Objectors 	N ↑
Notified Area		Supporters 	
		Neutral 	
Note: The address of the head petitioner has been identified on the map above and not the addresses of the petition signers. As noted previously, the petition contained 27 signatures.			

1. Executive Summary

This report is an assessment of the application submitted to Council for a Modification to DA/2022/0322 to the approved works inclusive of the following: deletion of deferred commencement condition relating to car access to lane, changes to internal layout, new pool, new basement home theatre and utility room, changes to external works at 4 Caroline Street BALMAIN.

The application was notified to surrounding properties and 12 individual letters (ten opposed, one neutral, one in support) plus a petition opposing the use of the lane for cars containing 27 signatures were received in response to the notification.

The main issues that have arisen from the application include:

- Request to delete or re-word the terms of the deferred commencement condition with regard to vehicle access into and out of Jaggars Lane, and consequent implications for provision of the car parking on the site.

Council has received numerous individual submissions opposing any changes to the lane access, and vehicle use of the lane. Council has also received a petition in this regard.

Several submissions have also raised issues with the physical building works proposed.

Following on from representations from local residents, Council's Traffic Section is reporting to the Traffic Committee on a request from local residents that Jaggars Lane be closed to vehicle traffic and become pedestrian access (and bicycles) only. The above-mentioned report which is in support of closing the lane, is due to be considered by the Traffic Committee on 21 August 2023. The resolution of the Traffic Committee will be made available to Panel prior to the panel meeting.

2. Proposal

The modification application proposes, in detail, the following physical changes to the approved works:

- Minor internal layout changes to the ground and first floor.
- Addition of an ensuite in the void of the first floor in the addition.
- Reduction of a skylight.
- Addition of PV cells facing Jaggars Lane and rainwater tank.
- Addition of pool to rear courtyard.
- Minor increase to height of lift shaft/stairwell by 350mm
- Addition of basement, of approximately 50sqm, containing laundry, unnamed room and family/theatre room.

The modification proposal also requests amendment or deletion of the following Deferred Commencement condition:

A. Parking and Access

Amended architectural plans and documentation must be submitted to and approved by Council, demonstrating the following:

- Swept path diagrams which demonstrate parking access can be provided via Duncan Street to Jaggars Lane without requiring the relocation or removal of public*

infrastructure. The swept paths are to include the width of the carriage way and existing on-street parking spaces on the southern side of Duncan Street and west side of Colgate Street (it is noted that the width of an on-street parking space is 2400 mm). The swept paths must also include clearance distances of 300mm either side of the vehicle required by the Australian Standard AS2890.1, and prepared at a natural scale of 1:200.

ii. In the event that Deferred Commencement Condition A (i) can not be satisfied, amended architectural plans which illustrate that the proposed parking space, vehicular access and car stacker have been deleted.

Evidence of the above matter(s) must be submitted to Council within 2 years otherwise the Consent will not operate.

The modification has been accompanied by documentation which demonstrates relocation of the bollard located at the intersection of Jaggars Lane and Duncan St is essential in order to facilitate safe access into the lane by an 85 percentile vehicle. Consequently, the stipulation in the deferred commencement condition cannot be satisfied, and the Modification seeks to either amend or delete the condition, and make allowance for relocation of public infrastructure, in order to facilitate access to the private carstacker shown on the drawings.

3. Site Description

The subject site is located on the western side of Caroline Street, between Waterview Street and Colgate Avenue. The site consists of 1 allotment and is generally rectangular shaped with a total area of 297.1 sqm and is legally described as Lot 13 in DP 125 otherwise known as 4 Caroline Street Balmain.

The site has a frontage to Caroline Street of 8.235 metres and a secondary frontage of 36.795 metres to Jaggars Lane.

The site supports a one and two storey clad dwelling house. The adjoining properties support one and two storey dwelling houses.

The subject site is not listed as a heritage item however, is located within a heritage conservation area.

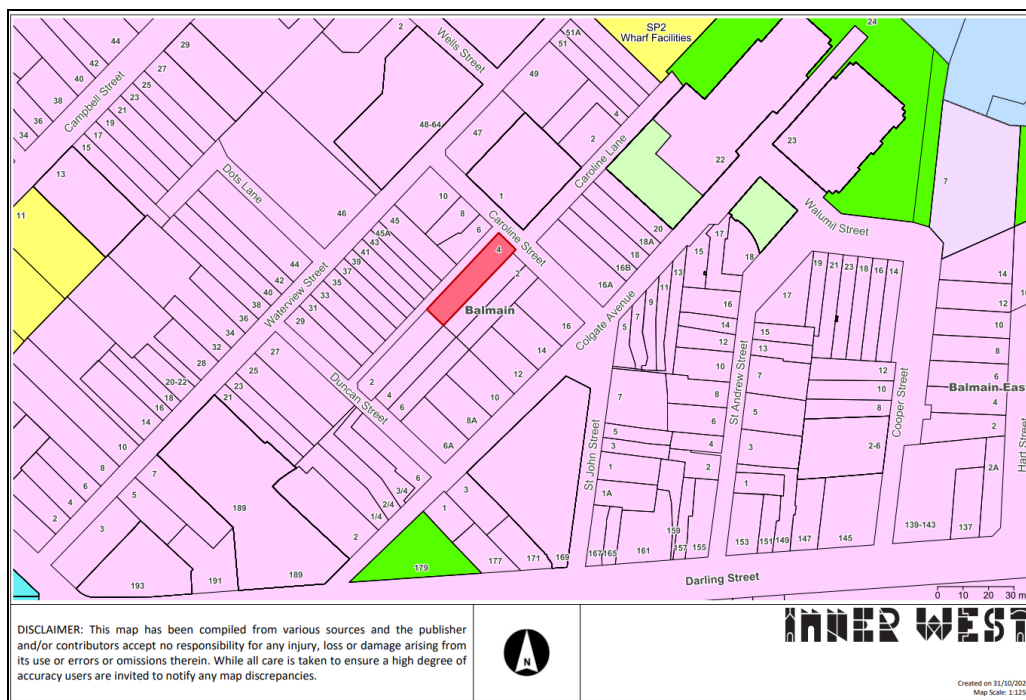


Figure 1 – Zoning Map of subject site

4. Background

4(a) Site history

The following application outlines the relevant development history of the subject site and any relevant applications on surrounding properties.

Subject Site

Application	Proposal	Decision & Date
DA/2022/0322	Alterations and additions including new car stacker	Approved (Deferred Commencement) IWLPP 6/12/2022

Surrounding properties

2 Caroline Street, Balmain

Application	Proposal	Decision & Date
DA/2020/0286	Demolition of existing dwelling subdivision of the site and construction of 2 two storey townhouses with basement parking	Approved in Land & Environment Court - 30/04/2021
PREDA/2019/172	Additional Pre-DA from PREDA/2019/9 Demolition of existing house, subdivision of the existing site, construction of two townhouses on basement parking	PDA Letter Issued - 10/12/2019
PREDA/2018/9	Demolition of existing house. Subdivision of the site into 2 lots. Construction of a dwelling on each lot with basement parking.	PDA Letter Issued - 11/04/2018
PREDA/2017/211	Demolition of existing dwelling and subdivision into two Torrens tile allotments.	PDA Letter Issued - 26/09/2017

6 Caroline Street, Balmain

Application	Proposal	Decision & Date
MOD/2020/0235	Section 4.55(2) Modification of Development Consent D/2018/68 which approved residential alterations and additions. Proposal seeks various changes, including to add first floor addition over approved ground floor addition	Approved - 10/09/2020
D/2018/68	Ground floor alterations and additions to existing residence.	Approved - 16/03/2018
PREDA/2017/303	Alterations and additions to existing residence.	PDA Letter Issued - 28/11/2017

5. Assessment

The following is a summary of the assessment of the application in accordance with Section 4.15 of the *Environmental Planning and Assessment Act 1979 (EPA Act 1979)*.

5(a) Environmental Planning Instruments

The application has been assessed against the relevant Environmental Planning Instruments listed below:

- *State Environmental Planning Policy (Resilience and Hazards) 2021*
- *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*
- *State Environmental Planning Policy (Biodiversity and Conservation) 2021*

The following provides further discussion of the relevant issues:

5(a)(i) *State Environmental Planning Policy (Resilience and Hazards) 2021*

Chapter 10 Sydney Harbour Catchment

The site is not located within the foreshores and waterways area, a Strategic Foreshore site or listed as an item of environmental heritage under the SEPP and as such only the aims of the plan are applicable. The proposal is consistent with these aims.

5(a)(ii) *Inner West Local Environmental Plan 2022 (IWLEP 2022)*

The application was assessed against the following relevant sections of the *Inner West Local Environmental Plan 2022*:

-
- Section 1.2 - Aims of Plan
- Section 2.3 - Land Use Table and Zone Objectives
- Section 2.7 – Demolition requires development consent
- Section 4.3C – Landscaped areas for residential accommodation in Zone R1
- Section 4.4 – Floor space ratio
- Section 4.4A – Exception to maximum floor space ratio for active street frontages
- Section 4.5 – Calculation of floor space ratio and site area
- Section 4.6 – Exceptions to development standards
- Section 5.10 – Heritage conservation
- Section 6.1 – Acid sulfate soils
- Section 6.2 – Earthworks

- Section 6.3 – Stormwater management

Section 2.3 Land Use Table and Zone Objectives

The applicable objectives for the R1 Zone are as follows:

1 Objectives of zone

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To provide residential development that maintains the character of built and natural features in the surrounding area.*

The proposal continues to be permissible and generally compliant with the Zone objectives.

Section 4.4 – Floor space ratio

The proposed basement will increase gross floor area on the site to 242sqm, which represents an FSR of 0.81:1. The allowable FSR is 0.9:1, and therefore the inclusion of the basement does not create any breach of the FSR development standard.

Section 4.3C – Landscaped areas for residential accommodation in Zone R1

The objectives of this development standard are as follows:

4.3C Landscaped areas for residential accommodation in Zone R1

(1) The objectives of this clause are as follows—

- (a) to provide landscaped areas for substantial tree planting and for the use and enjoyment of residents,*
- (b) to maintain and encourage a landscaped corridor between adjoining properties,*
- (c) to ensure that development promotes the desired character of the neighbourhood,*
- (d) to encourage ecologically sustainable development,*
- (e) to control site density,*
- (f) to provide for landscaped areas and private open space.*

The plans include an inground plunge pool, located adjacent to the approved deck. This would reduce landscaped area to 44.8sqm of the site equating to 15%, which is short of the 20% minimum required by the LEP. It would also result in there being no area on the site capable of accommodating the required canopy tree, as per condition 24 of the existing consent, as this is the only location where such a tree could be planted and still meet the requirement to be 1.5m clear of any other structure or boundary. This modification has not requested any change to condition 24 (which requires the tree planting).

If the car stacker is retained, then it would be preferable to relocate the pool in an easterly direction, on the other side of the deck stairs, and slightly reduce the deck in this space. If the car stacker was to be deleted (on the basis that the proposal is unable to satisfy the terms of the deferred commencement condition) then there would be ample space to accommodate decking, pool and a canopy tree.

In order to ensure the site can accommodate a canopy tree, a condition of consent will require the deletion of the pool. Should the issue of the carstacker be resolved a further Modification could reinstate this pool.

Section 5.10 – Heritage conservation

The proposed modifications are acceptable from a heritage perspective as they will not detract from the heritage significance of the Waterview Estate Heritage Conservation Area and are in accordance with Clause 5.10 Objectives 1(a) and (b) in the Leichhardt LEP 2013 and the relevant objectives and controls in the Leichhardt DCP 2013.

Section 6.3 – Earthworks

The modification includes an increased amount of excavation for the swimming pool and basement, whilst the swimming pool is not supported for unrelated reasons outlined in this report, it is considered that the earthworks associated with the proposed modifications are acceptable with regard to this section. Whilst an amended geotechnical report was not submitted with the application, the original report for the car stacker related to a greater depth of excavation and as such no concerns are raised and it is considered the original conditions imposed on the application are sufficient in this regard.

5(c) Draft Environmental Planning Instruments

Nil applicable

5(d) Development Control Plans

The application has been assessed and the following provides a summary of the relevant provisions of Leichhardt Development Control Plan 2013.

The following assessment relates to the physical modifications to the dwelling/curtilage only, and do not relate to the request to modify the deferred commencement consent, which is addressed later in this report under the heading of Engineers comments.

LDCP2013	Compliance
Part A: Introductions	
Section 3 – Notification of Applications	Yes
Part B: Connections	
Part C	
C1.0 General Provisions	Yes
C1.1 Site and Context Analysis	Yes
C1.3 Alterations and additions	Yes
C1.4 Heritage Conservation Areas and Heritage Items	Yes – Council’s Heritage Officer supports the proposed amendments to the building
C1.5 Corner Sites	Yes
C1.7 Site Facilities	Yes
C1.11 Parking	No – see discussion from Council Engineering Specialists
C1.12 Landscaping	No – see discussion under 5 (a) (ii)
C1.14 Tree Management	No – see discussion under 5 (a) (ii)

C1.18 Laneways	No – see discussion from Council Engineering Specialists
C1.21 Green Roofs and Green Living Walls	Yes
Part C: Place – Section 2 Urban Character	
C2.2.2.5 Mort Bay Distinctive Neighbourhood	Yes - The alterations and additions, as proposed, will be of a form, size, scale, design and detail that will be compatible with the existing dwelling-house and adjoining dwellings and, will not detract from the streetscape or prevailing pattern of development along Caroline Street. The proposed additions are appropriately sited and will not result in adverse or undue amenity impacts to adjoining properties
Part C: Place – Section 3 – Residential Provisions	
C3.1 Residential General Provisions	Yes
C3.2 Site Layout and Building Design	Yes
C3.3 Elevation and Materials	Yes
C3.4 Dormer Windows	Yes
C3.5 Front Gardens and Dwelling Entries	Yes
C3.6 Fences	Yes
C3.7 Environmental Performance	Yes
C3.8 Private Open Space	Yes
C3.9 Solar Access	Yes
C3.10 Views	Yes
C3.11 Visual Privacy	Yes – no perceivable change from what has already been approved
C3.12 Acoustic Privacy	Yes – noise levels from the site are not anticipated to exceed the noise levels associated with usual domestic activities.
Part D: Energy	
Section 1 – Energy Management	Yes
Section 2 – Resource Recovery and Waste Management	
D2.1 General Requirements	Yes
D2.2 Demolition and Construction of All Development	Yes
D2.3 Residential Development	Yes

Part E: Water	
Section 1 – Sustainable Water and Risk Management	
E1.1 Approvals Process and Reports Required With Development Applications	Yes
E1.1.1 Water Management Statement	Yes
E1.1.2 Integrated Water Cycle Plan	Yes
E1.1.3 Stormwater Drainage Concept Plan	Yes
E1.2.2 Managing Stormwater within the Site	Yes
E1.2.3 On-Site Detention of Stormwater	Yes

Engineering Specialist Comments

As noted previously engineering did not support the proposed car space for 4 Caroline Street. Access via Jagger Lane is very narrow being only 3.1m wide which makes it difficult to access the lane and the proposed car space at the rear of the site.

Despite our objection to vehicle access from Jaggars Lane the application was approved with a Deferred Commencement Condition relating to Parking and Access. Condition A (i) required the applicant to demonstrate that vehicle access can be provided from Jaggars Lane without requiring the relocation or removal of public infrastructure using swept paths for a B85 vehicle. Condition A (ii) required that in the event that Condition A (i) could not be met then amended architectural plans must be provided to remove the car space, vehicle access and car stacker.

This Modification application now proposes the deletion of the Deferred commencement condition and the relocation of the bollard at the intersection of Jaggars Lane and Duncan Street which is on public land to assist with access to the Lane for a B85 vehicle. It should also be noted that the existing sandstone kerb will also need to be removed and the dish drain extended as it will be in the vehicle turn path of a B85 vehicle. Below is a photo of the bollard and kerb at the intersection of Jaggars Lane and Duncan Street.



Figure 2 – Bollard Location

The swept paths provided show that if the bollard is relocated then B85 is able to enter the Lane. However, the manoeuvre is very difficult and requires precision driving every time a vehicle accesses the lane.

The swept paths below details how a vehicle is required to position itself hard up along the kerb line in Duncan Street then turn the steering wheel on full lock at the precise position shown on the swept paths below. If a vehicle makes the turn too early or too late then the manoeuvre cannot be made without the vehicle colliding with a boundary fence, tree or bollard. It should also be noted that the extremities of the swept paths at times encroach the property boundary (green line) in some instances.

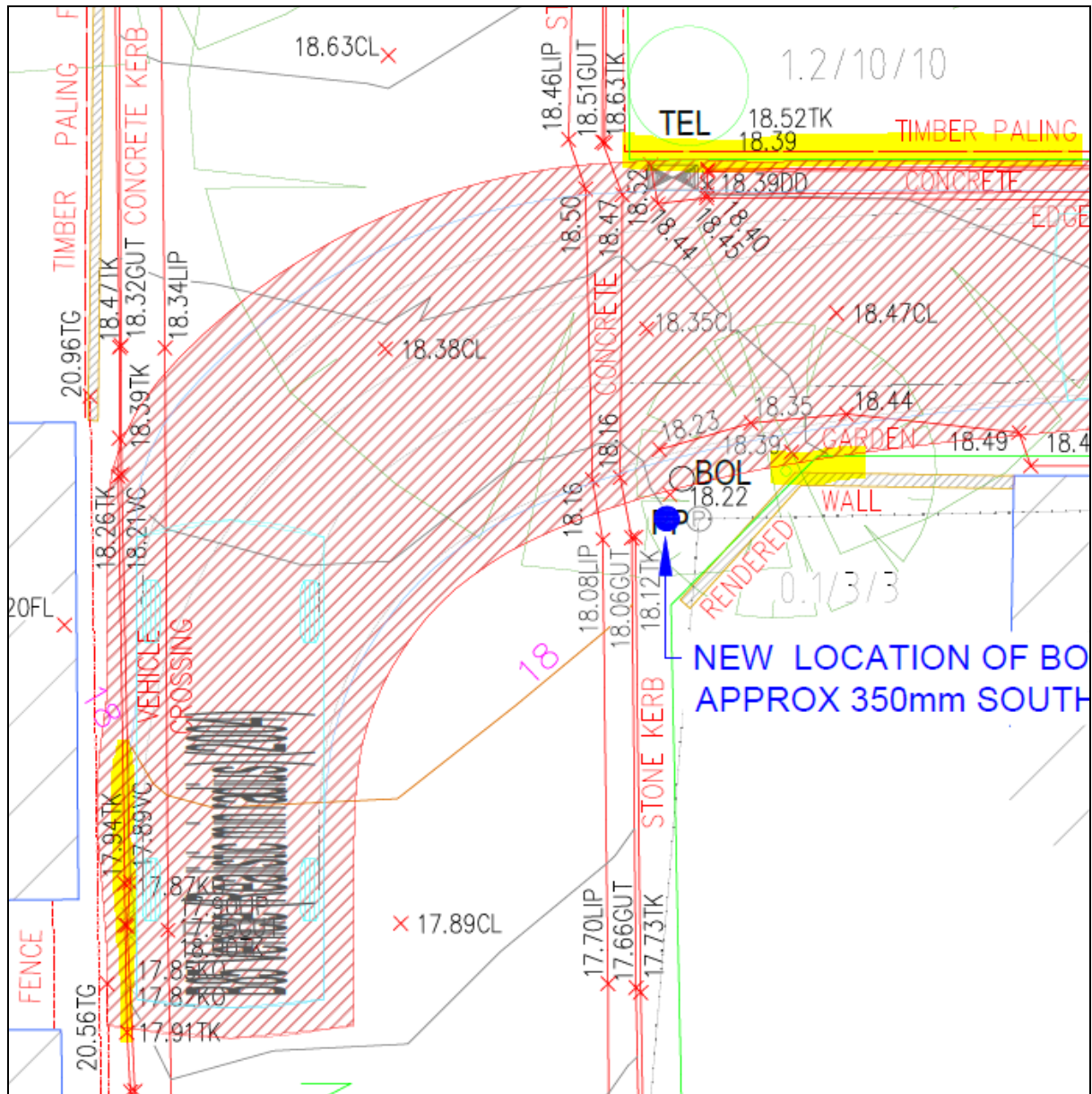
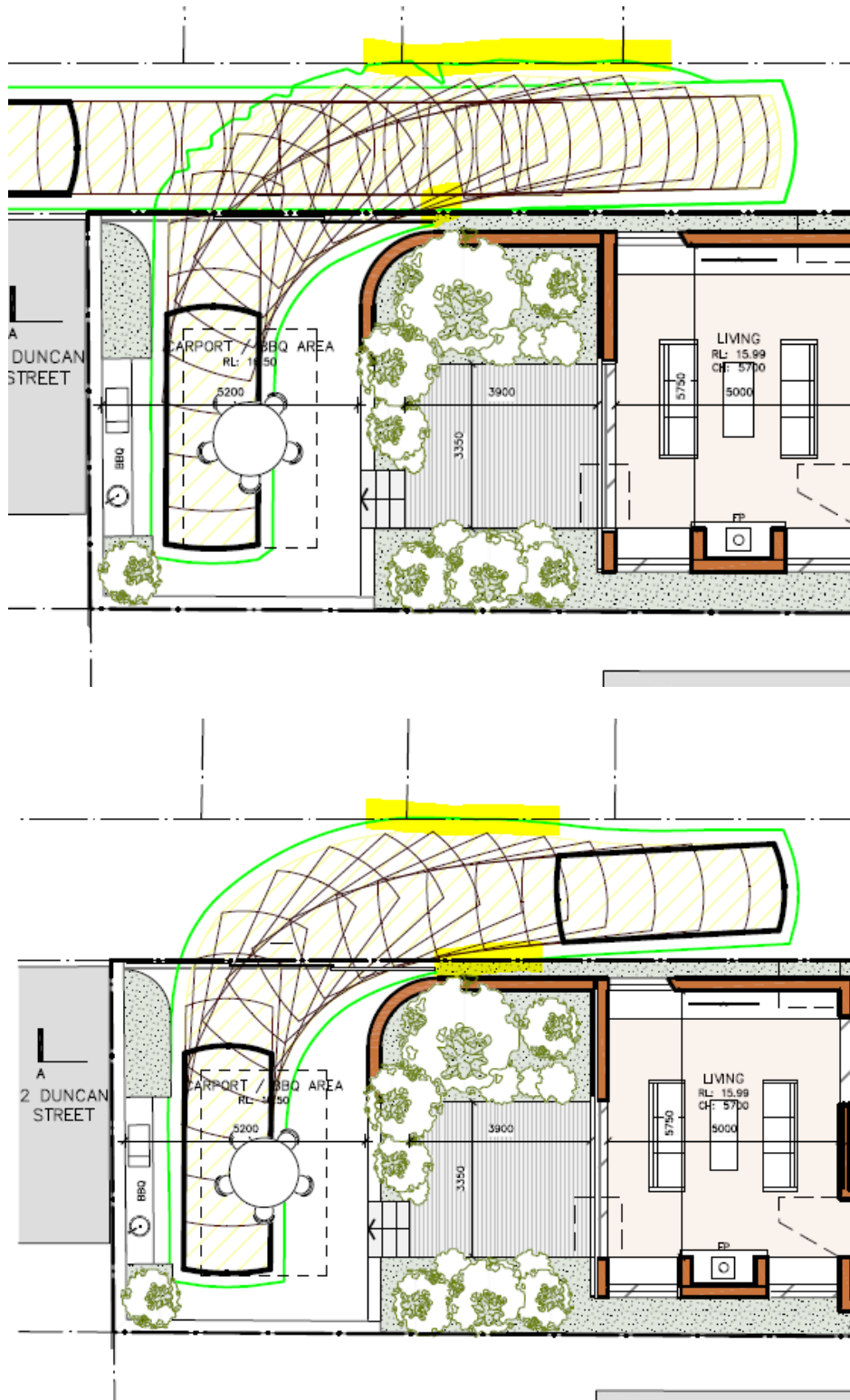


Figure 3 – Swept Path

If a vehicle enters Jaggars Lane without incidence another very difficult manoeuvre is required to enter the property. Below are the swept paths that again detail the precise movements that are required to enter and leave the property. Again, the swept paths show that they encroach the property boundaries and any error will lead to vehicles colliding with boundary fences.



Figures 4 & 5 – Further Swept Paths

There are also safety concerns with the proposed access of Juggers Lane by vehicles. Due to its narrow width (being only 3.1m) Juggers Lane is mainly just used by pedestrians. This is confirmed by the submissions received from adjacent residents. The introduction of vehicles to the lane is of concern as its width is not adequate to be shared by both vehicles and pedestrians simultaneously as there is no safe passing opportunity resulting in an unsafe environment for pedestrians.

For the reasons above vehicle access from Jaggars Lane is again not supported. In addition, the proposed deletion of Deferred Commencement Condition A is not supported. It is recommended that the applicant amend the plans as required by Deferred Commencement Condition A(ii) to delete the car space and car stacker from the plans.

5(e) The Likely Impacts

With regard to the physical modifications to the house and curtilage, the assessment of the Development Application demonstrates that, subject to the recommended conditions, the proposal will have minimal impact in the locality. The proposed location of the new pool is not supported, as it compromises the ability of the site to accommodate the required canopy planting, however an alternative location for the pool could be considered.

5(f) The suitability of the site for the development

Provided that any adverse effects on adjoining properties are minimised, this site is considered suitable to accommodate the proposed physical changes to the building and this has been demonstrated in the assessment of the application, however deletion or rewording of the Deferred Commencement condition is not supported for the reasons outlined in this report.

5(g) Any submissions

The application was notified in accordance with the Community Engagement Framework for a period of 14 days to surrounding properties.

Submissions representing twelve (12) nearby properties were received in response to the notification – 10 in opposition/raising concerns, one in support, & one neutral with regard to the works and in favour of the access. Council has also received a petition opposing the use of Jaggars Lane/parking provision, with signatures representing 27 nearby properties. The petition seeks closure of the lane to vehicle traffic.

As well as generally opposing use of Jaggars Lane for cars, a number of submitters raised the following concerns with the proposed works:

Unacceptable bulk and height – the modifications involve a 30cm increase in the height of the lift shaft/stairs, which is inconsequential for impacts on neighbours or perceived bulk, due to its location.

View loss – there will be no change to available iconic/city views

Privacy – no change from approved plans

Roof deck not appropriate – the roof deck has already been approved. The plans submitted with the modification satisfy condition 2a. imposed on the original consent providing for a 1 metre deep planter and as such this condition is recommended to be deleted.

5(h) The Public Interest

The public interest is best served by the consistent application of the requirements of the relevant Environmental Planning Instruments, and by Council ensuring that any adverse effects on the surrounding area and the environment are appropriately managed. Subject to the recommended conditions, Council has concluded that the public interest test of the Act is satisfied.

6 Referrals

6(a) Internal

The application was referred to the following internal sections/officers and issues raised in those referrals have been discussed in section 5 above.

7. Section 7.11 Contributions/7.12 Levy

A S7.12 Levy was previously imposed as a condition of consent, there is no change required in this regard.

8. Conclusion

The physical modifications to the site, with the exception of the pool, are supported. The request to change or delete the deferred commencement condition is not supported. Inability to satisfy the current terms of the deferred commencement condition (as imposed) mean that the space, vehicular access and car stacker is required to be deleted from the plans.

9. Recommendation

- A. That the Inner West Local Planning Panel exercising the functions of the Council as the consent authority, pursuant to s4.16 of the *Environmental Planning and Assessment Act 1979*, grant consent to MOD/2023/0137 involving changes to approved works inclusive of the following: changes to internal layout, new basement home theatre and utility room, changes to external works at 4 Caroline Street, Balmain subject to the conditions listed in Attachment A below.

Attachment A – Recommended conditions of consent to be modified

1. Documents related to the consent

The development must be carried out in accordance with plans and documents listed below:

Plan, Revision and Issue No.	Plan Name	Date Issued	Prepared by
10-04 E 10-04 F	Ground Floor Plan	02/09/2022 28/4/2023	Carter Williamson
10-05 E 10-05 F	Level 1 Plan	02/09/2022 28/4/2023	Carter Williamson
10-06 F 10-06 F	Roof Terrace Plan	07/09/2022 28/4/2023	Carter Williamson
10-07 C 10-07 D	Roof Plan	02/09/2022 28/4/2023	Carter Williamson
10-08A	Basement	28/4/2023	Carter Williamson
11-01 D 11-01 E	North Elevation	02/09/2022 28/4/2023	Carter Williamson
11-02 D 11-02 E	East Elevation	02/09/2022 28/4/2023	Carter Williamson
11-03E	South Elevation	28/4/2023	Carter Williamson
11-04 D 11-04 E	West Elevation	02/09/2022 28/4/2023	Carter Williamson
12-01 E 12-01 F	Section A	06/09/2022 28/4/2023	Carter Williamson
12-02 E 12-02 F	Section B	07/09/2022 28/4/2023	Carter Williamson
12-05 A	Site Section	07/09/2022	Carter Williamson
13-01 C	Materials and Finishes Schedule Plan	02/09/2022	Carter Williamson

13-01 D		28/4/2023	
13-02 C 13-02 D	Materials and Finishes Schedule Elevation	02/09/2022 28/4/2023	Carter Williamson
109/2021	Traffic Report	February 2022	TTPA
Certificate number: A455073_03 A455073_05	BASIX Certificate	07/04/2022 16 May 2023	Sustain Build Projects
DR-000 Revision 0 DR001 Revision 1 DR-002 Revision 0 DR 003 Revision 0	Stormwater Plans	07/04/2022	Stellen
J4096	Geotechnical Report	01/04/2022	White Geotechnical Group

As amended by the conditions of consent.

(Modified by IWLPP – MOD/2023/0137 – 12/09/2023)

2. Design Change

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans demonstrating the following:

- a. ~~The depth of the planter bed(s) to the roof terrace is a minimum 1000mm measured from the internal walls of the terrace.~~
- b. **The swimming pool is not approved, and is to be deleted from the plans.**

(Modified by IWLPP – MOD/2023/0137 – 12/09/2023)

Attachment B – Notice of Determination – DA/2022/0322



DEFERRED COMMENCEMENT - APPROVAL

Issued under Section 4.16(1)(a) of the Environmental Planning and Assessment Act 1979, in accordance with the provisions of section 4.16(3)

Development Application No.	DA/2022/0322
Applicant	Landmark Investments Australia Pty Ltd
Land to be developed	4 Caroline Street BALMAIN NSW 2041
Approved development	Alterations and additions to dwelling including ground and first floor, plus car stacker and landscaping.
Cost of development	\$2,000,000.00
Determination	The application was determined by Local Planning Panel and was granted a deferred commencement consent subject to the conditions attached.
Other Approvals	Before commencing <i>building work</i> or <i>subdivision work</i> , a relevant Construction Certificate must be obtained from Council or an Accredited Certifier. Council must be appointed the Principal Certifier for any <i>subdivision work</i> under the Act.
Date of determination	06 December 2022
Consent is to operate from	Not yet operational
Consent will lapse on	Five years from date consent becomes operational

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 PO Box 14, Petersham NSW 2049

Document Set ID: 37736669
 Version: 1, Version Date: 18/05/2023

Reasons for conditions

To protect the environmental amenity of the area and the public interest.

Right of appeal

If you are dissatisfied with this decision, Section 8.7 of the *Environmental Planning and Assessment Act 1979* gives you the right to appeal to the Land and Environment Court in accordance with the timeframes set out in [Section 8.10](#) of the *Environmental Planning and Assessment Act 1979*. In addition to the above, third party appeal rights are set out in the *Environmental Planning and Assessment Act 1979* and may be applicable.

Section 8.2 of the *Environmental Planning and Assessment Act 1979* provides that the applicant may request the Council to review the determination. Section 8.2 does not apply to complying development, designated development, a determination made by Council under Section 4.2 in respect of Crown applications, or a decision that is already subject to a Section 8.2 review.

For further information please contact **Chirag Bhavan** on **02 9392 5529** or chirag.bhavan@innerwest.nsw.gov.au.



Ruba Osman
Manager Development Assessment

CONDITIONS OF CONSENT

The following is a Deferred Commencement condition imposed pursuant to Section 4.16(3) of the *Environmental Planning and Assessment Act 1979*. This Consent will not operate and may not be acted upon until the Council is satisfied as to the following matter(s):

A. Parking and Access

Amended architectural plans and documentation must be submitted to and approved by Council, demonstrating the following:

- i. Swept path diagrams which demonstrate parking access can be provided via Duncan Street to Jagers Lane without requiring the relocation or removal of public infrastructure. The swept paths are to include the width of the carriage way and existing on-street parking spaces on the southern side of Duncan Street and west side of Colgate Street (it is noted that the width of an on-street parking space is 2400 mm). The swept paths must also include clearance distances of 300mm either side of the vehicle required by the Australian Standard AS2890.1, and prepared at a natural scale of 1:200.
- ii. In the event that Deferred Commencement Condition A (i) can not be satisfied, amended architectural plans which illustrate that the proposed parking space, vehicular access and car stacker have been deleted.

Evidence of the above matter(s) must be submitted to Council within 2 years otherwise the Consent will not operate.

DOCUMENTS RELATED TO THE CONSENT

1. Documents related to the consent

The development must be carried out in accordance with plans and documents listed below:

Plan, Revision and Issue No.	Plan Name	Date Issued	Prepared by
10-04 E	Ground Floor Plan	02/09/2022	Carter Williamson
10-05 E	Level 1 Plan	02/09/2022	Carter Williamson
10-06 F	Roof Terrace Plan	07/09/2022	Carter Williamson

10-07 C	Roof Plan	02/09/2022	Carter Williamson
11-01 D	North Elevation	02/09/2022	Carter Williamson
11-02 D	East Elevation	02/09/2022	Carter Williamson
11-04 D	West Elevation	02/09/2022	Carter Williamson
12-01 E	Section A	06/09/2022	Carter Williamson
12-02 E	Section B	07/09/2022	Carter Williamson
12-05 A	Site Section	07/09/2022	Carter Williamson
13-01 C	Materials and Finishes Schedule Plan	02/09/2022	Carter Williamson
13-02 C	Materials and Finishes Schedule Elevation	02/09/2022	Carter Williamson
109/2021	Traffic Report	February 2022	TTPA
Certificate number: A455073_03	BASIX Certificate	07/04/2022	Sustain Build Projects
DR-000 Revision 0 DR- 001 Revision 1 DR-002 Revision 0 DR 003 Revision 0	Stormwater Plans	07/04/2022	Stellen
J4096	Geotechnical Report	01/04/2022	White Geotechnical Group

As amended by the conditions of consent.

DESIGN CHANGE

2. Design Change

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans demonstrating the following:

- a. The depth of the planter bed(s) to the roof terrace is a minimum 1000mm measured from the internal walls of the terrace.

FEES

3. Section 7.12 (formerly section 94A) Development Contribution Payments

Prior to the issue of a Construction Certificate, written evidence must be provided to the Certifying Authority that a monetary contribution to the Inner West Council has been paid, towards the provision of infrastructure, required to address increased demand for local services generated by additional development within the Local Government Area (LGA). This condition is imposed in accordance with Section 7.12 of the *Environmental Planning and Assessment Act 1979* and in accordance with *Former Leichhardt Local Government Area Section 7.12 Development Contributions Plan 2020*.

Note: Copies of these contribution plans can be inspected at any of the Inner West Council Service Centres or viewed online at <https://www.innerwest.nsw.gov.au/develop/planning-controls/section-94-contributions>

Payment amount*:

\$20,000.00

*Indexing of the Section 7.12 contribution payment:

The contribution amount to be paid to the Council is to be adjusted at the time of the actual payment in accordance with the provisions of the relevant contributions plan. In this regard, you are recommended to make contact with Inner West Council *prior to arranging your payment method* to confirm the correct current payment amount (at the expected time of payment).

Payment methods:

The required contribution must be paid either **by BPAY (to a maximum of \$500,000); unendorsed bank cheque (from an Australian Bank only); EFTPOS (Debit only); credit card (Note: A 1% credit card transaction fee applies to all credit card transactions; cash (to a maximum of \$10,000))**. It should be noted that personal cheques or bank guarantees cannot be accepted for the payment of these contributions. **Prior to payment contact Council's Planning Team to review charges to current indexed quarter, please allow a minimum of 2 business days for the invoice to be issued before payment can be accepted.**

4. Long Service Levy

Prior to the issue of a Construction Certificate, written evidence must be provided to the Certifying Authority that the long service levy in accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986* has been paid at the prescribed rate of 0.35% of the total cost of the work to either the Long Service Payments Corporation or Council for any work costing \$25,000 or more.

5. Security Deposit - Custom

Prior to the commencement of demolition works or prior to the issue of a Construction Certificate, the Certifying Authority must be provided with written evidence that a security deposit and inspection fee has been paid to Council to cover the cost of making good any damage caused to any Council property or the physical environment as a consequence of carrying out the works and as surety for the proper completion of any road, footpath and drainage works required by this consent.

Security Deposit:	\$5,600.00
Inspection Fee:	\$350.00

Payment will be accepted in the form of cash, bank cheque, EFTPOS/credit card (to a maximum of \$10,000) or bank guarantee. Bank Guarantees must not have an expiry date.

The inspection fee is required for the Council to determine the condition of the adjacent road reserve and footpath prior to and on completion of the works being carried out.

Should any of Council's property and/or the physical environment sustain damage during the course of the demolition or construction works, or if the works put Council's assets or the environment at risk, or if any road, footpath or drainage works required by this consent are not completed satisfactorily, Council may carry out any works necessary to repair the damage, remove the risk or complete the works. Council may utilise part or all of the security deposit to restore any damages, and Council may recover, in any court of competent jurisdiction, any costs to Council for such restorations.

A request for release of the security may be made to the Council after all construction work has been completed and a final Occupation Certificate issued.

The amount nominated is only current for the financial year in which the initial consent was issued and is revised each financial year. The amount payable must be consistent with Council's Fees and Charges in force at the date of payment.

GENERAL CONDITIONS

6. Waste Management Plan

Prior to the commencement of any works (including any demolition works), the Certifying Authority is required to be provided with a Recycling and Waste Management Plan (RWMP) in accordance with the relevant Development Control Plan.

7. Erosion and Sediment Control

Prior to the issue of a commencement of any works (including any demolition works), the Certifying Authority must be provided with an erosion and sediment control plan and specification. Sediment control devices must be installed and maintained in proper working order to prevent sediment discharge from the construction site.

8. Standard Street Tree Protection

Prior to the commencement of any work, the Certifying Authority must be provided with details of the methods of protection of all street trees adjacent to the site during demolition and construction.

9. Works Outside the Property Boundary

This development consent does not authorise works outside the property boundaries on adjoining lands.

10. Boundary Alignment Levels

Alignment levels for the site at all pedestrian and vehicular access locations must match the existing back of footpath levels at the boundary.

11. Tree Protection

No trees on public property (footpaths, roads, reserves etc.) are to be removed or damaged during works unless specifically approved in this consent or marked on the approved plans for removal.

Prescribed trees protected by Council's Management Controls on the subject property and/or any vegetation on surrounding properties must not be damaged or removed during works unless specific approval has been provided under this consent.

Any public tree within five (5) metres of the development must be protected in accordance with Council's *Development Fact Sheet—Trees on Development Sites*.

No activities, storage or disposal of materials taking place beneath the canopy of any tree (including trees on neighbouring sites) protected under Council's Tree Management Controls at any time.

PRIOR TO ANY DEMOLITION

12. Dilapidation Report

Prior to any works commencing (including demolition), the Certifying Authority and owners of identified properties, must be provided with a colour copy of a dilapidation report prepared by a suitably qualified person. The report is required to include colour photographs of the adjoining properties at No. 2B Caroline Street, Balmain and No. 2 Duncan Street, Balmain to the Certifying Authority's satisfaction. In the event that the consent of the adjoining property owner cannot be obtained to undertake the report, copies of the letter/s that have been sent via registered mail and any responses received must be forwarded to the Certifying Authority before work commences.

13. Advising Neighbours Prior to Excavation

At least 7 days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.

14. Construction Fencing

Prior to the commencement of any works (including demolition), the site must be enclosed with suitable fencing to prohibit unauthorised access. The fencing must be erected as a barrier between the public place and any neighbouring property.

15. Hoardings

The person acting on this consent must ensure the site is secured with temporary fencing prior to any works commencing.

If the work involves the erection or demolition of a building and is likely to cause pedestrian or vehicular traffic on public roads or Council controlled lands to be obstructed or rendered inconvenient, or building involves the enclosure of public property, a hoarding or fence must be erected between the work site and the public property. An awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling onto public property.

Separate approval is required from the Council under the *Roads Act 1993* to erect a hoarding or temporary fence or awning on public property.

PRIOR TO CONSTRUCTION CERTIFICATE**16. Structural Certificate for retained elements of the building**

Prior to the issue of a Construction Certificate, the Certifying Authority is required to be provided with a Structural Certificate prepared by a practising structural engineer, certifying the structural adequacy of the property and its ability to withstand the proposed additional, or altered structural loads during all stages of construction. The certificate must also include all details of the methodology to be employed in construction phases to achieve the above requirements without result in demolition of elements marked on the approved plans for retention.

17. Sydney Water – Tap In

Prior to the issue of a Construction Certificate, the Certifying Authority is required to ensure approval has been granted through Sydney Water's online 'Tap In' program to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met.

Note: Please refer to the web site <http://www.sydneywater.com.au/tapin/index.htm> for details on the process or telephone 13 20 92

18. Stormwater Drainage System – Minor Developments (OSD is not required)

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with stormwater drainage design plans certified by a suitably qualified Civil Engineer that the design of the site drainage system complies with the following specific requirements:

- a. Stormwater runoff from all roof areas within the property being collected in a system of gutters, pits and pipeline and be discharged, together with overflow pipelines from any rainwater tank(s), by gravity to the kerb and gutter of a public road;
- b. Comply with Council's Stormwater Drainage Code, Australian Rainfall and Runoff (A.R.R.), Australian Standard AS3500.3-2018 'Stormwater Drainage' and Council's DCP;
- c. Pipe and channel drainage systems must be designed to cater for the twenty (20) year Average Recurrence Interval (ARI) storm in the case of low and medium residential developments, the twenty (20) year ARI Storm in the case of high-density residential development and commercial and/or industrial developments and the fifty (50) year ARI Storm in the case of heavy industry. In all cases, the major event surface flow paths must be designed to cater for the one hundred (100) year ARI Storm;
- d. Charged or pump-out stormwater drainage systems are not permitted including for roof drainage.

- e. To provide for adequate site drainage all roof and surface stormwater from the site and any catchment external to the site that presently drains to it, must be collected in a system of pits and pipelines/channels and major storm event surface flow paths and being discharged to a stormwater drainage system in accordance with the requirements of Council's DCP. Please note any stormwater outlets through sandstone kerbs must be carefully core drilled;
- f. The design plans must detail the existing and proposed site drainage layout, size, class and grade of pipelines, pit types, roof gutter and downpipe sizes;
- g. An overland flow path must be provided within the setback to the side boundaries between the rear of the dwelling and the Caroline Street frontage. The rear courtyard must be graded so that bypass flows from the site drainage system are directed to the overland flowpath.
- h. The stormwater system must not be influenced by backwater effects or hydraulically controlled by the receiving system;
- i. A minimum 150mm step up shall be provided between all external finished surfaces and adjacent internal floor areas;
- j. The design must make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands;
- k. No nuisance or concentration of flows to other properties;
- l. The stormwater system must not be influenced by backwater effects or hydraulically controlled by the receiving system;
- m. The design plans must specify that any components of the existing system to be retained must be certified during construction to be in good condition and of adequate capacity to convey the additional runoff generated by the development and be replaced or upgraded if required;
- n. An inspection opening or stormwater pit must be installed inside the property, adjacent to the boundary, for all stormwater outlets;
- o. Only a single point of discharge is permitted to the kerb and gutter, per frontage of the site;
- p. New pipelines within the footpath area that are to discharge to the kerb and gutter must be hot dipped galvanised steel hollow section with a minimum wall thickness of 4.0 mm and a maximum section height and width of 100 mm or sewer grade uPVC pipe with a maximum diameter of 100 mm;
- q. All stormwater outlets through sandstone kerbs must be carefully core drilled in accordance with Council standard drawings;
- r. All redundant pipelines within footpath area must be removed and footpath/kerb reinstated;
- s. No impact to street tree(s);

19. Dilapidation Report – Pre-Development – Minor

Prior to the issue of a Construction Certificate or any demolition, the Certifying Authority must be provided with a dilapidation report including colour photos showing the existing condition of the footpath and roadway adjacent to the site.

DURING DEMOLITION AND CONSTRUCTION**20. Construction Hours – Class 1 and 10**

Unless otherwise approved by Council, excavation, demolition, construction or subdivision work are only permitted between the hours of 7:00am to 5:00pm, Mondays to Saturdays (inclusive) with no works permitted on, Sundays or Public Holidays.

21. Survey Prior to Footings

Upon excavation of the footings and before the pouring of the concrete, the Certifying Authority must be provided with a certificate of survey from a registered land surveyor to verify that the structure will not encroach over the allotment boundaries.

PRIOR TO OCCUPATION CERTIFICATE**22. Protect Sandstone Kerb**

Prior to the issue of an Occupation Certificate, the Principal Certifier must ensure that any stone kerb, damaged as a consequence of the work that is the subject of this development consent, has been replaced.

23. No Encroachments

Prior to the issue of an Occupation Certificate, the Principal Certifier must ensure that any encroachments on to Council road or footpath resulting from the building works have been removed, including opening doors, gates and garage doors with the exception of any awnings or balconies approved by Council.

24. Certification of Tree Planting

Prior to the issue of any Occupation Certificate, the Principal Certifier is to be provided with evidence certified by a person holding a minimum qualification of AQF3 Certificate of Horticulture or Arboriculture that:

A minimum of one (1) x 75 litre size tree, which will attain a minimum mature height of six (6) metres and canopy spread of 5 - 6 metres have been planted in a suitable location within the property at a minimum of 1.5 metres from any boundary or structure and allowing for future tree growth. The tree is to conform to AS2303—*Tree stock for landscape use*. Trees listed as exempt species from Council's Tree Management Controls, palms, fruit trees and species recognised to have a short life span will not be accepted as suitable replacements.

If the replacement trees are found to be faulty, damaged, dying or dead within twelve (12) months of planting then they must be replaced with the same species (up to 3 occurrences). If the trees are found dead before they reach a height where they are protected by Council's Tree Management Controls, they must be replaced with the same species.

25. Certification of Tree Planting

Prior to the issue of any Occupation Certificate, the Principal Certifier is to be provided with evidence certified by a person holding a minimum qualification of AQF3 Certificate of Horticulture or Arboriculture that:

A minimum of 2x trees in 100 litre container sizes, which will attain a minimum mature height of six (6) metres, must be planted in a more suitable location within the property at a minimum of 1.5 metres from any boundary or structure and allowing for future tree growth. The tree is to conform to AS2303—*Tree stock for landscape*. Trees listed as exempt species from Council's Tree Management Controls, Palms, fruit trees and species recognised to have a short life span will not be accepted as suitable replacements.

If the replacement trees are found to be faulty, damaged, dying or dead within twelve (12) months of planting then they must be replaced with the same species (up to 3 occurrences). If the trees are found dead before they reach a height where they are protected by Council's Tree Management Controls, they must be replaced with the same species.

ON-GOING

26. Tree Establishment

The tree/s planted as part of this consent is/are to be maintained in a healthy and vigorous condition for 12 months from the issue of an Occupation Certificate. If any of the tree/s is/are found faulty, damaged, dying or dead within 12 months of the issue of an Occupation Certificate it/they must be replaced with the same species within one (1) month (up to 3 occurrences).

ADVISORY NOTES**Prescribed Conditions**

This consent is subject to the prescribed conditions of consent within Sections 69-86 of the *Environmental Planning and Assessment Regulations 2021*.

Notification of commencement of works

At least 7 days before any demolition work commences:

- a. The Council must be notified of the following particulars:
 - i. the name, address, telephone contact details and licence number of the person responsible for carrying out the work; and
 - ii. the date the work is due to commence and the expected completion date; and
- b. A written notice must be placed in the letter box of each directly adjoining property identified advising of the date the work is due to commence.

Storage of Materials on public property

The placing of any materials on Council's footpath or roadway is prohibited, without the prior consent of Council.

Toilet Facilities

The following facilities must be provided on the site:

- a. Toilet facilities in accordance with WorkCover NSW requirements, at a ratio of one toilet per every 20 employees; and
- b. A garbage receptacle for food scraps and papers, with a tight fitting lid.

Facilities must be located so that they will not cause a nuisance.

Infrastructure

The developer must liaise with the Sydney Water Corporation, Ausgrid, AGL and Telstra concerning the provision of water and sewerage, electricity, natural gas and telephones respectively to the property. Any adjustment or augmentation of any public utility services including Gas, Water, Sewer, Electricity, Street lighting and Telecommunications required as a result of the development must be undertaken before occupation of the site.

Other Approvals may be needed

Approvals under other acts and regulations may be required to carry out the development. It is the responsibility of property owners to ensure that they comply with all relevant legislation. Council takes no responsibility for informing applicants of any separate approvals required.

Failure to comply with conditions

Failure to comply with the relevant provisions of *the Environmental Planning and Assessment Act 1979* and/or the conditions of this consent may result in the serving of penalty notices or legal action.

Other works

Works or activities other than those approved by this Development Consent will require the submission of a new Development Application or an application to modify the consent under Section 4.55 of the *Environmental Planning and Assessment Act 1979*.

Obtaining Relevant Certification

This development consent does not remove the need to obtain any other statutory consent or approval necessary under any other Act, such as (if necessary):

- a. Application for any activity under that Act, including any erection of a hoarding;
- b. Application for a Construction Certificate under the *Environmental Planning and Assessment Act 1979*;
- c. Application for an Occupation Certificate under the *Environmental Planning and Assessment Act 1979*;
- d. Application for a Subdivision Certificate under the *Environmental Planning and Assessment Act 1979* if land (including stratum) subdivision of the development site is proposed;
- e. Application for Strata Title Subdivision if strata title subdivision of the development is proposed;
- f. Development Application for demolition if demolition is not approved by this consent;
or
- g. Development Application for subdivision if consent for subdivision is not granted by this consent.

National Construction Code (Building Code of Australia)

A complete assessment of the application under the provisions of the National Construction Code (Building Code of Australia) has not been carried out. All building works approved by this consent must be carried out in accordance with the requirements of the National Construction Code.

Notification of commencement of works

Residential building work within the meaning of the *Home Building Act 1989* must not be carried out unless the PCA (not being the council) has given the Council written notice of the following information:

- a. In the case of work for which a principal contractor is required to be appointed:
 - i. The name and licence number of the principal contractor; and
 - ii. The name of the insurer by which the work is insured under Part 6 of that Act.
- b. In the case of work to be done by an owner-builder:
 - i. The name of the owner-builder; and
 - ii. If the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

Disability Discrimination Access to Premises Code

The *Disability Discrimination Act 1992* (Commonwealth) and the *Anti-Discrimination Act 1977* (NSW) impose obligations on persons relating to disability discrimination. Council's determination of the application does not relieve persons who have obligations under those Acts of the necessity to comply with those Acts.

Dividing Fences Act

The person acting on this consent must comply with the requirements of the *Dividing Fences Act 1991* in respect to the alterations and additions to the boundary fences.

Permits from Council under Other Acts

Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent must obtain all applicable Permits from Council in accordance with Section 68 (Approvals) of the *Local Government Act 1993* and/or Section 138 of the *Roads Act 1993*. Permits are required for the following activities:

- a. Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application;
- b. A concrete pump across the roadway/footpath;
- c. Mobile crane or any standing plant;
- d. Skip bins;
- e. Scaffolding/Hoardings (fencing on public land);
- f. Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.;
- g. Awning or street verandah over footpath;
- h. Partial or full road closure; and

- i. Installation or replacement of private stormwater drain, utility service or water supply.

Contact Council's Road Access team to ensure the correct Permit applications are made for the various activities. A lease fee is payable for all occupations.

Noise

Noise arising from the works must be controlled in accordance with the requirements of the *Protection of the Environment Operations Act 1997*.

Amenity Impacts General

The use of the premises must not give rise to an environmental health nuisance to the adjoining or nearby premises and environment. There are to be no emissions or discharges from the premises, which will give rise to a public nuisance or result in an offence under the *Protection of the Environment Operations Act 1997* and Regulations. The use of the premises and the operation of plant and equipment must not give rise to the transmission of a vibration nuisance or damage other premises.

Construction of Vehicular Crossing

The vehicular crossing and/or footpath works are required to be constructed by your own contractor. You or your contractor must complete an application for *Construction of a Vehicular Crossing & Civil Works* form, lodge a bond for the works, pay the appropriate fees and provide evidence of adequate public liability insurance, prior to commencement of works.

Lead-based Paint

Buildings built or painted prior to the 1970's may have surfaces coated with lead-based paints. Recent evidence indicates that lead is harmful to people at levels previously thought safe. Children particularly have been found to be susceptible to lead poisoning and cases of acute child lead poisonings in Sydney have been attributed to home renovation activities involving the removal of lead based paints. Precautions should therefore be taken if painted surfaces are to be removed or sanded as part of the proposed building alterations, particularly where children or pregnant women may be exposed, and work areas should be thoroughly cleaned prior to occupation of the room or building.

Dial before you dig

Contact "Dial Prior to You Dig" prior to commencing any building activity on the site.

Insurances

Any person acting on this consent or any contractors carrying out works on public roads or Council controlled lands is required to take out Public Liability Insurance with a minimum cover of twenty (20) million dollars in relation to the occupation of, and approved works within those lands. The Policy is to note, and provide protection for Inner West Council, as an interested party and a copy of the Policy must be submitted to Council prior to commencement of the works. The Policy must be valid for the entire period that the works are being undertaken on public property.

Permits

Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent must obtain all applicable Permits from Council in accordance with Section 68 (Approvals) of the *Local Government Act 1993* and/or Section 138 of the *Roads Act 1993*. Permits are required for the following activities:

- a. Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application;
- b. A concrete pump across the roadway/footpath;
- c. Mobile crane or any standing plant;
- d. Skip Bins;
- e. Scaffolding/Hoardings (fencing on public land);
- f. Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.;
- g. Awning or street veranda over the footpath;
- h. Partial or full road closure; and
- i. Installation or replacement of private stormwater drain, utility service or water supply.

If required contact Council's Road Access team to ensure the correct Permit applications are made for the various activities. Applications for such Permits must be submitted and approved by Council prior to the commencement of the works associated with such activity.

Historic Archaeology – Unexpected Findings

If unexpected archaeological deposits are found during the works covered by this approval, work must cease in the affected area(s) and the Office of Environment & Heritage must be notified. Additional assessment and approval pursuant to the *Heritage Act 1977* may be required prior to works continuing in the affected area(s) based on the nature of the discovery.

Useful Contacts

BASIX Information	1300 650 908 weekdays 2:00pm - 5:00pm	www.basix.nsw.gov.au
Department of Fair Trading	13 32 20	www.fairtrading.nsw.gov.au
	Enquiries relating to Owner Builder Permits and Home Warranty Insurance.	
Dial Prior to You Dig	1100	www.dialprior toyoudig.com.au
Landcom	9841 8660	To purchase copies of Volume One of "Soils and Construction"
Long Service Corporation	Payments 131441	www.lspc.nsw.gov.au
NSW Food Authority	1300 552 406	www.foodnotify.nsw.gov.au
NSW Government		www.nsw.gov.au/fibro www.diysafe.nsw.gov.au
		Information on asbestos and safe work practices.
NSW Office of Environment and Heritage	131 555	www.environment.nsw.gov.au
Sydney Water	13 20 92	www.sydneywater.com.au

Waste Service - SITA 1300 651 116
Environmental Solutions www.wasteservice.nsw.gov.au

Water Efficiency Labelling and Standards (WELS) www.waterrating.gov.au

WorkCover Authority of NSW 13 10 50
www.workcover.nsw.gov.au

Enquiries relating to work safety and asbestos removal and disposal.

Tree Protection Works

All tree protection for the site must be undertaken in accordance with Council's *Development Fact Sheet—Trees on Development Sites* and *AS4970—Protection of trees on development sites*.

Attachment C- Plans of Proposed modification

C A R T E R
W I L L I A M S O N

21300 DA Modification

Alterations & Additions to

4 Caroline Street, Balmain NSW

Client: Hassan Kharroubi

16/5/23

ARCHITECTURAL DRAWINGS

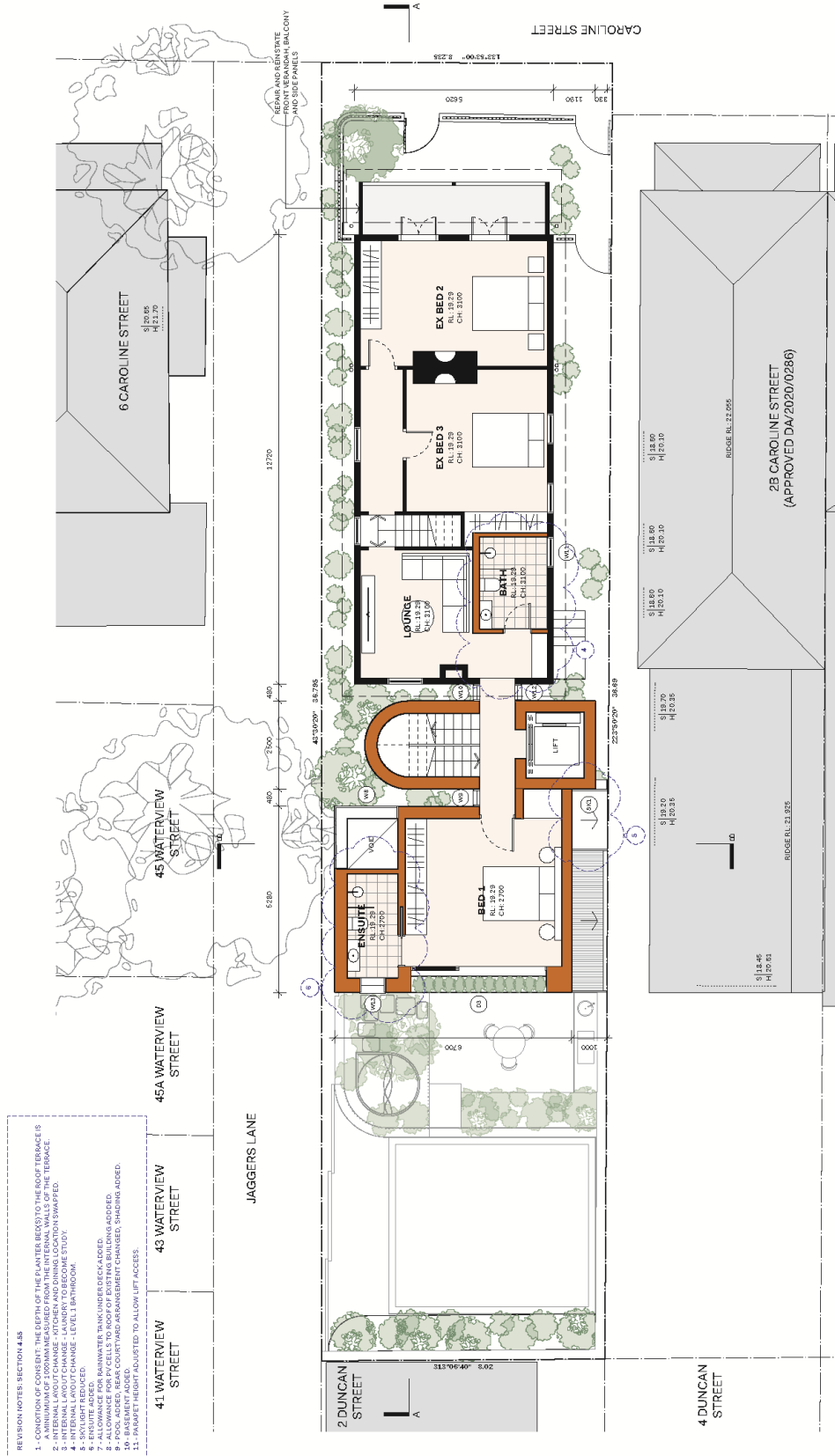
Dwg No.	Sheet Name	Scale	Rev. No.	Rev. Date
01-00	BASIX Commitments		D	16/5/23
10-04	Plant: Ground	1:100	F	28/4/23
10-05	Plant: Level 1	1:100	F	28/4/23
10-06	Plant: Roof Terrace	1:100	F	28/4/23
10-07	Plant: Roof	1:100	D	28/4/23
10-08	Plant: Basement	1:100	A	28/4/23
11-01	Elevation: North	1:100	E	28/4/23
11-02	Elevation: East	1:100	E	28/4/23
11-03	Elevation: South	1:100	E	28/4/23
11-04	Elevation: West	1:100	E	28/4/23
12-01	Section: A	1:100	F	28/4/23
12-02	Section: B	1:100	F	28/4/23
13-01	Materials and Finishes Schedule: Plan	1:150	D	28/4/23
13-02	Materials and Finishes Schedule: Elevations	1:150	D	28/4/23
14-01	Shadow Analysis: Winter Solstice	1:300	E	28/4/23
14-04	Shadow Analysis: Winter Solstice	1:300	E	28/4/23
15-01	Area Calculations: GFA	1:200	D	28/4/23
15-02	Area Calculations: Site Coverage / Landscape	1:200	D	28/4/23
16-01	Notification Plan Roof	1:200	D	28/4/23
16-02	Notification Plan Elevations	1:200	D	28/4/23
16-03	Notification Plan Elevations	1:200	D	28/4/23

SUPPLEMENTARY DOCUMENTATION

CONSULTANT	Traffic Engineer	DOCUMENT	SEE Letter	PREPARED BY	CWA
	BASIX		B85 Vehicle Swept Path Analysis		PDC
			B35 Vehicle Swept Path Analysis		PDC
			BASIX Certificate		Sustain Build Projects

REVISION NOTES: SECTION 4.85
 1 - CONDITION OF CONCRETE (THE DEPTH OF THE PLASTER BECK) TO THE ROOF TERRACE IS A MINIMUM OF 100MM AS MEASURED FROM THE INTERNAL WALLS OF THE TERRACE.
 2 - INTERNAL LAYOUT CHANGE - LAUNDRY TO BECOME SWAPPED.
 3 - INTERNAL LAYOUT CHANGE - LAUNDRY TO BECOME STUDY.
 4 - INTERNAL LAYOUT CHANGE - LEVEL 1 BATHROOM.
 5 - ENSUITE ADDED.
 6 - ENSUITE ADDED.
 7 - ALLOWANCE FOR RAWWATER TANK UNDER DECK ADDED.
 8 - POOL ADDED, REAR COURTYARD ARRANGEMENT CHANGED, SHADING ADDED.
 9 - BALCONY ADDED.
 10 - BALCONY ADDED.
 11 - BALCONY ADDED TO ALLOW LIFT ACCESS.

Carter Williamson Architects 02 9799 4472 102 Smith Street Nominated Architect Shaun Carter 7880
 Document: Site Plan | 21300 DA Modification studio@carterwilliamson.com Summer Hill NSW 2130 ABN: 15 833 977 048
 Version: 1, Version Date: 17/08/2023



- REVISION NOTES: SECTION 4.85
- 1- CONFIRMATION OF CONSENT: THE DEPTH OF THE PLANTER BED TO THE ROOF TERRACE IS A MINIMUM OF 1000MM MEASURED FROM THE INTERNAL WALLS OF THE TERRACE.
 - 2- INTERNAL LAYOUT CHANGE - MATERIALS TO BECOME SWAPPED.
 - 3- INTERNAL LAYOUT CHANGE - MATERIALS TO BECOME SWAPPED.
 - 4- INTERNAL LAYOUT CHANGE - LEVEL 1 BATHROOM.
 - 5- ENSURE DECKING IS ADDED.
 - 6- ENSURE DECKING IS ADDED.
 - 7- ALLOWANCE FOR BAINWATER TRINK UNDER DECKING.
 - 8- ENSURE DECKING IS ADDED.
 - 9- POOL ADDED, REAR COURTYARD ARRANGEMENT CHANGED, SHADING ADDED.
 - 10- BASEMENT ADDED.
 - 11- ENSURE DECKING IS ADDED TO ALLOW LIFT ACCESS.



Plan Level 1
10-05 F

Date	Revision	Note
28/2/22	A	DA Submission
17/9/22	B	DA Negotiation
17/9/22	C	DA Negotiation
9/8/22	D	DA Submission 2
2/9/22	E	DA Submission 3
25/4/23	F	Section 4.55 Submission

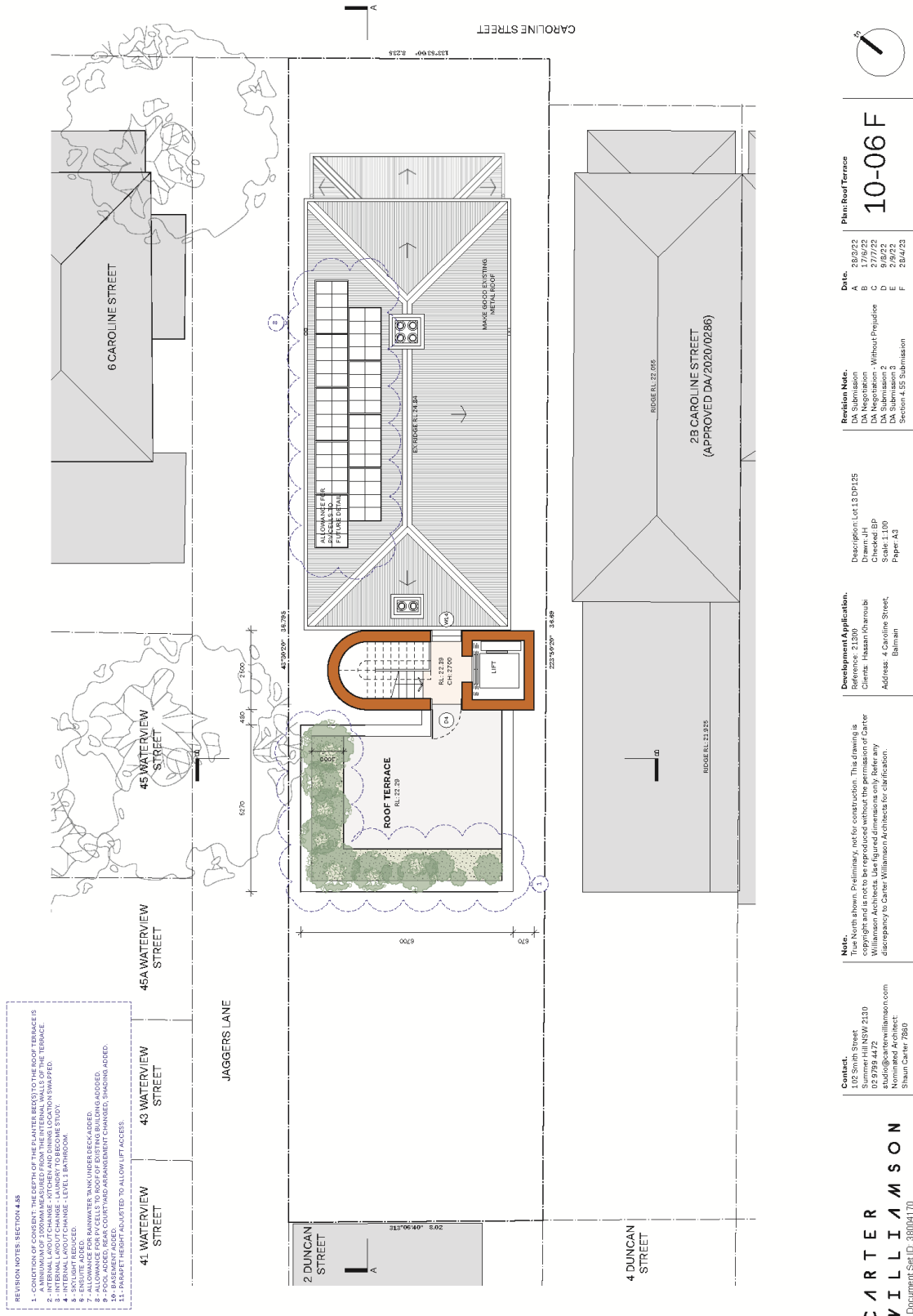
Description: Lot 12 DP125
 Drawn: JHM
 Checked: JHM
 Scale: 1:100
 Paper: A3

Development Application:
 Reference: 21300
 Client: Hassan Kharrubi
 Address: 4 Caroline Street,
 Balmian

Note:
 True North shown. Preliminary, not for construction. This drawing is copyright and is not to be reproduced without the permission of Carter Williamson Architects for certification.

Contact:
 102 Smith Street
 Summer Hill NSW 2130
 Tel: 02 9550 4444
 Email: info@carterwilliamson.com
 Nomineed Architect:
 Shaun Carter 7880

**CARTER
 WILLIAMSON**
 Version: 1, Version Date: 17/08/2023



REVISION NOTES - SECTION 4.55

1. CORRECTION OF CONSENT: THE DEPTH OF THE PLANTER BED TO THE ROOF TERRACE IS A MINIMUM OF 100MM AS MEASURED FROM THE INTERNAL WALLS OF THE TERRACE.
2. INTERNAL LAYOUT CHANGE - LANDSCAPE TO BECOME STUDY.
3. INTERNAL LAYOUT CHANGE - LANDSCAPE TO BECOME STUDY.
4. SKYLIGHT REDUCED.
5. SKYLIGHT REDUCED.
6. ENSURE ADDED, REINFORCED THICKNESS DECKING.
7. ALLOWANCE FOR PV CELLS TO ROOF OF EXISTING BUILDING ADDED.
8. ALLOWANCE FOR PV CELLS TO ROOF OF EXISTING BUILDING ADDED.
9. PARAPET HEIGHT ADJUSTED TO ALLOW LIFT ACCESS.
10. PARAPET HEIGHT ADJUSTED TO ALLOW LIFT ACCESS.
11. PARAPET HEIGHT ADJUSTED TO ALLOW LIFT ACCESS.



Plan Roof Terrace
10-06 F

Date	Revision Note
A 28/0/23	DA Negotiation
B 17/8/22	DA Negotiation - Without Prejudice
C 27/7/22	DA Submission 2
D 9/6/22	Section 4.55 Submission
E 23/4/23	
F 23/4/23	

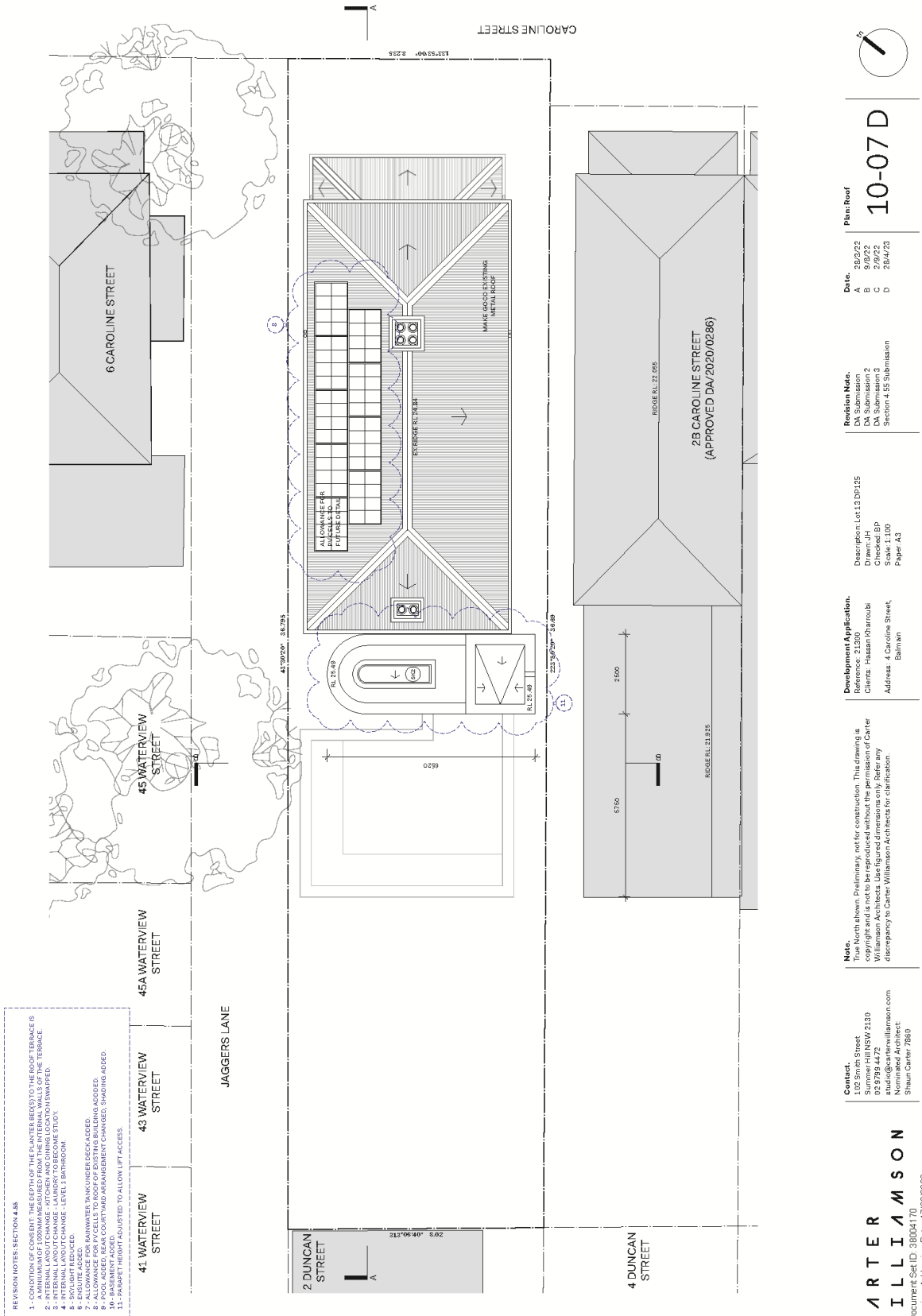
Development Application:
 Description: Lot 13 DP125
 Drawn: JH
 Checked: BP
 Scale: 1:100
 Paper: A3

Development Application:
 Client: Hassan Ibrahim
 Address: 4 Caroline Street,
 Balmain

Note:
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 Kymberly Atkinson
 Shaukat Shah

CARTER WILLIAMSON
 Document Set ID: 38004170
 Version: 1, Version Date: 17/08/2023



- REVISION NOTES: SECTION 4.85
- 1- CONDITION OF COMMENT. THE DEPTH OF THE LANTERS BECAME TO THE ROOF TERRACE IS
 - 2- A MINIMUM OF 1000MM MEASURED FROM THE INTERNAL WALLS OF THE TERRACE.
 - 3- INTERNAL LAYOUT CHANGE - LANTERS TO BE SWAPPED.
 - 4- INTERNAL LAYOUT CHANGE - LANTERS TO BECOME 1000.
 - 5- INTERNAL LAYOUT CHANGE - LEVEL 1 BATHROOM.
 - 6- ENSURE ASSESS.
 - 7- ALLOWANCE FOR BANQUET TABLE UNDER DECK/ARCADE.
 - 8- POOL, ARCADE, REAR COURT AND ARRANGEMENT CHANGED, SHADING ADDED.
 - 10- BASEMENT ADDED.
 - 11- DECKING ADDED TO ALLOW LEFT ACCESS.

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 Phone: 02 9550 1111
 Email: studio@carterwilliamson.com
 Nominated Architect:
 Shaun Carter 7880

Note:
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Development Application:
 Reference: 21300
 Client: Hassan Kharrubi
 Address: 4 Caroline Street,
 Balmain

Description: Lot 13 DP125
 Drawn: JPB
 Scale: 1:100
 Paper: A3

Revision Note:
 DA Submission 1
 DA Submission 2
 DA Submission 3
 Section 4.85 Submission

Date:
 A 28/02/22
 B 28/02/22
 C 28/02/22
 D 28/04/23

Plan: roof
10-07 D

CARTER WILLIAMSON
 Document Set ID: 28004170
 Version: 1, Version Date: 17/08/2023



- REVISION NOTES SECTION 4.5.5
- 1- CONDITION OF CONSENT: THE DEPTH OF THE INTERIORS TO THE ROOF TERRACE IS TO BE 1.8M.
 - 2- INTERNAL LAYOUT CHANGE: KITCHEN AND DINING LOCATION SWAPPED.
 - 3- INTERNAL LAYOUT CHANGE: LAUNDRY TO BECOME STUDY.
 - 4- INTERNAL LAYOUT CHANGE: ENTRY TO BECOME STUDY.
 - 5- SKYLIGHT REDUCED.
 - 6- SKYLIGHT REDUCED.
 - 7- ALLOWANCE FOR RAINWATER TANK UNDER DECK ADDED.
 - 8- POOLING: POOLING TO BE REMOVED FROM THE PLAN.
 - 9- POOLING: POOLING TO BE REMOVED FROM THE PLAN.
 - 10- BASEMENT ADDED. REFERRED TO ALLOW LEFT ACCESS.

10-08A

Date: 28/4/23
A

Revision Note:
Section 4.5.5 Submission

Description: Lot 13 DP125
Drawn: JH
Checked: JH
Scale: 1:100
Page: A3

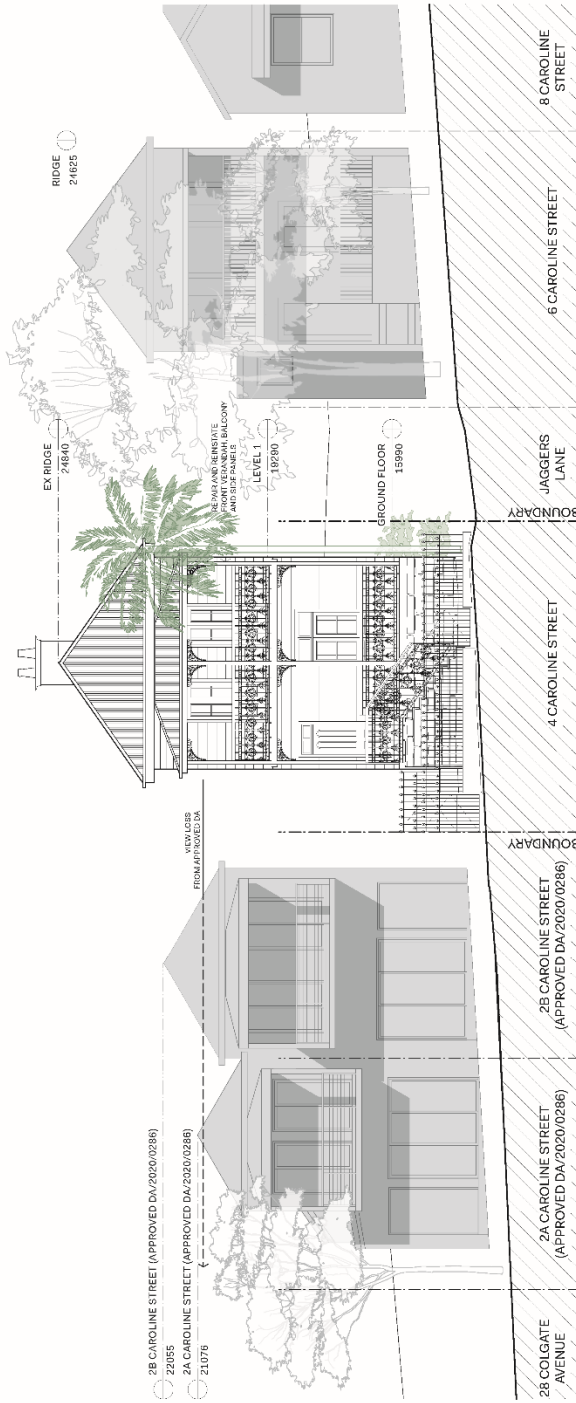
DA Modification:
Reference: 21300
Client: Hasan Khroubi
Address: 4 Caroline Street,
Balmora

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Newmarket Architect
Shaun Carter 7840

CARTER
WILLIAMSON
Document Set ID: 38804170
Version: 1, Version Date: 17/06/2023

- REVISION NOTES SECTION 4.5E**
- 1- CONDUIT ON CEILING (TILE DEPTH) TO THE ROOF (BRACKLE) IS 100MM.
 - 2- INTERNAL LAYOUT CHANGE- KITCHEN AND DINING LOCATION SWAP-ED.
 - 3- INTERNAL LAYOUT CHANGE- LAUNDRY TO BECOME STUDY.
 - 4- INTERNAL LAYOUT CHANGE- LEVEL 1 ENTRANCE.
 - 5- ROOF GUTTER REFINISHED.
 - 6- ALLOWANCE FOR SW WATER TANK UNDER DECK ADDED.
 - 7- ALLOWANCE FOR SW CELL TO BE OVER EXISTING BUILDING ADDED.
 - 8- ROOF GUTTER REFINISHED.
 - 9- ROOF GUTTER REFINISHED.
 - 10- ROOF GUTTER REFINISHED.
 - 11- ROOF GUTTER REFINISHED.
 - 12- ROOF GUTTER REFINISHED.
 - 13- CHANGES TO E. ELEVATION.



1 NORTH ELEVATION - CAROLINE STREET
1:100

Revision Note	Date	Elevation: North
DA Negotiation - Without Prejudice	8/15/23	11-01E
DA Submission 2	27/7/23	
DA Submission 3	9/6/23	
DA Submission 4	29/2/23	
Submit LDC Submission	28/4/23	

Occupation: Lot 13 DP125
 Drawn: JH
 Checked: RP
 Scale: 1:100
 Project: AJ

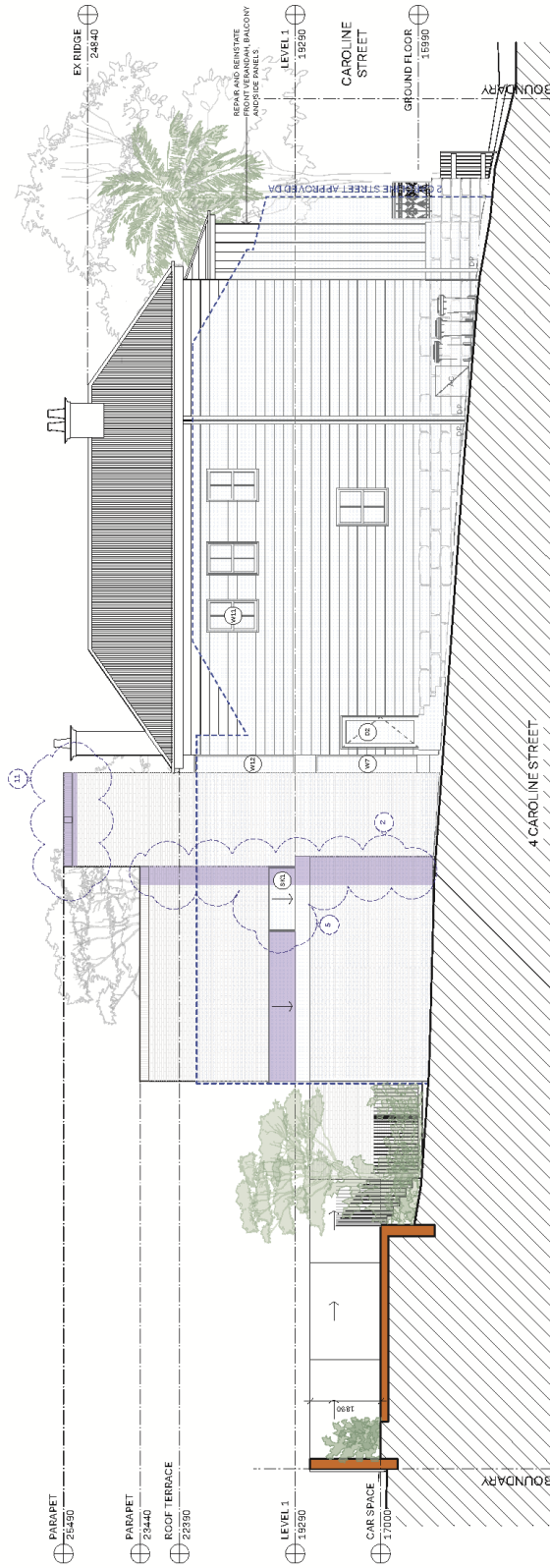
Development Application:
 Client: Hassan Kharoubi
 Address: 4 Caroline Street
 Balmain

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 Shauin Carter / 7490

CARTER WILLIAMSON
 Document Set ID: 39004170
 Version: 1, Version Date: 17/09/2023

- REVISION NOTES: SECTION 4.55
- 1- CONITION OF CONSENT: THE DEPTH OF THE PLANTER BED(S) TO THE ROOF TERRACES IS TO BE ADJUSTED TO 100MM.
 - 2- INTERNAL LAYOUT CHANGE - KITCHEN AND DINING LOCATION SWAPPED.
 - 3- INTERNAL LAYOUT CHANGE - LAMINRY TO BECOME STUDY.
 - 4- INTERNAL LAYOUT CHANGE - KITCHEN AND DINING LOCATION SWAPPED.
 - 5- INTERNAL LAYOUT CHANGE - KITCHEN AND DINING LOCATION SWAPPED.
 - 6- SKY LIGHT REDUCED.
 - 7- ALLOWANCE FOR BANWATER TANK UNDER DECK ADDED.
 - 8- ALLOWANCE FOR PV PANELS TO ROOF OF EXISTING BUILDING ADDED.
 - 9- ALLOWANCE FOR COVERTING AND PARALLEL CHANNELED SPAING ADDED.
 - 10- BASEMENT ADDED.
 - 11- PARKLET HEIGHT ADJUSTED TO ALLOW LIFT ACCESS.



1 EAST ELEVATION
1:100

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 Document Set ID: 28004170
 Version: 1, Version Date: 17/09/2023

Contact:
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 c.williamson@williamson.com
 Nominated Architect:
 Shaun Carter 2860

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Development Application:
 Reference: 21300
 Client: Hassan Khanouba
 Address: 4 Caroline Street, Balmain

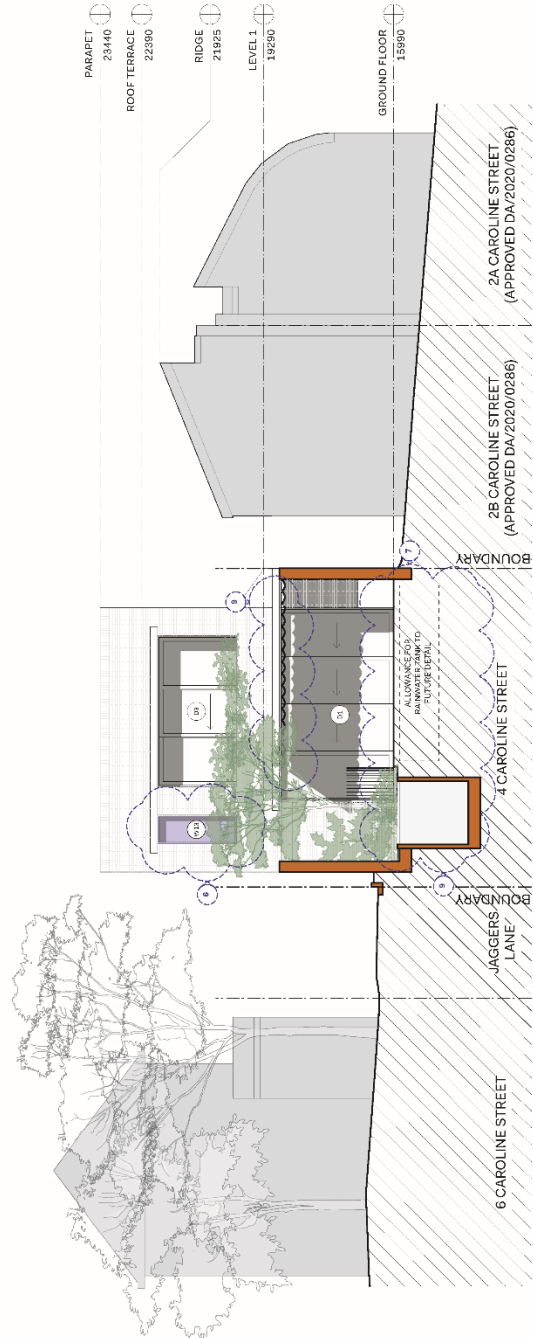
Description: Lot 13 DP 125
 Drawn: JH
 Checked: BP
 Date: 28/02/23
 Page: A2

Revision Note:
 DA Submission
 DA Negotiation - Without Prejudice
 DA Submission 1
 DA Submission 2
 Section 4.55 Submission

Date:
 A 28/2/23
 B 27/7/23
 C 2/9/23
 D 28/4/23
 E 28/4/23

Element: East
11-02 E

- REVISION NOTES: SECTION 4.8**
1. - CORNER OF CORNER: THE DEPTH OF THE PLANTER BED(S) TO THE ROOF TERRACE IS A MINIMUM OF 200MM MEASURED FROM THE INTERNAL WALLS OF THE TERRACE.
 2. - INTERNAL LAYOUT CHANGE - LAUNDRY TO BECOME STUDY.
 3. - INTERNAL LAYOUT CHANGE - LEVEL 1 BATHROOM.
 4. - INTERNAL LAYOUT CHANGE - LEVEL 1 BATHROOM.
 5. - ENSURE ACCESS TO THE LAUNDRY AND BATHROOM ARE MAINTAINED.
 6. - ENSURE ACCESS TO THE LAUNDRY AND BATHROOM ARE MAINTAINED.
 7. - ALLOWANCE FOR PRICELIST TO BE ADJUSTED TO REFLECT EXISTING BUILDING ADDED.
 8. - ALLOWANCE FOR PRICELIST TO BE ADJUSTED TO REFLECT EXISTING BUILDING ADDED.
 9. - POOL ADDED, NEAR COURTYARD ARRANGEMENT CHANGED, SHADING ADDED.
 10. - PARAPET HEIGHT ADJUSTED TO ALLOW UFF ACCESS.
 11. - PARAPET HEIGHT ADJUSTED TO ALLOW UFF ACCESS.
 12. - CHANGES TO ELEVATION.



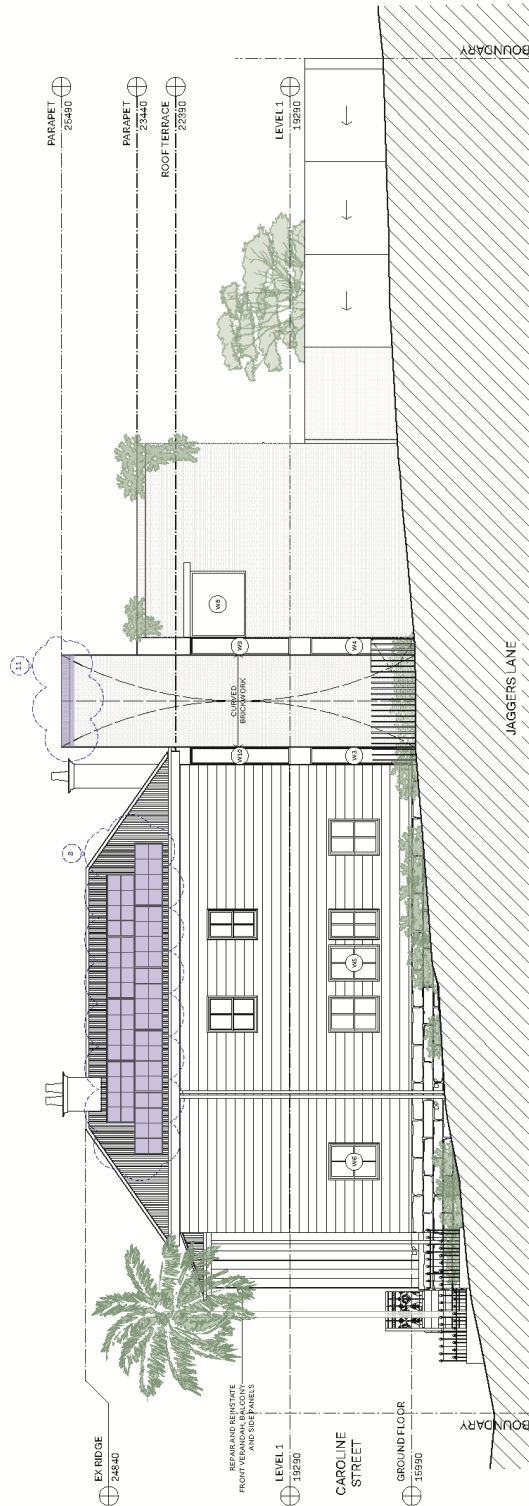
1 SOUTH ELEVATION
1:100

<p>Contact: 200 Smith Street 2130 BILBAWA NSW 2130 02 9798 4472 studio@carterwilliamson.com cwilliam@carterwilliamson.com Nominated Architect Sharrin Carter 7860</p>	<p>Notes: This sketch shows preliminary site information. This sketch is for information only and is not to be reproduced without the permission of Carter Williamson Architects. Use figure dimensions only. Refer any discrepancy to Carter Williamson Architects for clarification.</p>	<p>Development Application: Reference: 21300 Greater Parramatta Council Address: 4 Caroline Street, BilbaWA</p>	<p>Description: Lot 13 DP215 400 sqm Checked: RP Scale: 1:100 Paper: A3</p>	<p>Revision Note: A. No Revision - Without Prejudice B. DA Submission 1 C. DA Submission 2 D. DA Submission 3 E. Section 4.8 Submission F.</p>	<p>Date: A. 16/02/22 B. 27/02/22 C. 06/02/22 D. 29/02/22 E. 28/02/23</p>	<p>Elevation: South 11-03 E</p>
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**CARTER
WILLIAMSON**

Document Set ID: 38004170
Version: 1, Version Date: 17/09/2023

- REVISION NOTES - SECTION 4.5B
- 1 - CONDITION OF CONCRETE: THE DEPTH OF THE PLANTER BED(S) TO THE ROOF TERRACE IS TO BE INCREASED TO 100MM.
 - 2 - INTERNAL AND EXTERNAL: FITCHES AND DINING LOCATION SWAPPED.
 - 3 - INTERNAL AND EXTERNAL: LEVEL 1 ENTRY ROOM.
 - 4 - INTERNAL AND EXTERNAL: LEVEL 1 ENTRY ROOM.
 - 5 - SKYLIGHT REDUCED.
 - 6 - SKYLIGHT REDUCED.
 - 7 - ALL DOWNPIPE FOR BANQUET TRAYS UNDER DECK ADDED.
 - 8 - ALL DOWNPIPE FOR BANQUET TRAYS UNDER DECK ADDED.
 - 9 - FLOOR, KITCHEN, REAR COURTYARD ARRANGEMENT CHANGED, SHADING ADDED.
 - 10 - FLOOR, KITCHEN, REAR COURTYARD ARRANGEMENT CHANGED, SHADING ADDED.
 - 11 - FLOOR, KITCHEN, REAR COURTYARD ARRANGEMENT CHANGED, SHADING ADDED.
 - 12 - FLOOR, KITCHEN, REAR COURTYARD ARRANGEMENT CHANGED, SHADING ADDED.
 - 13 - FLOOR, KITCHEN, REAR COURTYARD ARRANGEMENT CHANGED, SHADING ADDED.
 - 14 - FLOOR, KITCHEN, REAR COURTYARD ARRANGEMENT CHANGED, SHADING ADDED.
 - 15 - CHANGES TO ELEVATION.



1 WEST ELEVATION - JAGGERS LANE
1:100

Elevation West
11-04 E

Revision No.	Date
A	28/3/22
B	27/7/22
C	27/7/22
D	27/7/22
E	28/4/23

Revision Note:
 DA Submission - Without Prejudice
 DA Negotiation - Without Prejudice
 DA Submission 2
 DA Submission 3
 Section 4.5F Submission

Description: Lot 13 DP125
 Drawn: JH
 Checked: JH
 Scale: 1:100
 Paper: A3

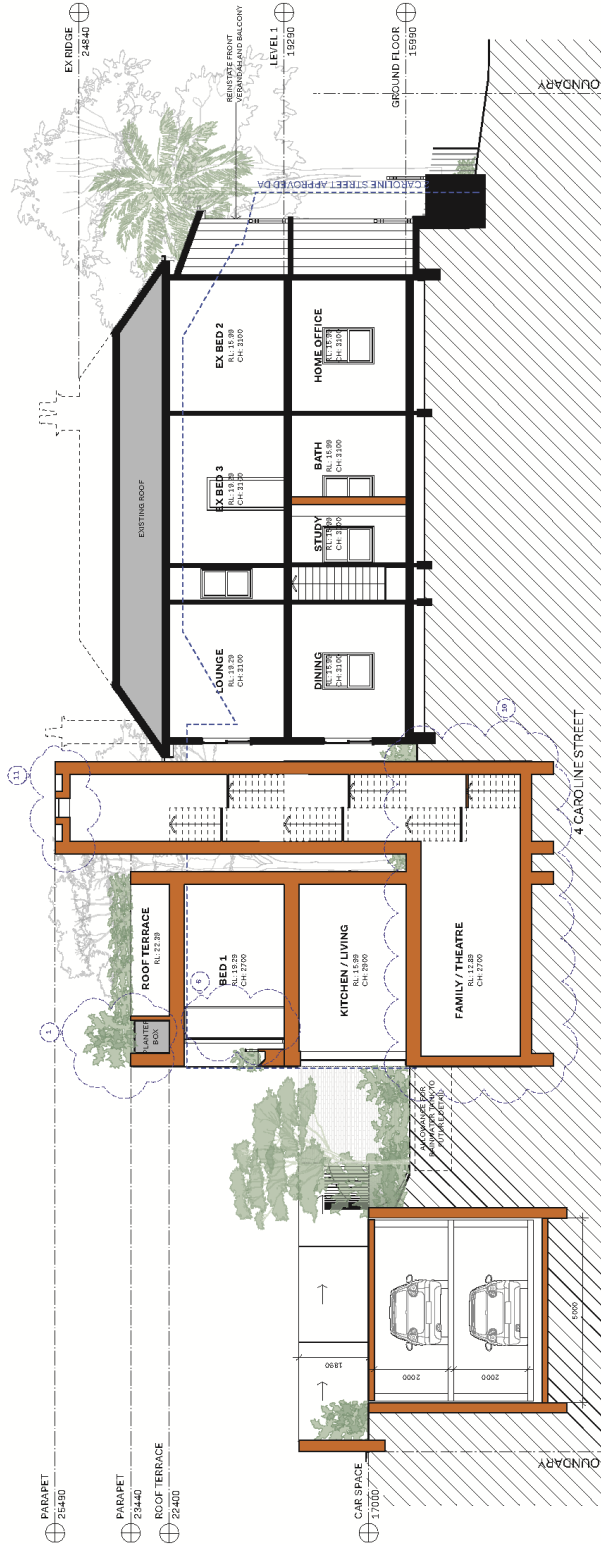
Development Application:
 Reference: 21300
 Clients: Hassan Ibrahim
 Address: 4 Caroline Street,
 Balmain

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 Normanted Architect:
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 Document Set ID: 38004170
 Version: 1, Version Date: 17/09/2023

- REVISION NOTES SECTION 4.8.8
- 1- CONTROL OF CONSENT: THE DEPTH OF THE PLANTER BECAME TO THE ROOF TERRACE'S
 - 2- INTERNAL LAND OFF CHANGE - KITCHEN AND DINING LOCATION SWAPPED.
 - 3- INTERNAL LAND OFF CHANGE - LEVEL 3 BATHROOM.
 - 4- INTERNAL LAYOUT CHANGE - LEVEL 3 BATHROOM.
 - 5- SWIM POOL REDUCED.
 - 6- ALLOWANCE FOR RAINWATER TANK UNDER DECK/ARCADE.
 - 7- ALLOWANCE FOR RAINWATER TANK UNDER DECK/ARCADE.
 - 8- POOL ADDED, REAR COURTYARD REARMAMENT CHANGED, SHADING ADDED.
 - 9- SWIMMING POOL ADDED, REAR COURTYARD REARMAMENT CHANGED, SHADING ADDED.
 - 10- SWIMMING POOL ADDED, REAR COURTYARD REARMAMENT CHANGED, SHADING ADDED.
 - 11- SWIMMING POOL ADDED, REAR COURTYARD REARMAMENT CHANGED, SHADING ADDED.



AA SECTION AA
E1100

Section A
12-01 F

Date	Revision
23/2/22	A
27/7/22	B
2/10/22	C
2/9/22	D
6/9/22	E
23/4/22	F

Description: Lot 13 DP 125
Drawn: JH
Checked: JP
Scale: 1:100
Paper: A3

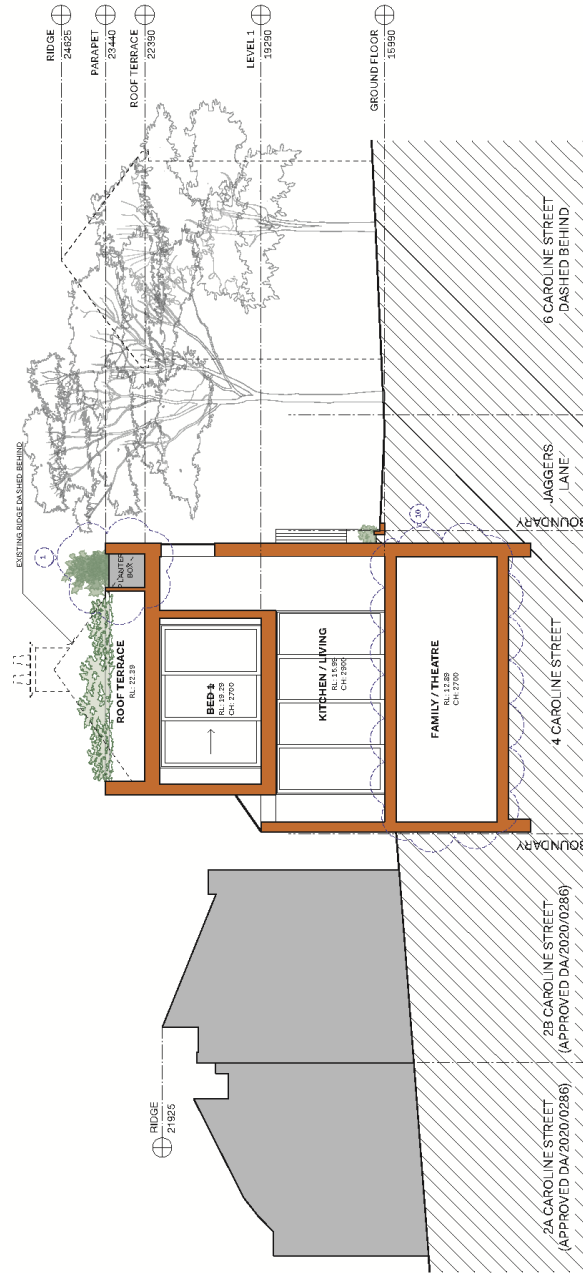
Development Application
Reference: 21309
Client: Hassan Kharouki
Address: 4 Caroline Street,
Balmuir

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Norman Baker Architect
Shaun Carter 7980

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WILLIAMSON
Document Set ID: 36004170
Version: 1, Version Date: 17/09/2023

- REVISION NOTES SECTION 4.55
- 1- CONDITION OF CONSENT: THE DEPTH OF THE INTER-BEYS TO THE ROOF TERRACE IS NOW 1.1M (FROM 1.0M) TO ALLOW FOR THE TERRACE.
 - 2- INTERNAL LAYOUT CHANGE - KITCHEN AND DINING LOCATION SWAPPED.
 - 3- INTERNAL LAYOUT CHANGE - LAUNDRY TO BECOME STUDY.
 - 4- INTERNAL LAYOUT CHANGE - STUDY TO BECOME LAUNDRY.
 - 5- SKYLIGHT REDUCED.
 - 6- SKYLIGHT POSITION CHANGED.
 - 7- ALLOWANCE FOR RAINWATER TANK UNDER DECK ADDED.
 - 8- POOL ADDED. AREA COURT AND MANAGEMENT PANELS, SHEDS, SHEDS ADDED.
 - 9- BASINMENT ADDED. REFERRED TO ALLOW LEFT ACCESS.



BB SECTION BB
1:100

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Newmarket Architect
Shaun Carter 7840

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Development Application:
Reference: 21300
Client: Hassan Khatroubi
Address: 4 Caroline Street,
Balmora

Description: Lot 13 DP125
Drawn: JH
Checked: JH
Scale: 1:100
Paper: A3

Revision Note:
DA Submission - Without Prejudice
DA Submission 2
DA Submission 3
Revised
Section 4.55 Submission

Date:
A 28/022
B 27/022
C 29/022
D 29/022
E 28/022
F 28/022

Section B
12-02 F

**CARTER
WILLIAMSON**

Document Set ID: 38004170
Version: 1, Version Date: 17/08/2023

- REVISION NOTES SECTION 4.55**
- 1 - CONDITIONS OF CONSENT, THE DEPTH OF THE LAND BENCHES TO THE MOOR TERRACE IS TO BE 100MM.
 - 2 - INTERNAL FRONT CHANGE - KITCHEN PLANTING LOCATION TO BECOME STUDY.
 - 3 - INTERNAL FRONT CHANGE - LAUNDRY TO BECOME STUDY.
 - 4 - INTERNAL FRONT CHANGE - COCA COLA SIGNAGE.
 - 5 - SKYLOFT - REDUCED.
 - 6 - SKYLOFT - REDUCED.
 - 7 - SKYLOFT - RAINWATER TANK - INFER FROM SKYLOFT.
 - 8 - SKYLOFT - RAINWATER TANK - INFER FROM SKYLOFT.
 - 9 - SKYLOFT - RAINWATER TANK - INFER FROM SKYLOFT.
 - 10 - SKYLOFT - RAINWATER TANK - INFER FROM SKYLOFT.
 - 11 - SKYLOFT - RAINWATER TANK - INFER FROM SKYLOFT.



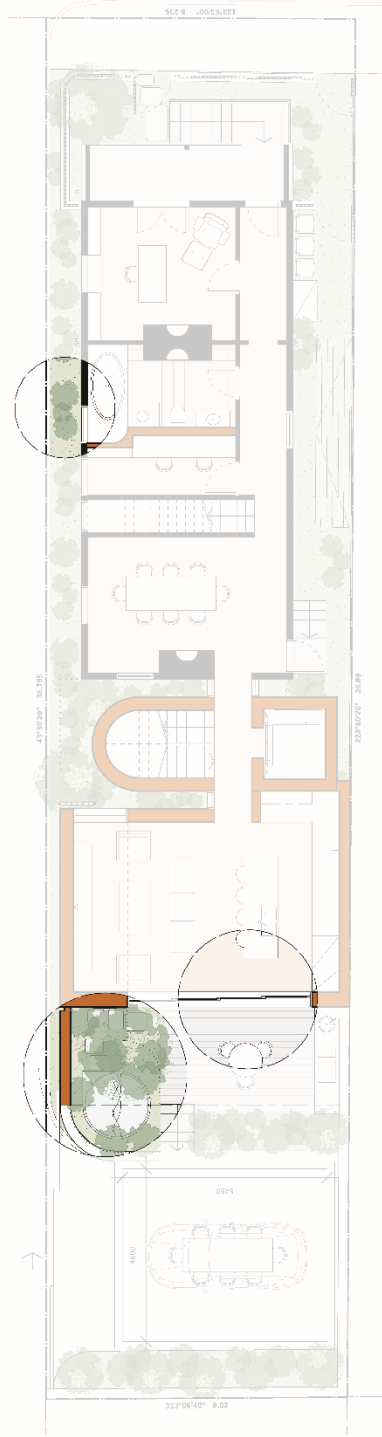
LIGHT BRICK AGAINST PLANTING



TIMBER FRAMED DOORS AND WINDOWS



NEW KERB AND PLANTING STRIP TO PROTECT WEATHERBOARD FACADE



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Development Application:
 Reference: 21/306
 Client: Haseem Alarabji
 Address: 4 Seach Street, Summer Hill

Description of 13 DDC25:
 Drawn: JH
 Checked: BP
 Scale: 1:500
 Paper: A4

Revision No.:
 DA Submission
 DA Submission 2
 DA Submission 3
 Section 135 Submission

Date:
 28/02/23
 09/02/23
 20/02/23
 28/07/23

Materials and Finishes Schedule Plan
13-01 D



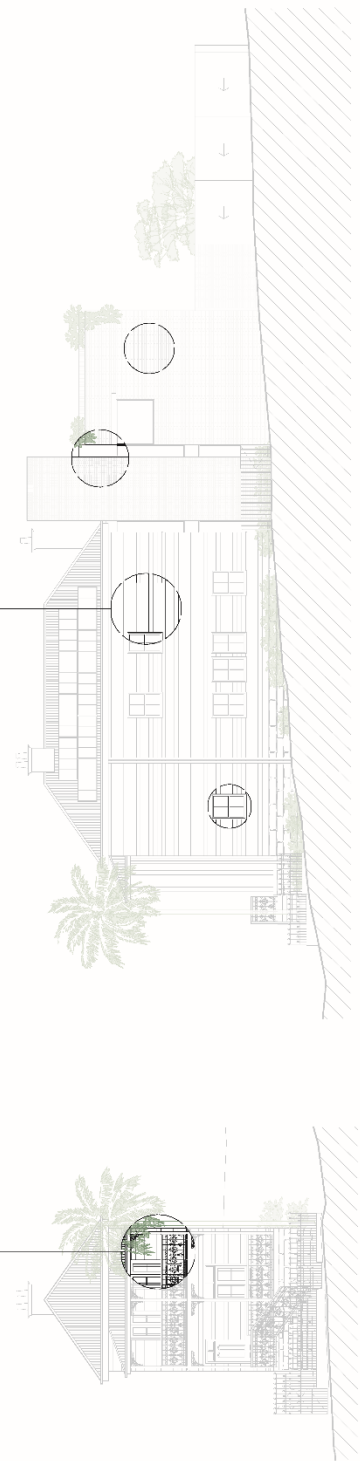
- REVISION NOTES - SECTION 4.5**
1. CONDITION OF CONSENT (THE DEPTH OF THE PLANTERS) TO THE ROOF TERRACE IS CHANGED TO 100MM.
 2. INTERNAL LANDSCAPE CHANGES TO BE MADE TO THE ROOF TERRACE.
 3. INTERNAL LANDSCAPE CHANGES TO BE MADE TO THE ROOF TERRACE.
 4. INTERNAL LANDSCAPE CHANGES TO BE MADE TO THE ROOF TERRACE.
 5. STAY LIGHT REMOVED.
 6. STAY LIGHT REMOVED.
 7. ALLOWANCE FOR BANISTER FUNK, INDECK, ADDED.
 8. ALLOWANCE FOR PVC CELLS TO ROOF OF EXISTING BUILDING, ADDED.
 9. BALCONY FLOOR FINISHES TO BE CHANGED, SPECIFIED, ADDED.
 10. BASEMENT ADDED.
 11. PARAPET HEIGHT ADJUSTED TO ALLOW LIFT ACCESS.



NEW WINDOWS TO EXISTING DETAIL

REINSTATE AND REFINISH EXISTING CLADDING

REINSTATE ORIGINAL LACE DETAILS



1 CAROLINE STREET ELEVATION
1:150

2 JAGGERS LANE ELEVATION
1:150

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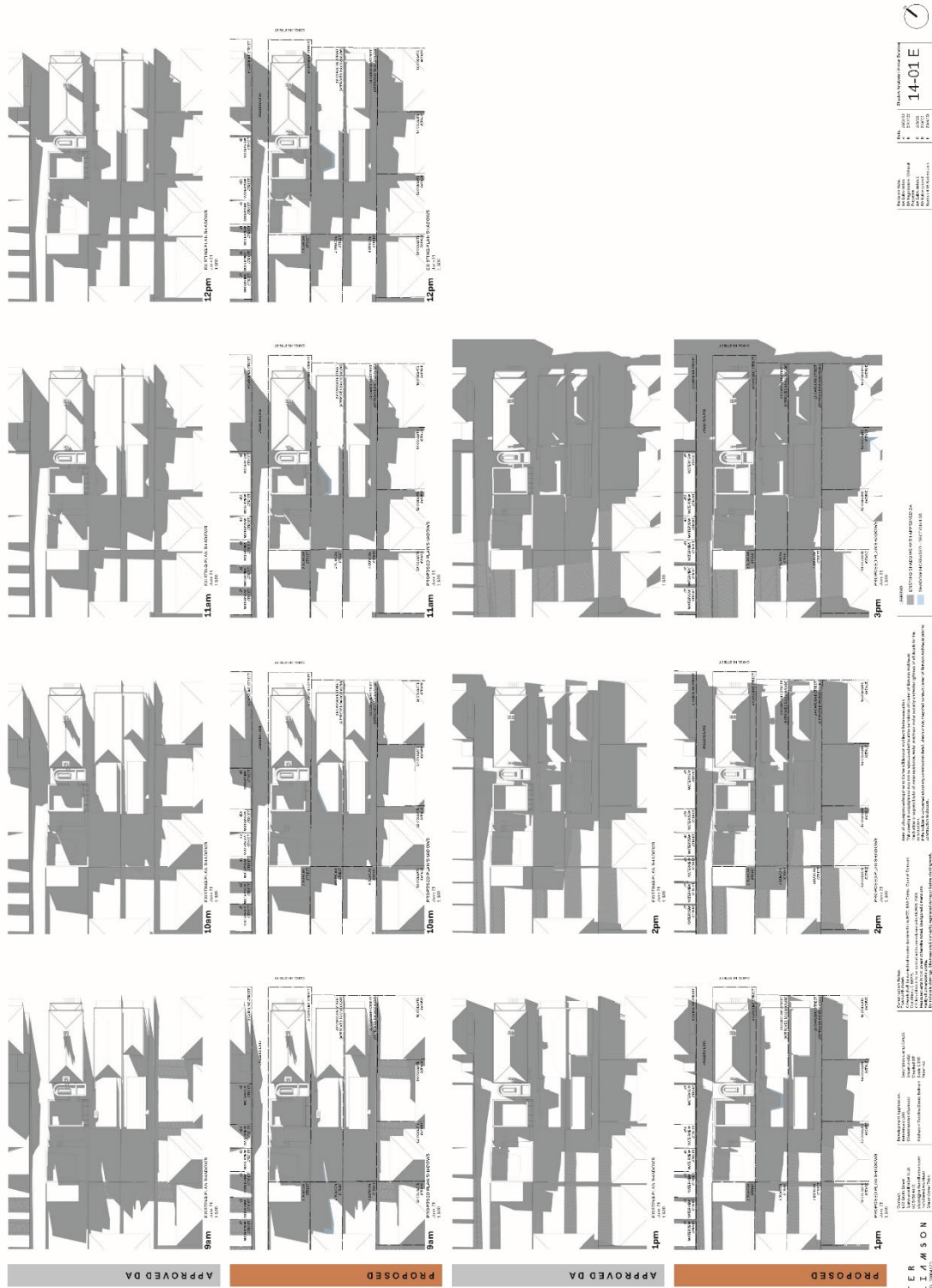
Development Application:
 CLIENT: Hassan Khajroubi
 Address: 2 Caroline Street, Belconnen
 Description: Lot 11 DP 125
 Drawn: JH
 Checked: BP
 Scale: 1:150
 Page: 7/13

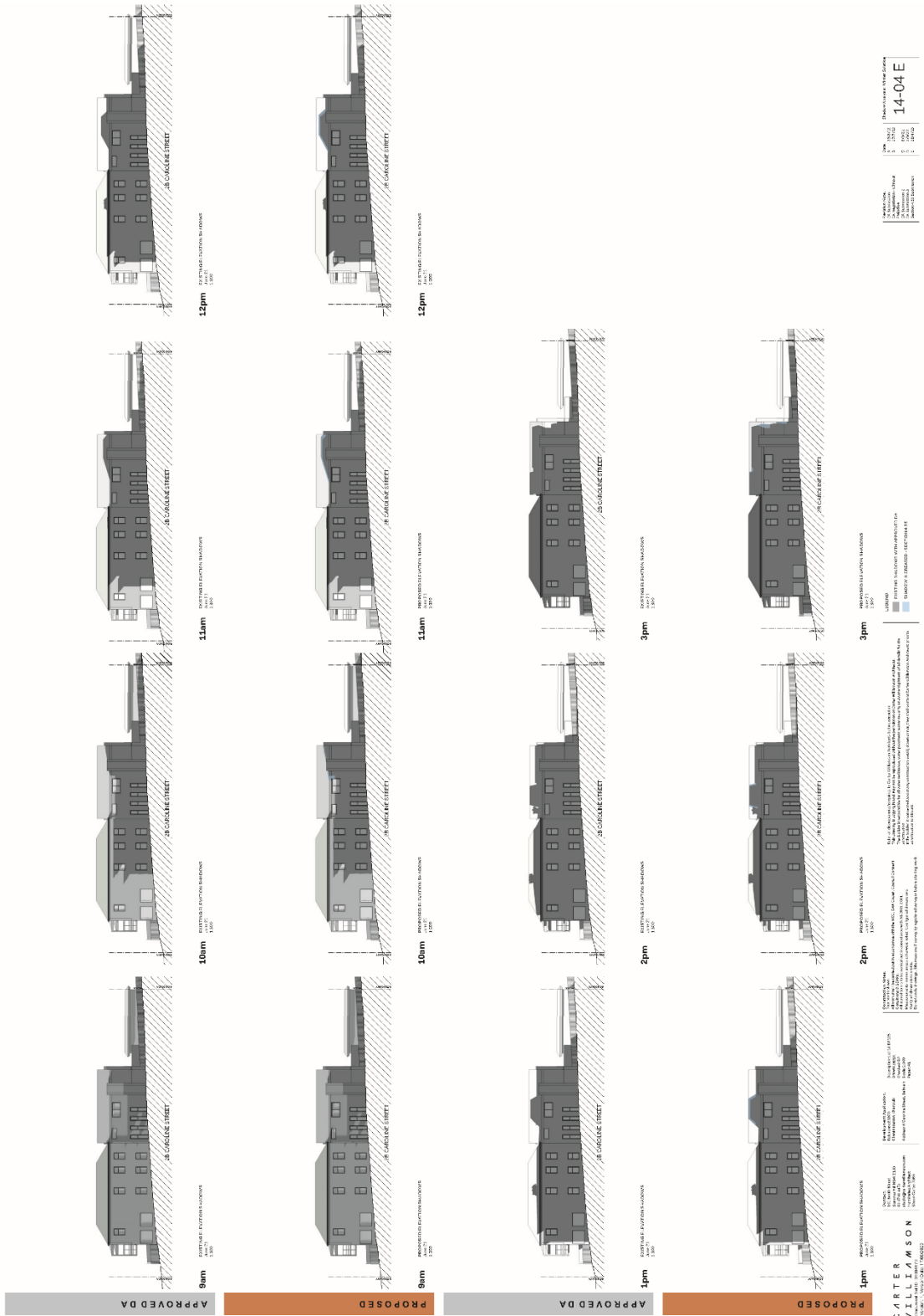
Revision No.:
 DA Submission 2
 DA Submission 3
 Section 4.55 Submission

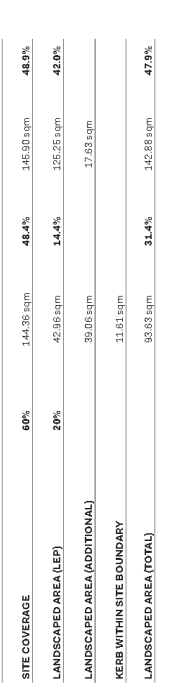
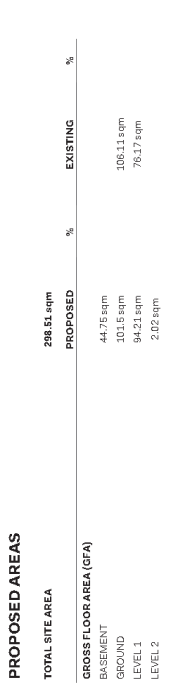
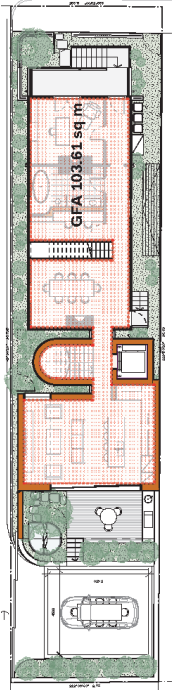
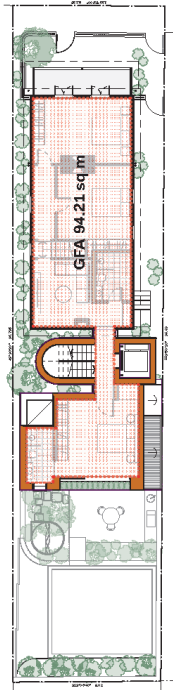
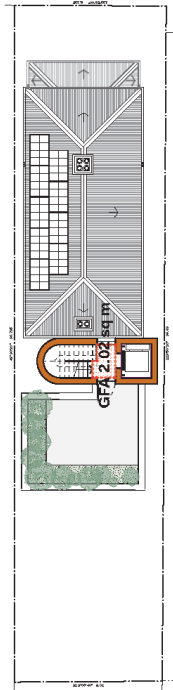
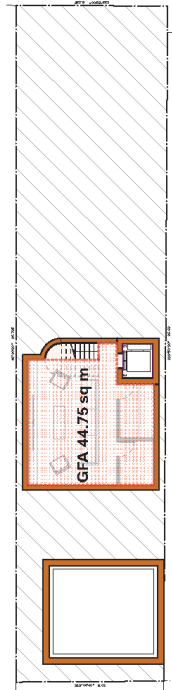
Date:
 A 28/2/22
 B 5/8/22
 C 2/9/22
 D 28/4/23

Materials and Finishes Schedule/Elevations
13-02 D

CARTER WILLIAMSON
 Document Set ID: 36004170
 Version: 1, Version Date: 17/09/2023







PROPOSED AREAS

TOTAL SITE AREA		298.51 sqm	
GROSS FLOOR AREA (GFA)			
BASEMENT	44.75 sqm		
GROUND	103.61 sqm		106.11 sqm
LEVEL 1	94.21 sqm		76.17 sqm
LEVEL 2	2.02 sqm		
TOTAL GFA	244.59 sqm		182.28 sqm
FLOOR SPACE RATIO		0.81:1	0.81:1
SITE COVERAGE		60%	48.9%
LANDSCAPED AREA (LEP)		20%	42.0%
LANDSCAPED AREA (ADDITIONAL)			
KERB WITHIN SITE BOUNDARY			
LANDSCAPED AREA (TOTAL)		31.4%	47.9%

- GROSS FLOOR AREA
- SITE COVERAGE
- LANDSCAPED AREA (LEP)
- LANDSCAPED AREA (ADDITIONAL)

PROPOSED IGFA
1:200

EXISTING IGFA
1:200



Area Calculations GFA
15-01 D

Revision Note:
 A 28/2/22
 B 9/8/22
 C 12/8/22
 D 28/4/23

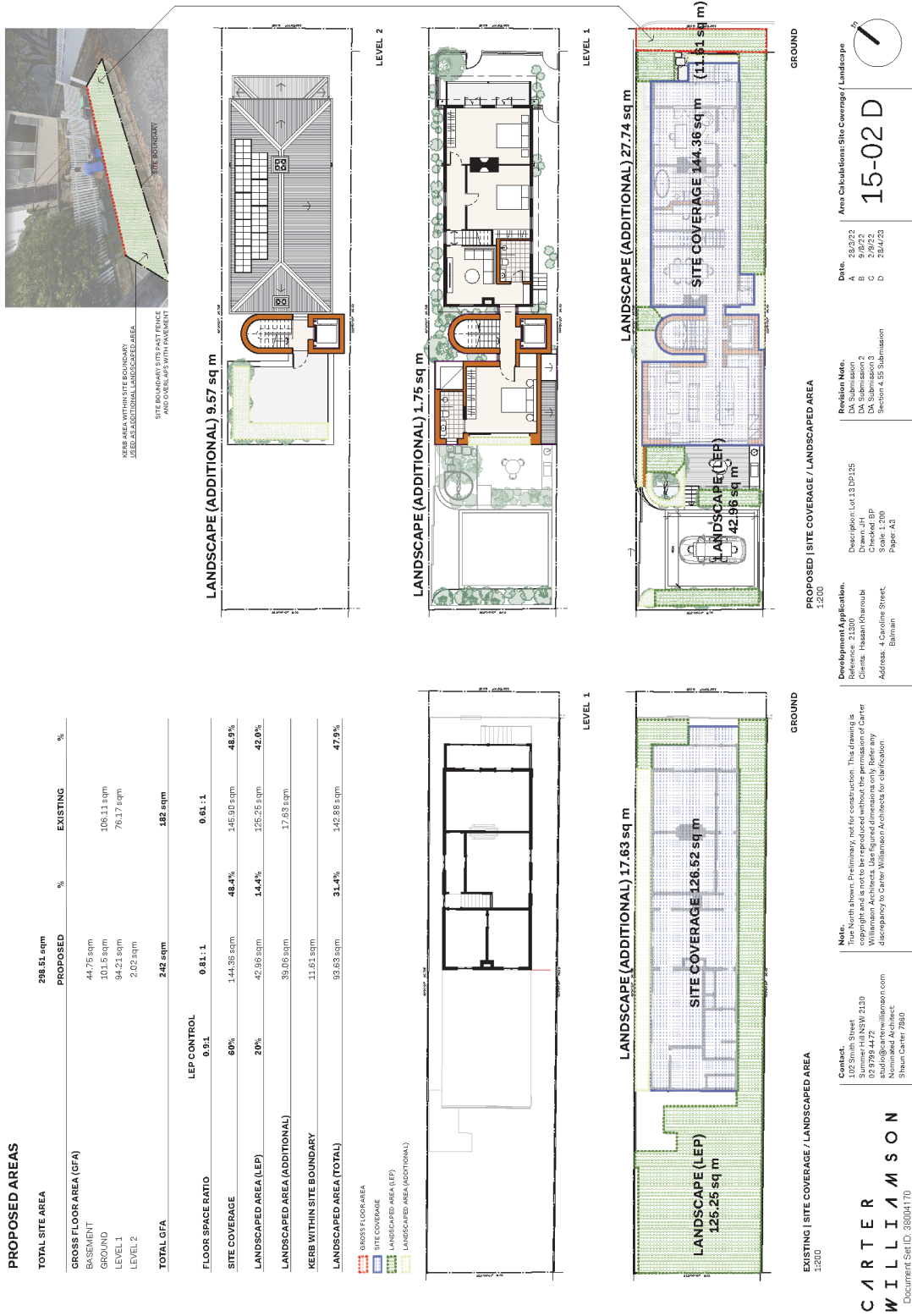
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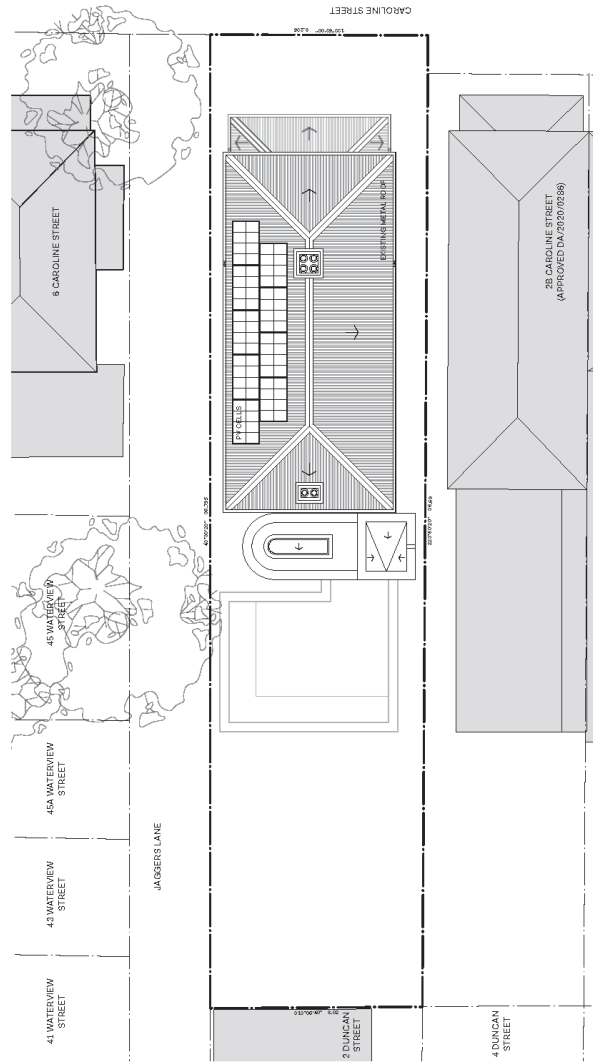
Development Application:
 Reference: 21300
 Clients: Hassan Ibrahim
 Address: 4 Cavoline Street,
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Contact:
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 Nominated Architect:
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 Version: 1, Version Date: 17/09/2023





Notification Plan | Roof

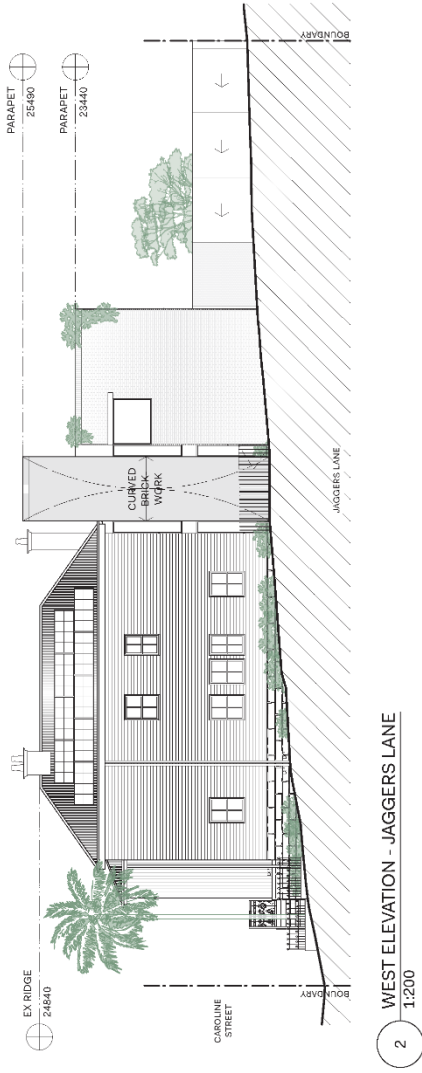
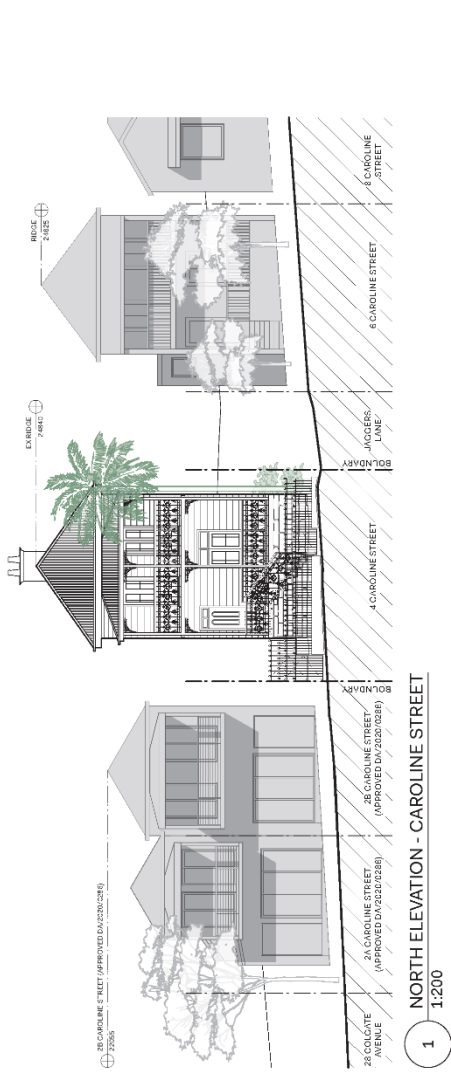


18-01 D

Address: 4 Caroline Street, Balmain
Scale: 1:200
Paper: A4

Contact:
102 Smith Street
Summer Hill NSW 2130
02 9779 4472
studio@carterwilliamson.com
Nominated Architect:
Shaun Carter 7860

**CARTER
WILLIAMSON**
Document Set ID: 38004170
Version: 1, Version Date: 17/08/2023

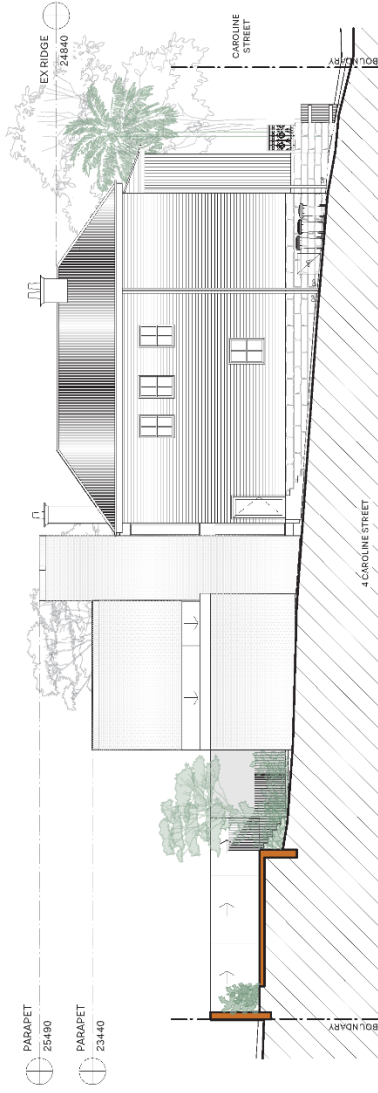


Notification Plan | Elevations
18-02 D

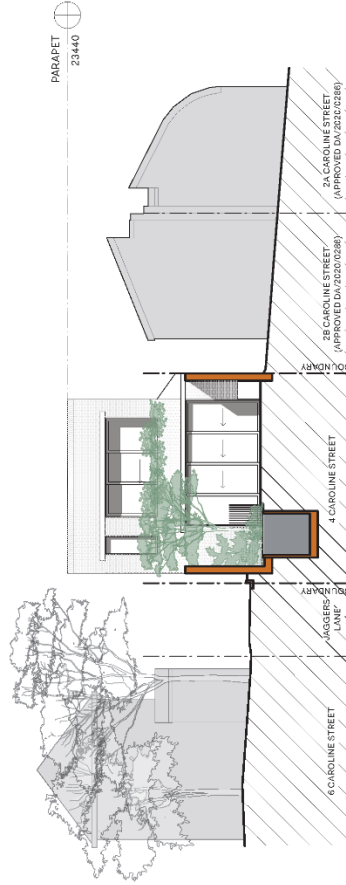
Address: 4 Caroline Street, Balmain
Scale: 1:200
Paper: A4

Contact:
102 Smith Street
Summer Hill NSW 2130
02 9799 4472
studio@carterwilliamson.com
Nominated Architect:
Shaun Carter 7860

**CARTER
WILLIAMSON**
Document Set ID: 38004170
Version: 1, Version Date: 17/08/2023



1 EAST ELEVATION 1:200



2 SOUTH ELEVATION 1:200

Notification Plan | Elevations
18-03 D

Address: 4 Caroline Street, Balmain
Scale: 1:200
Paper: A4

Contact:
102 Smith Street
Summer Hill NSW 2130
02 9799 4472
studio@carterwilliamson.com
Nominated Architect:
Shaun Cartor 7860

**CARTER
WILLIAMSON**
Document Set ID: 38004170
Version: 1, Version Date: 17/08/2023

9am APPROVED DA
 9am
 9am
 9am

10am APPROVED DA
 10am
 10am
 10am

11am PROPOSED
 11am
 11am
 11am

12pm PROPOSED
 12pm
 12pm
 12pm

Legend:
 UNITS
 UNITS TO BE CONSIDERED FOR THE DA
 UNITS TO BE CONSIDERED FOR THE DA
 UNITS TO BE CONSIDERED FOR THE DA

14-01 E
 14-01 E
 14-01 E
 14-01 E

CARTER / SON
 CARTER / SON
 CARTER / SON
 CARTER / SON

The image displays architectural elevations of a building facade, organized into two columns. The elevations are labeled from 9m to 12pm in 1-hour increments. Each elevation shows a multi-story building with a gabled roof and multiple windows. The elevations are oriented towards 'St. Charles Street'.

Legend:

- EXISTING BUILDING (NOT APPROVED)
- PROPOSED BUILDING
- EXISTING BUILDING (NOT APPROVED)
- PROPOSED BUILDING

Project Information:

14-04E

CARTER WILLIAMSON

APPROVED (9m, 10m, 11am, 12pm)

PROPOSED (9am, 10am, 11am, 12pm)

- REVISION NOTES SECTION 4.59**
1. CONDITION OF ROOFING THE DEPT. OF UTILS INTERFERES TO THE ROOF TERRACE G.
 2. INTERNAL AND EXTERNAL FINISHES TO BE REFINISHED TO MATCH EXISTING FINISHES.
 3. INTERNAL AND EXTERNAL FINISHES TO BE REFINISHED TO MATCH EXISTING FINISHES.
 4. INTERNAL AND EXTERNAL FINISHES TO BE REFINISHED TO MATCH EXISTING FINISHES.
 5. SKYLIGHT - REPAIRS.
 6. SKYLIGHT - REPAIRS.
 7. ALLOWANCE FOR RAINWATER TANK UNDER DECK ADDED.
 8. ALLOWANCE FOR RAINWATER TANK UNDER DECK ADDED.
 9. PROTECT WEATHERBOARD FACADE.
 10. ASSESSMENT FOR RAINWATER TANK UNDER DECK ADDED.
 11. ASSESSMENT FOR RAINWATER TANK UNDER DECK ADDED.



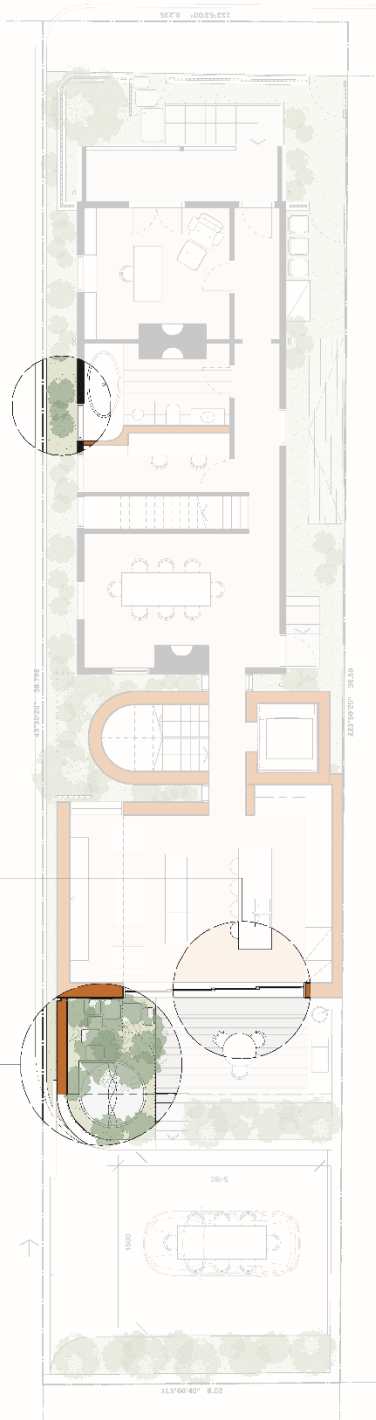
LIGHT BRICK AGAINST PLANTING



TIMBER FRAMED JOISTS AND WINDOWS



NEW KERBOARD PLANTING STRIP TO PROTECT WEATHERBOARD FACADE



Contract
 170 Beach Street
 Summer Hill NSW 2130
 02 8798 4472
 info@carterwilliamson.com
 Melbourne
 Shaun Carter / 860

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 North of line, preliminary, not for construction. This drawing is copyright and not to be reproduced without the permission of Carter Williamson Architects. Use figured dimensions only. For any discrepancy to Carter Williamson Architects for confirmation.

Development Application
 DA 2019/0001
 Client: Liaison (Kharulji)
 Address: 4 Caroline Street,
 Berala

Description: Lot 15 DP 115
Drawn: JJ
Checked: BP
Scale: 1:50
Project: 13

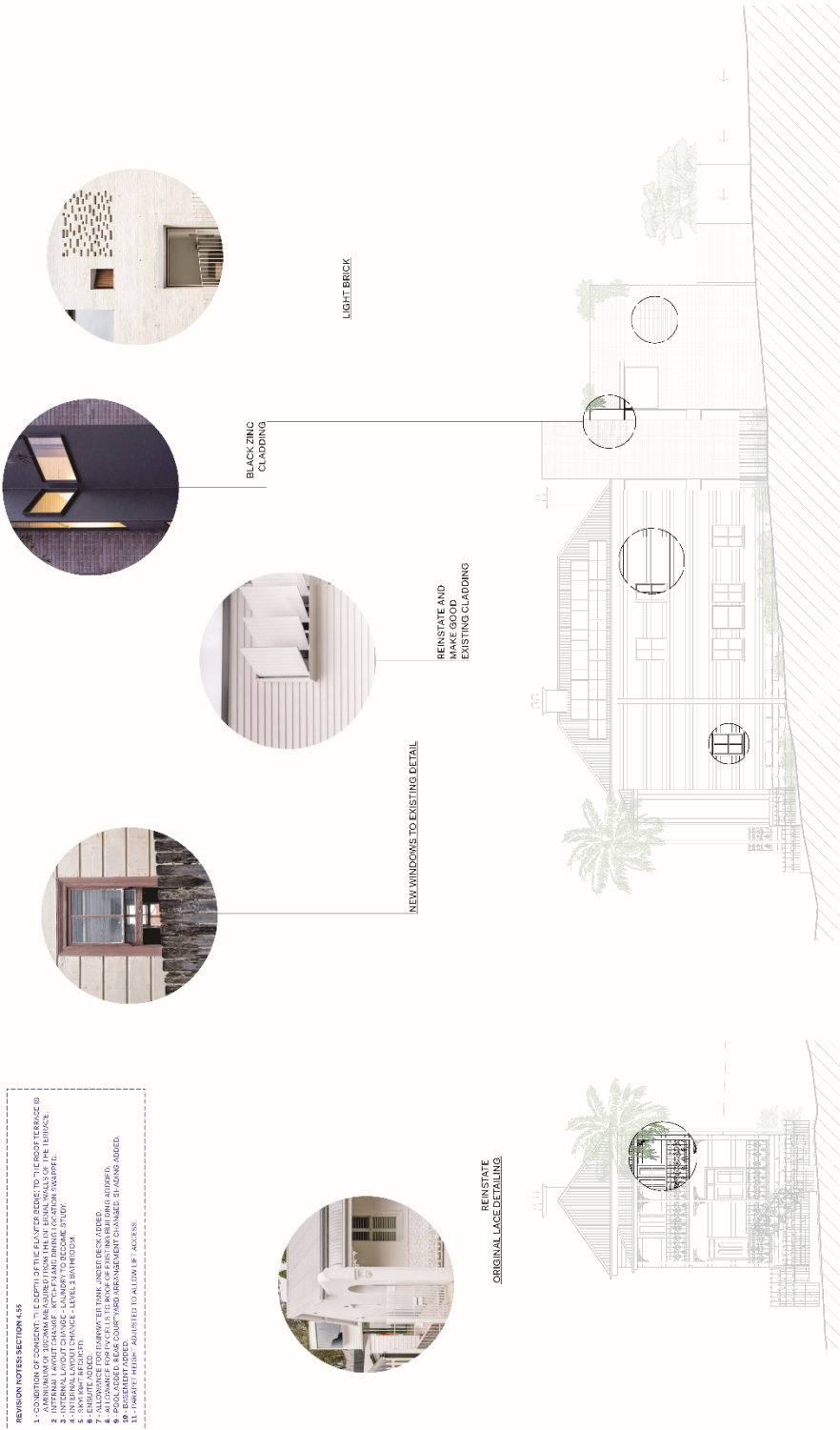
Revision Note:
 DA Submission 1
 DA Submission 2
 DA Submission 3
 Section 4.59 Submission

Date:
 A 28/3/22
 B 6/6/22
 C 2/8/22
 D 28/4/23

Materials and Finishes Schedule: #1111
13-01 D



**CARTER
 WILLIAMSON**
 Architectural
 Version: 1, Version Date: 17/08/2023



- REVISION NOTES/SECTION 4.5.5**
1. CONDITION OF CONCRETE TO BE DEPTH OF THE FLANIER DECK TO THE ROOF TERRACE BE
 2. INTERNAL LAYOUT CHANGE AT POOL AREA (MINI) LOCATION (AS SHOWN IN PLAN).
 3. INTERNAL LAYOUT CHANGE AT POOL AREA (MINI) LOCATION (AS SHOWN IN PLAN).
 4. INTERNAL LAYOUT CHANGE AT POOL AREA (MINI) LOCATION (AS SHOWN IN PLAN).
 5. 300MM² REINFORCEMENT.
 6. 300MM² REINFORCEMENT.
 7. ALLOWANCE FOR DRAINAGE TO BE DRAINAGE DECK ADDED.
 8. POOL ACCESS REAR COURT (AS SHOWN IN PLAN) CHANGES TO BE ADDED.
 9. POOL ACCESS REAR COURT (AS SHOWN IN PLAN) CHANGES TO BE ADDED.
 10. REVISIONS TO BE ADDED TO ALL DIMENSIONS.

1 CAROLINE STREET ELEVATION
13150

2 JAGGERS LANE ELEVATION
13150

Materials and Finishes Schedule/Elevations
13-02 D

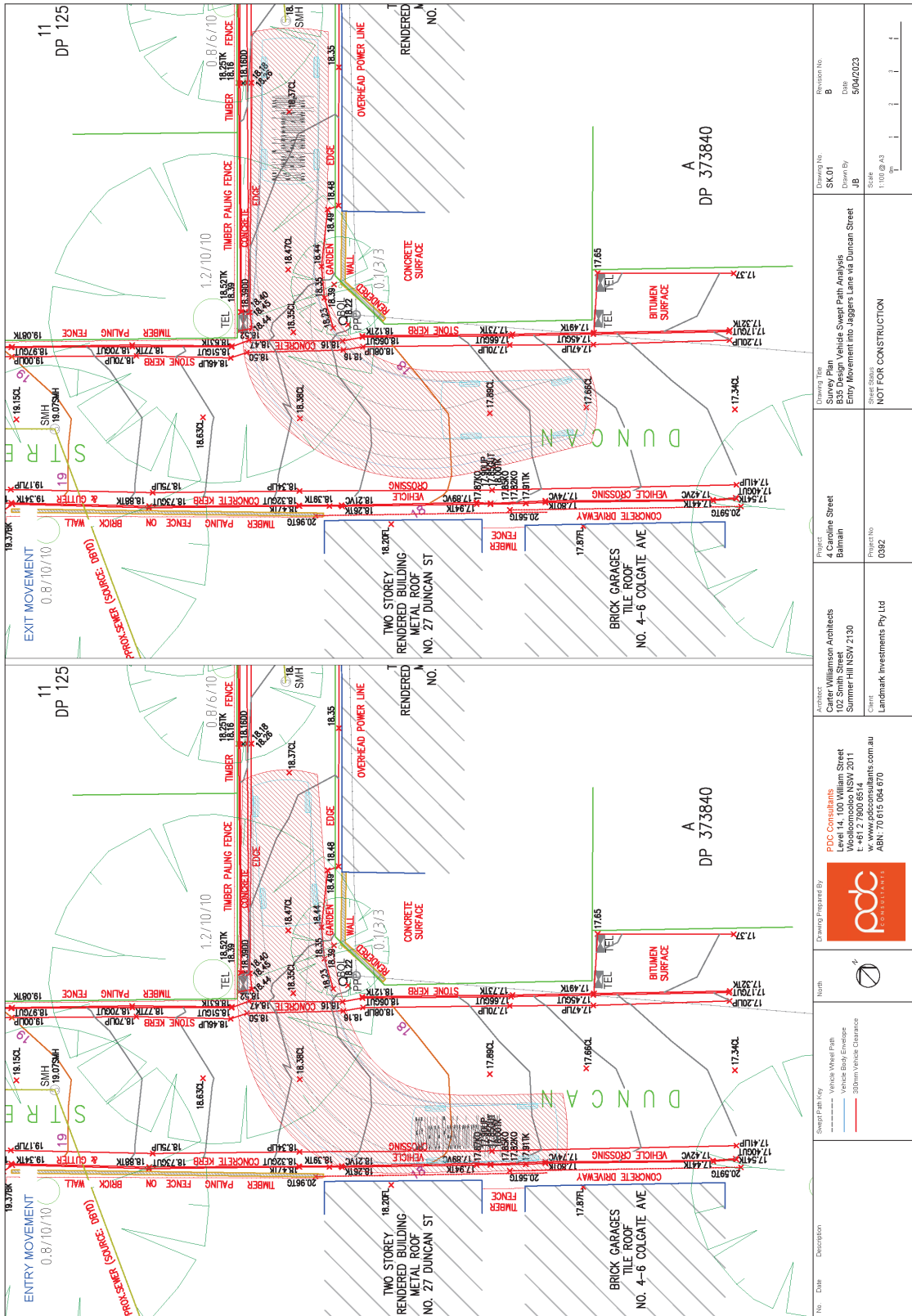
Revision Note
DA Submission 1
DA Submission 2
DA Submission 3
Section 4.5.5 Submission

Development Application
Reference: 21/000
Client: Hassan Khatami
Address: 4 Caroline Street, Sharnah

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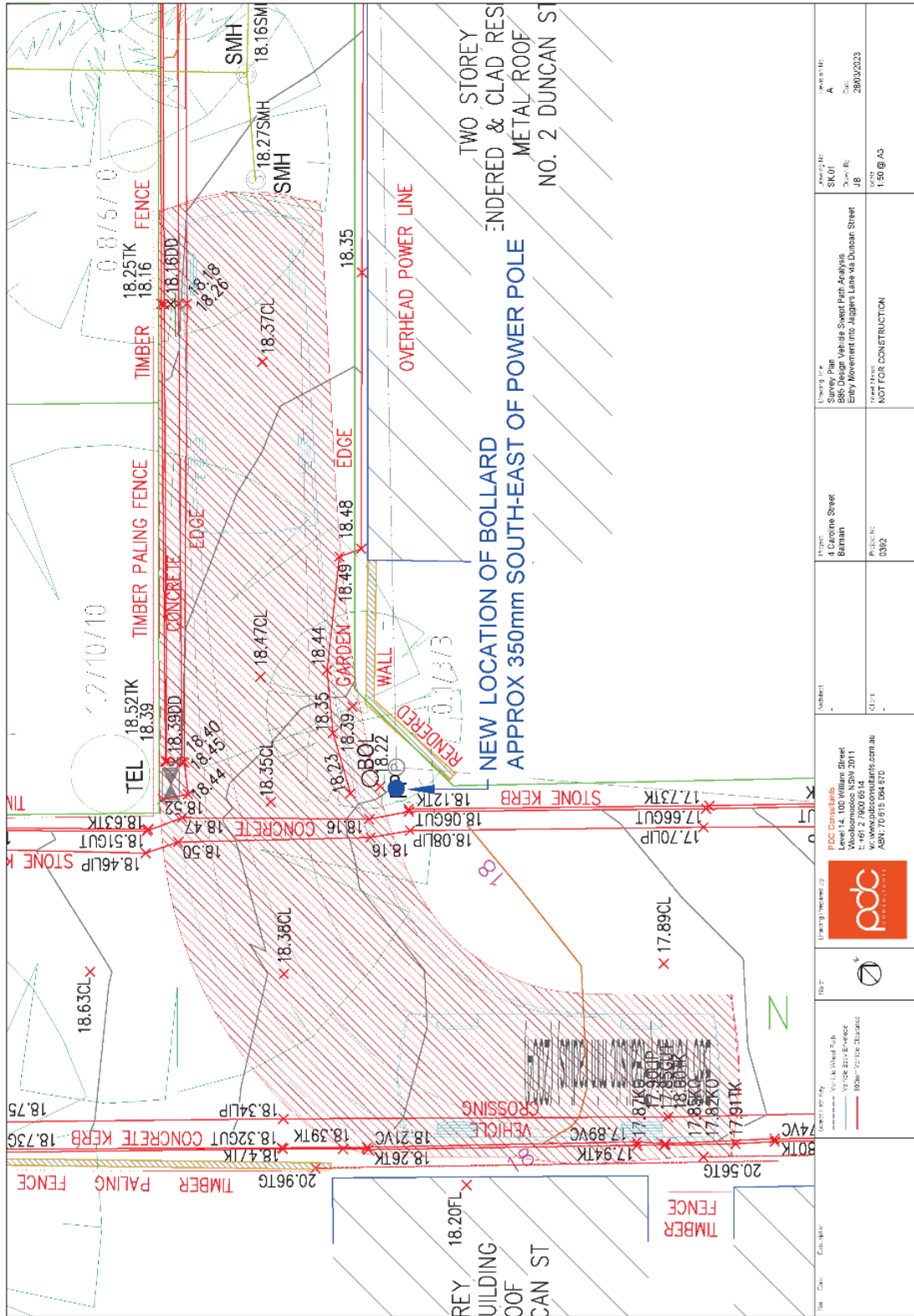
Contact
107 Smith Street
Summer Hill NSW 2130
02 9798 4472
www.carterwilliamson.com
Nominated Architect:
Shawn Carter (1980)

CARTER WILLIAMSON
Document Set ID: 38904168
Version 1.1, Version Date: 17/09/2023



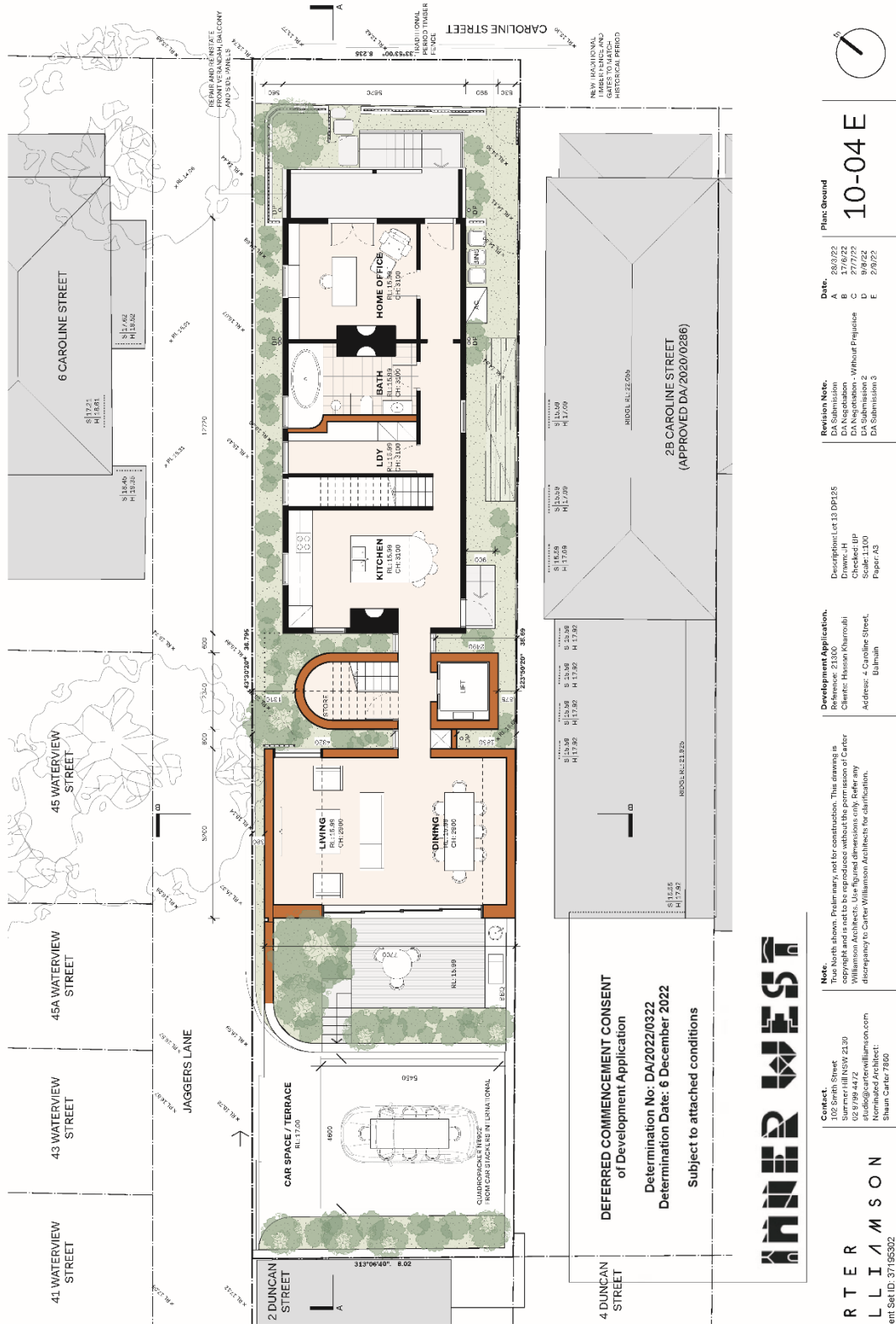
No.	Date	Description
<p>North</p>		
<p>Sweep Path Key</p> <ul style="list-style-type: none"> Vehicle Wheel Path Vehicle Body Envelope 300mm Vehicle Clearance 		
<p>Drawing Prepared By:</p> <p>PDC Consultants Level 14, 100 William Street Woolloomooloo NSW 2011 www.pdcconsultants.com.au ABN: 70 615 084 670</p>		
Architect	Carter Williamson Architects 102 Smith Street Balmain	Client Landmark Investments Pty Ltd
Project	4 Caroline Street Balmain	Project No. 0392
Drawing Title	Survey Plan B35 Design Vehicle Sweep Path Analysis Entry Movement into Jagers Lane via Duncan Street	Sheet Status NOT FOR CONSTRUCTION
Drawing No.	SK.01	Revision No. B
Drawn By	JB	Date 5/04/2023
Scale	1:100 @ A3	

Document Set ID: 36004167
Version: 1, Version Date: 17/08/2023



Document Set ID: 38004166
Version: 1, Version Date: 17/06/2023

Attachment D – Plans of approved development – DA/2022/0322



DEFERRED COMMENTMENT CONSENT
of Development Application
Determination No: DA/2022/0322
Determination Date: 6 December 2022
Subject to attached conditions



CONTACT
100 South Street
Summer Hill NSW 2130
02 9399 4472
studio@carterwilliamson.com
www.carterwilliamson.com.au
Project: 2B Caroline Street
Shawn Carter 7800

CARTER WILLIAMSON
Document Set ID: 37195302
Version: 1, Version Date: 16/12/2022

DEVELOPMENT APPLICATION
No: 2022/0322
Client: Hanson Khumali
Address: 2B Caroline Street, Carlton

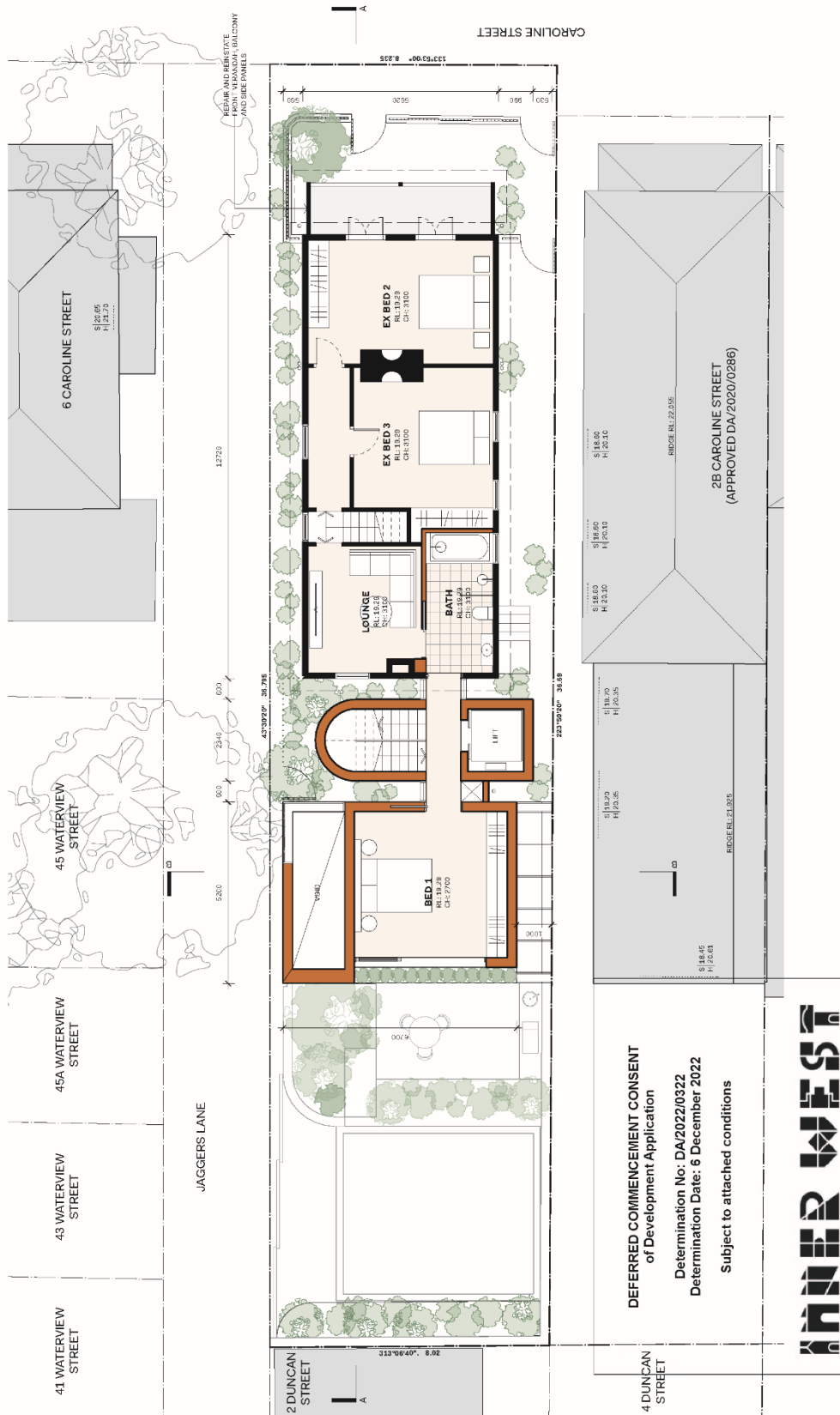
DESCRIPTION Lot 13 DP125
Drawn: JH
Checked: BP
Scale: 1:100
Paper: A3

REVISIONS

Date	By	Description
28/2/22	A	DA Submission 1
17/6/22	B	DA Negotiation - Without Prejudice
27/7/22	C	DA Submission 2
2/8/22	D	DA Submission 3
2/8/22	E	DA Submission 4

PLAN: GROUND
10-04 E

NEW HISTORICAL TIMBER FENCES AND HISTORICAL PERIOD



DEFERRED COMMENCEMENT CONSENT
of Development Application
Determination No: DA/2022/0322
Determination Date: 6 December 2022
Subject to attached conditions



Contact:
102 Smith Street,
Summer Hill NSW 2150
Phone: 02 9550 1111
Email: info@carterwilliamson.com
Nominates Architect:
Shaun Carter 7800

Note:
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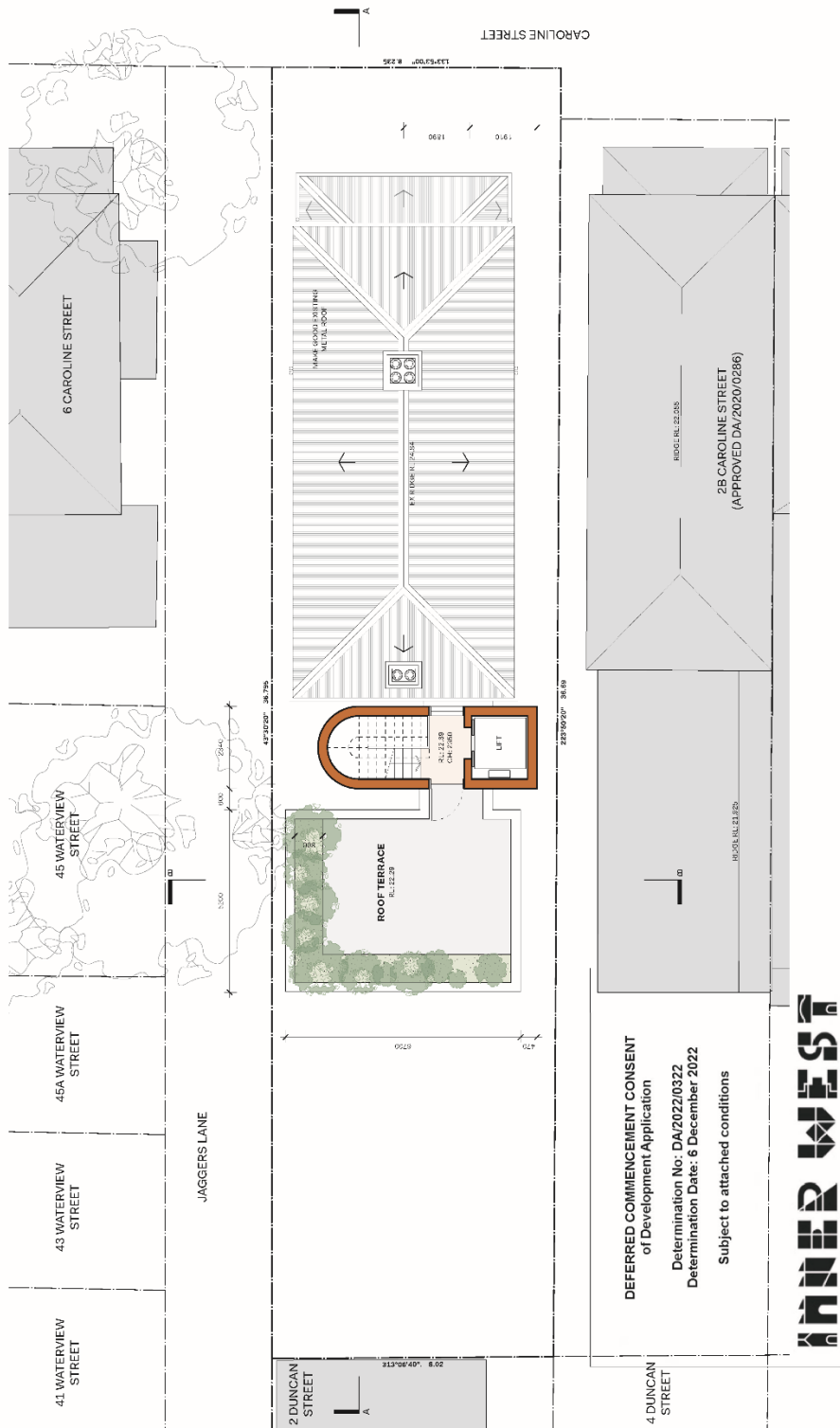
Development Application:
Reference: 71300
Client: Hassan Khrouabi
Address: 4 Caroline Street,
Balmain

Description: Lot 13 DP725
Dwelling Unit
Scale: 1:100
Paper: A3

Revision Note:
DA Submission
DA Negotiation - Without Prejudice
DA Submission 1
DA Submission 2
DA Submission 3

Date:
A 28/3/22
B 27/9/22
C 27/9/22
D 9/6/22
E 2/9/22

Plan: Level 1
10-05 E



DEFERRED COMMENCEMENT CONSENT
of Development Application
Determination No: DA/2022/0322
Determination Date: 6 December 2022
Subject to attached conditions

INNER WEST

Plan: Roof Terrace

Date:

A	28/2/22
B	1/6/22
C	27/7/22
D	2/8/22
E	2/9/22
F	7/9/22

10-06 F

Revision Note:

A	DA Negotiation - Without Prejudice
B	DA Negotiation - Without Prejudice
C	DA Negotiation - Without Prejudice
D	DA Submission 3
E	DA Submission
F	DA Submission

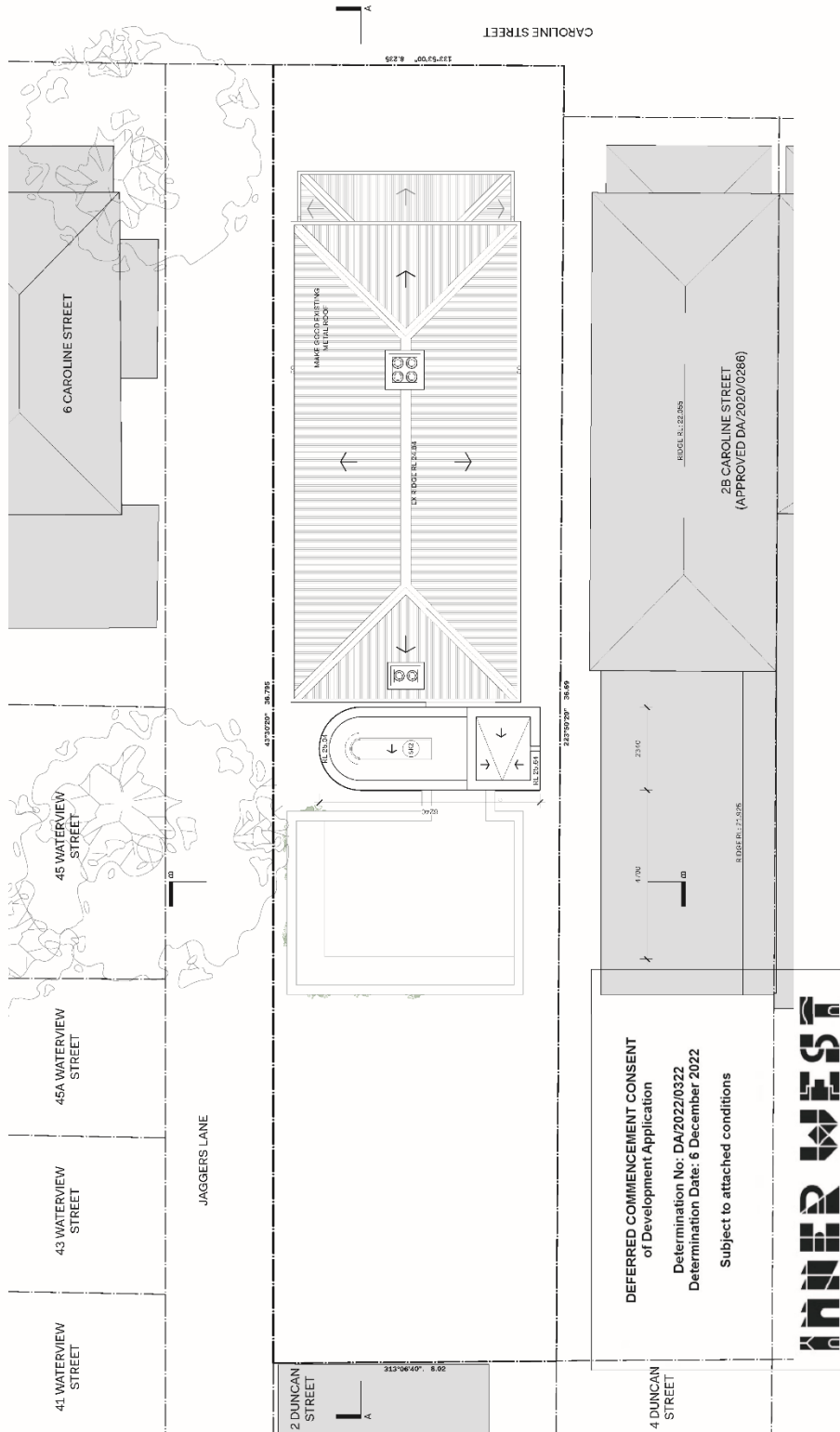
Description: Lot 11 DP115
Drawn: JH
Checked: JLP
Scale: 1:100
Project: J2

Development Application:
Client: Hassan Khairouhi
Address: 4 Caroline Street, Minnamoon

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Contact:
 Street
 Summer Hill NSW 2130
 02 8798 4472
 studio@carterwilliamson.com.au
 www.carterwilliamson.com.au
 Shaun Carter 7800

CARTER WILLIAMSON
 (Incorporated in NSW)
 Version: 1, Version Date: 16/12/2022



Plan Ref
10-07 C

Date:
A 28/9/22
B 9/8/22
C 2/9/22

Revision Note:
DA Submission
DA Submission 2
DA Submission 3

Description: Lot 13 DP125
Drawn: JH
Checked: JH
Scale: 1:100
Paper: A3

Development Application:
Reference: 21300
Client: Hassan Khairullah
Address: 4 Caroline Street,
Balmain

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Contact:
102 Smith Street,
Summer Hill NSW 2130
02 9536 4472
carterwilliamson.com
Norman Carter Architect
Shaun Carter 7860

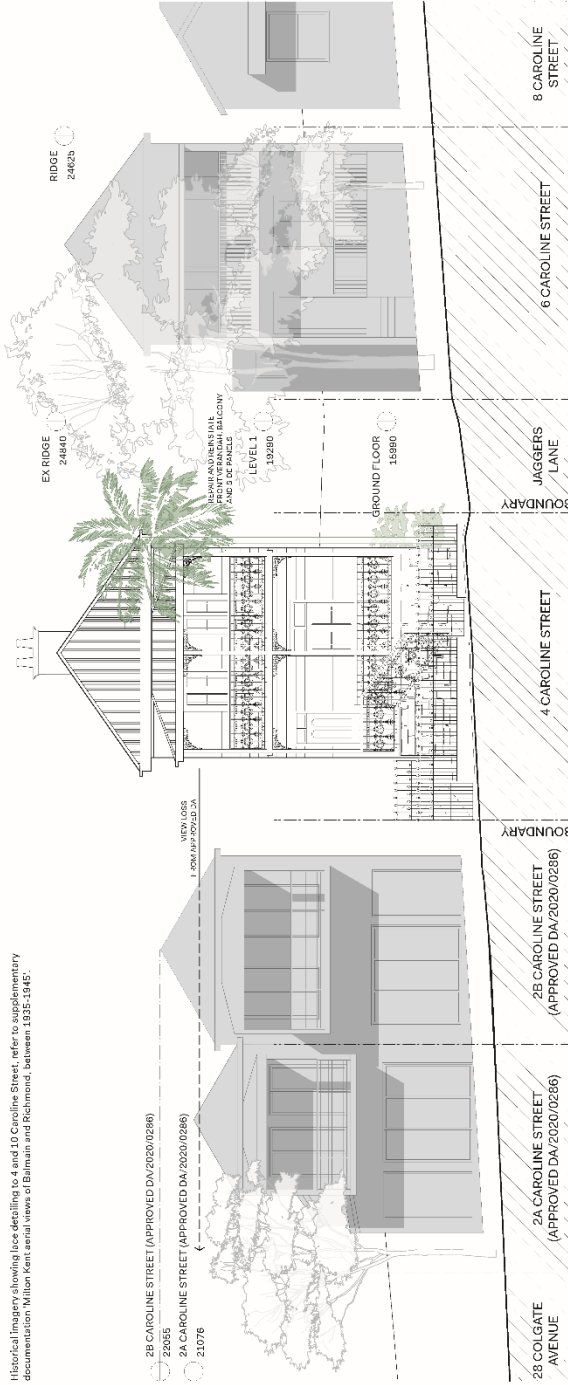
CARTER
WILLIAMSON
Document Skd ID: 37195332
Version: 1, Version Date: 16/12/2022

DEFERRED COMMENCEMENT CONSENT
of Development Application
Determination No.: DA/2022/0322
Determination Date: 6 December 2022
Subject to attached conditions

DEFERRED COMMENCEMENT CONSENT
of Development Application
Determination No: DA/2022/0322
Determination Date: 6 December 2022
Subject to attached conditions



Historical imagery showing face detailing to 4 and 10 Caroline Street, refer to supplementary documentation with plan serial views of Balmain and Richmond, between 1335-1345.

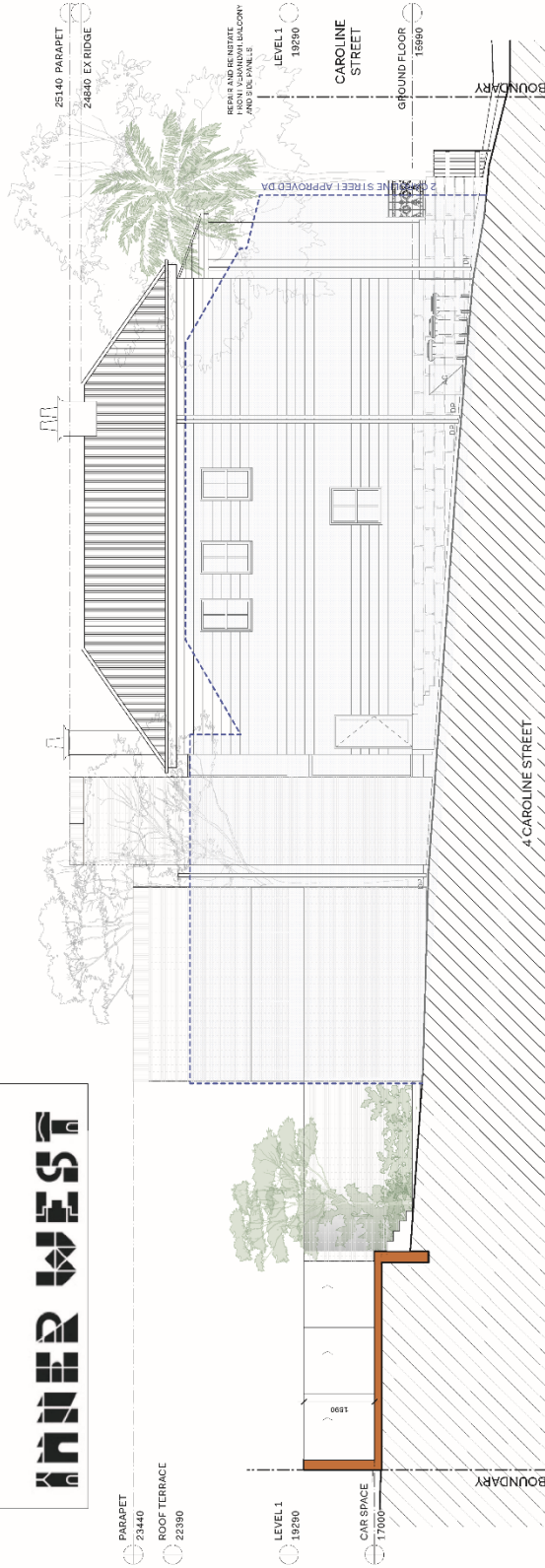


1 NORTH ELEVATION - CAROLINE STREET
1:100

<p>Contact: 202 Smith Street, Sydney NSW 2130 Phone: 02 9550 2130 info@cartervilliamson.com Homes and Interiors Shaun Carter 7980</p>	<p>Note: This North Elevation is preliminary, not for construction. This drawing is copyright and is not to be reproduced without the permission of Carter Villiamson Architects. Any discrepancy to Carter Villiamson Architects for clarification.</p>	<p>Development Application: Reference: 21300 Client: Hassan Khoroobi Address: 4 Caroline Street, Balmain</p>	<p>Description: at 1:100 Drawn: JHP Checked: JHP Scale: 1:100 Paper: A3</p>	<p>Revision Note: DA Submission DA Submission 2 DA Submission 3</p> <p>Date: A 29/3/22 B 9/8/22 C 9/8/22 D 2/10/22</p> <p>Elevation: North 11-01 D</p>
--	---	---	--	--

DEFERRED COMMENCEMENT CONSENT
of Development Application

Determination No: DA/2022/0322
Determination Date: 6 December 2022
Subject to attached conditions

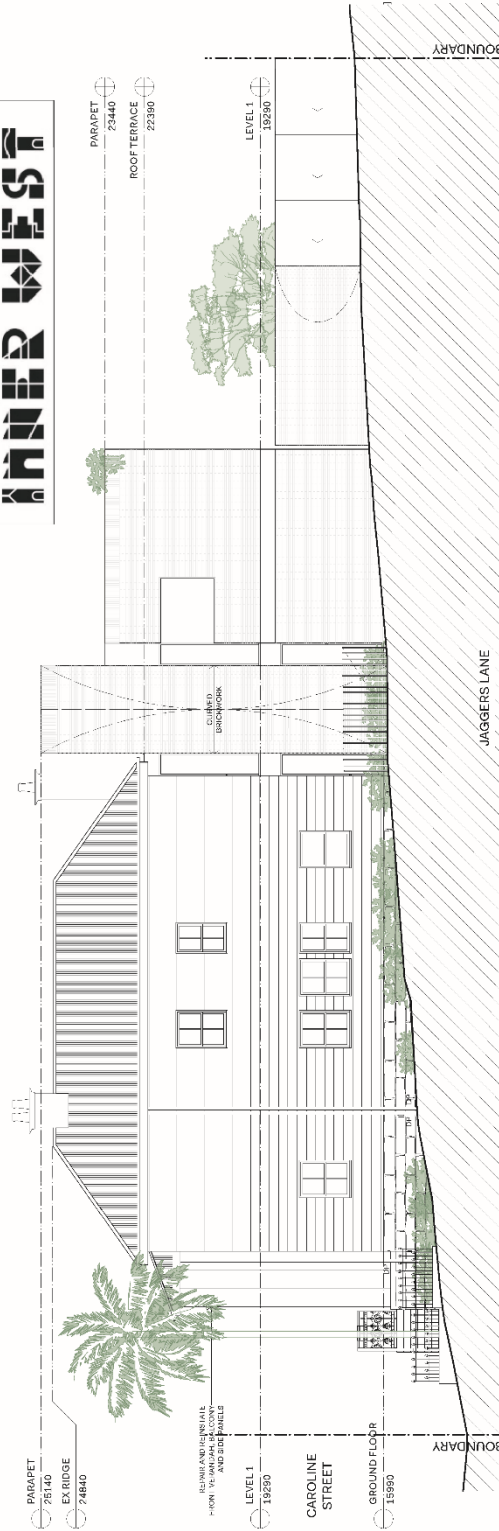



1 EAST ELEVATION
1:100

<p>Contact: 102 Smith Street, Summer Hill NSW 2130 02 9736 4772 williamson.com Normance Architect, Shawn Carter 7860</p>	<p>Note: True North shown. Preliminary, not for construction. This drawing is copyright and is not to be reproduced without the permission of Carter Williamson Architects. It is intended for use only for the purpose of copyright in Carter Williamson Architects for distribution.</p>	<p>Development Application: Reference: 21300 Client: Hassan Kharrabi Address: 4 Caroline Street, Balmain</p>	<p>Revision Note: DA Submission DA Negotiation - Without Prejudice DA Submission DA Submission 3</p>	<p>Date: A - 28/9/22 B - 27/7/22 C - 2/8/22 D - 2/8/22</p>	<p>Elevation East 11-02 D</p>
---	---	---	---	---	---

DEFERRED COMMENCEMENT CONSENT
of Development Application
Determination No.: DA/2022/0322
Determination Date: 6 December 2022
Subject to attached conditions

INNER WEST



1 WEST ELEVATION - JAGGERS LANE
1:100

Revision Note	Date	Elevation: West
DA Submission	28/02/22	A
DA Negotiation	27/02/22	B
DA Submission 2	29/02/22	C
DA Submission 3		D

Description: Lot 13 (DP13)
Drawn: JH
Checked: JH
Scale: 1:100
Paper: A3

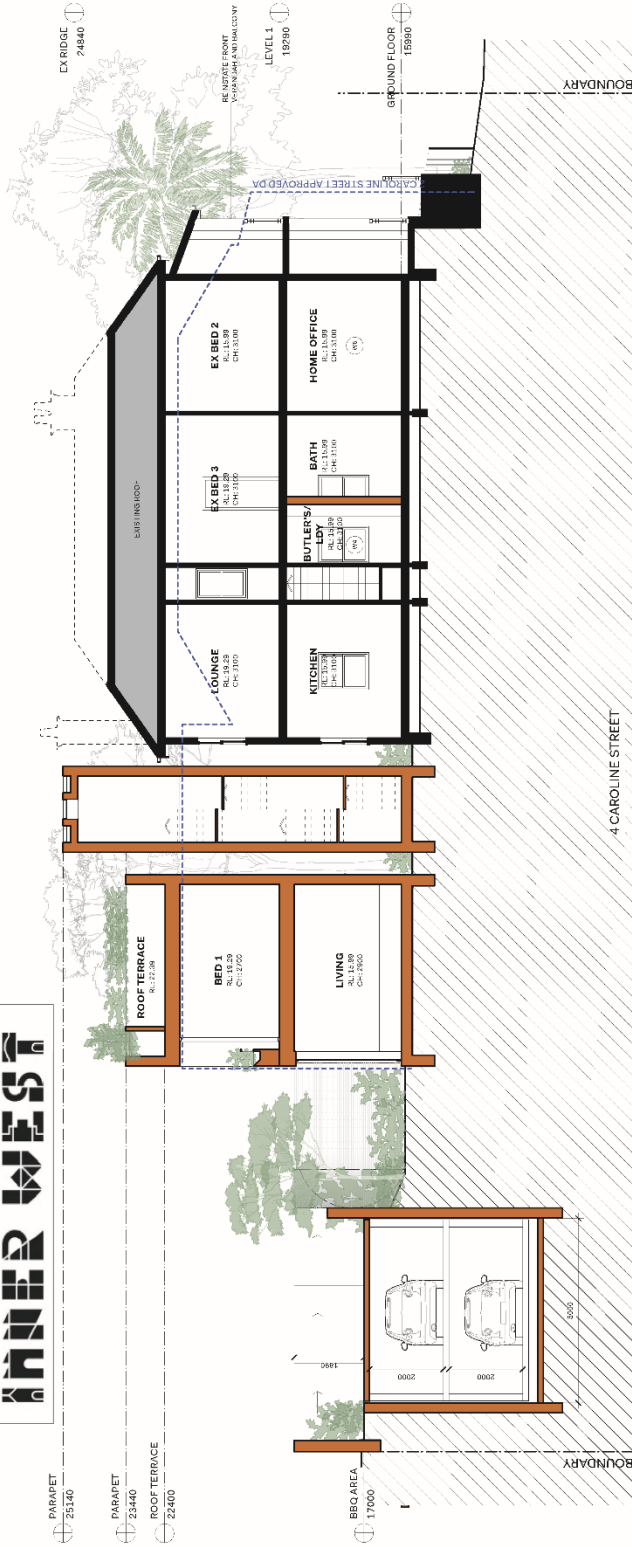
Development Application
Reference: 2/190
Client: Hassan Kharrub
Address: 4 Caroline Street,
Ullman

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Contact:
102 Smith Street
Summer Hill NSW 2130
02 9550 4500
info@carterwilliamson.com
Nominated Architect:
Sham Carter / 7869

**CARTER
WILLIAMSON**
Document Set ID: 37165302
Version: 1, Version Date: 16/12/2022

DEFERRED COMMENCEMENT CONSENT
of Development Application
Determination No.: DA/2022/0322
Determination Date: 6 December 2022
Subject to attached conditions



SECTION AA
1:100

Section A
12-01 E

Revisions

Date	Revisions
28/3/22	A DA Submission
27/7/22	B DA Negotiation - Without Prevalence
8/8/22	C DA Submission 2
2/9/22	D DA Submission 3
6/9/22	E Revise

Description: Lot 13 DP125
Drawn: JH
Checked: BP
Approved: JH
Project: A/3

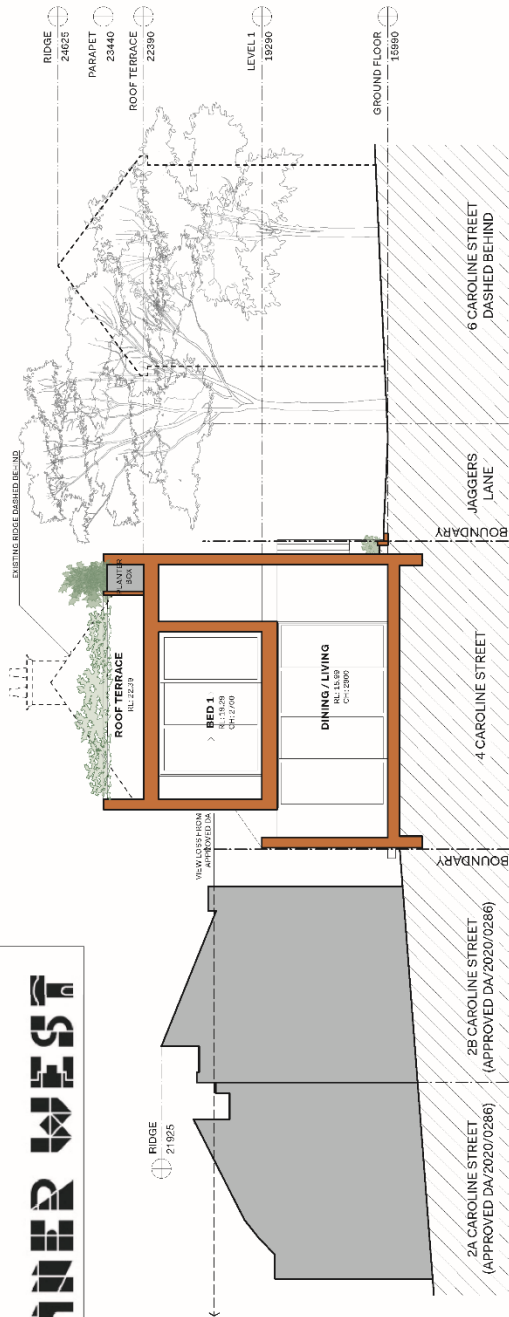
Development Application:
Reference: 2/2020
Client: Hassan Khuroobi
Address: 4 Caroline Street, Balmam

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Contact:
102 Smith Street
Summer Hill NSW 2130
02 9396 4179
www.carterwilliamson.com
Nominated Architect:
Shaun Carter / 7890

**CARTER
WILLIAMSON**
Document Set ID: 37195302
Version: 1, Version Date: 16/12/2022

DEFERRED COMMENCEMENT CONSENT
 of Development Application
 Determination No: DA/2022/0322
 Determination Date: 6 December 2022
 Subject to attached conditions

SECTION BB
1:100

Contact
 Carter
 201 Pitt Street
 Surfers Hill NSW 2130
 02 9796 4472
 info@carterwilliamson.com
 www.carterwilliamson.com.au
 Shivan Carter 7860

Note
 North shown. Bedlines, not for construction. This drawing is copyright and is not to be reproduced without the permission of Carter Williamson Architects. Use figured dimensions only. Refer any discrepancy to Carter Williamson Architects for clarification.

Development Application
 Clients: Masaru Kharoubi
 Address: 4 Caroline Street,
 Balmora

Description: Lot 13 DP125
 Drawn: JH
 Checked: BP
 Scale: 1:100
 Paper: A3

Revision Note:
 DA Negotiation - Without Prejudice
 DA Submission 2
 DA Submission 3
 Revise

Date:
 B 28/2/23
 C 9/8/22
 D 7/9/22
 E 7/8/22


Section: B
12-02 E

CARTER WILLIAMSON
 Document Set ID: 37185302
 Version: 1, Version Date: 16/12/2022

DEFERRED COMMENCEMENT CONSENT
of Development Application

Determination No: DA/2022/0322
Determination Date: 6 December 2022

Subject to attached conditions






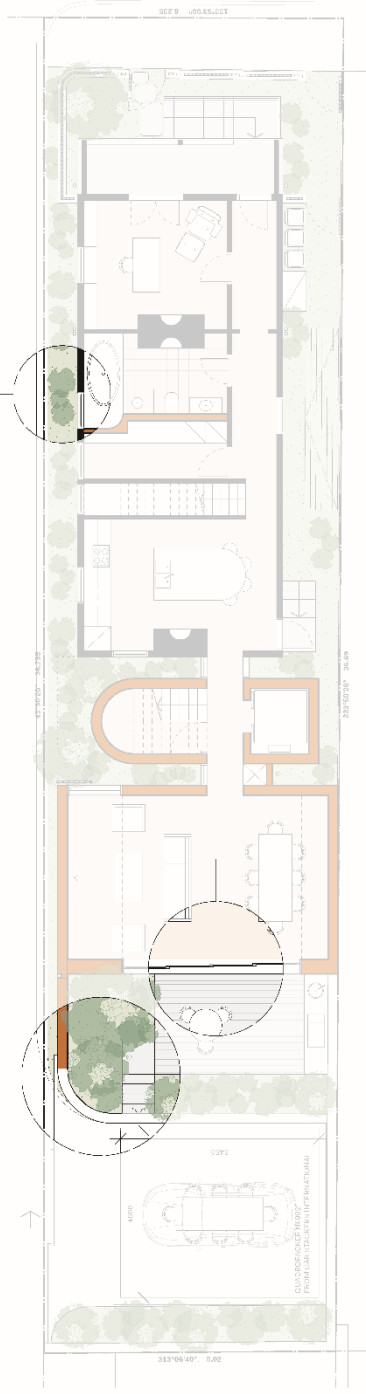
INNER WEST

Light brick against planting

Timber framed doors and windows

Men, glass and planting strip to protect weatherboard facade



Contact:
107 Sun St, Street
Summer Hill NSW 2130
02 9798 4472
www.williamson.com.au
Norman@williamson.com
Sharon@williamson.com

Note:
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Development Application:
Reference: P/200
Client: Lassan Khosroubi
Address: 4 Cavell Street
Balmah


Description: Unit 13 (DP1) SE
Drawn: J.L.
Checked: B.P.
Project: 233

Revision Note:
DA Submission
DA Submission 2
DA Submission 3

Date:
A 28/3/22
B 30/8/22
C 29/9/22

Materials and Finishes Schedule Plan

13-01 C

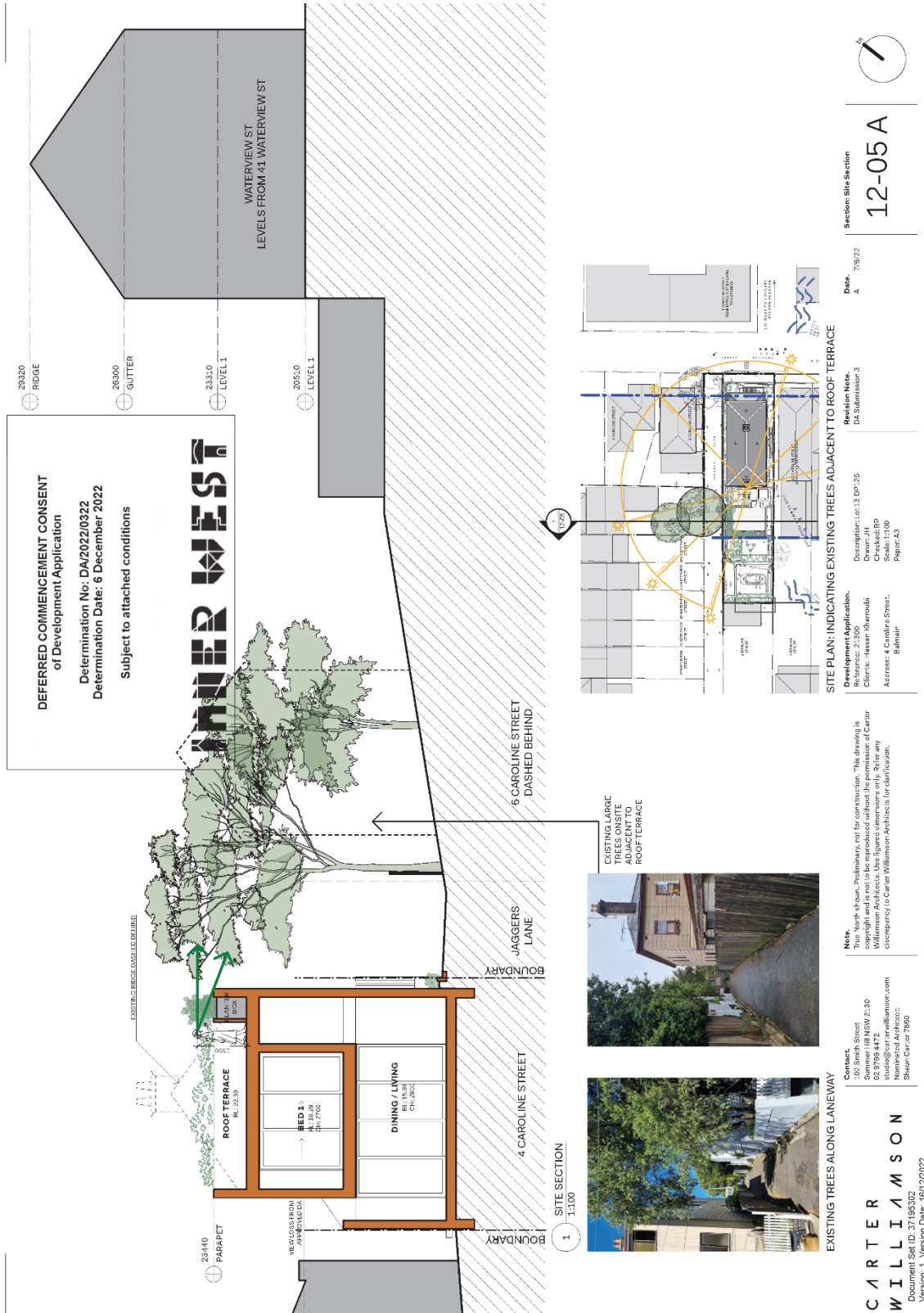


CARTER WILLIAMSON

Document Set ID: 37195502
Version: 1, Version Date: 16/12/2022

313°56'40" E, 6.62

335°02'51" S, 6.69



DEFERRED COMMENCEMENT CONSENT
of Development Application

Determination No: DA/2022/0322
Determination Date: 6 December 2022

Subject to attached conditions



REINSTATE
ORIGINAL LACE DETAILING



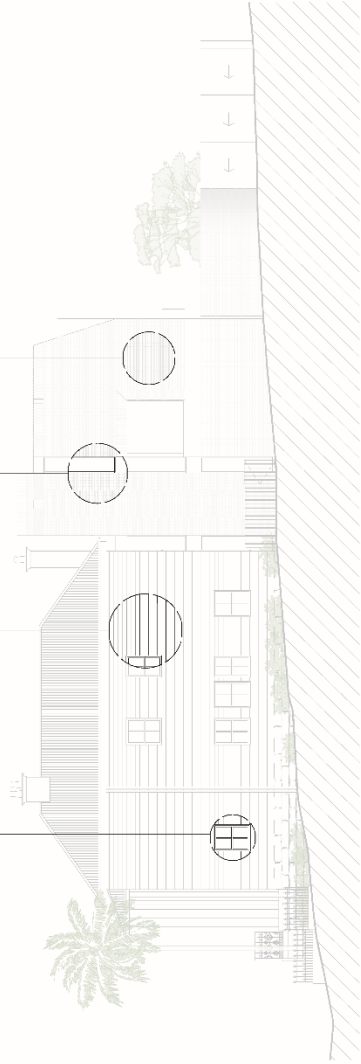
1 CAROLINE STREET ELEVATION
1:150



BLACK ZINC
CLADDING

LIGHT BRICK

REINSTATE AND
MAKE GOOD
EXISTING CLADDING



2 JAGGERS LANE ELEVATION
1:150

Contact:
Carter Williamson
Summer Hill NSW 2130
02 9739 4172
studio@carterwilliamson.com
Newmarket Sydney
Sharon Carter 7890

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Document Set ID: 37195302
Version 1, Version Date: 18/12/2022

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Development Application:
Project: 13 DP175
Client: Hasan Kharrubi
Address: 4 Caroline Street,
Sydney

Description: Lot 13 DP175
Drawn: JH
Checked: JP
Scale: 1:150
Paper: A3

Revision Note:
DA Submission 1
DA Submission 2
DA Submission 3

Date:
A 28/3/22
B 9/8/22
C 2/9/22

Materials and Finishes Schedule: Elevations
13-02 C