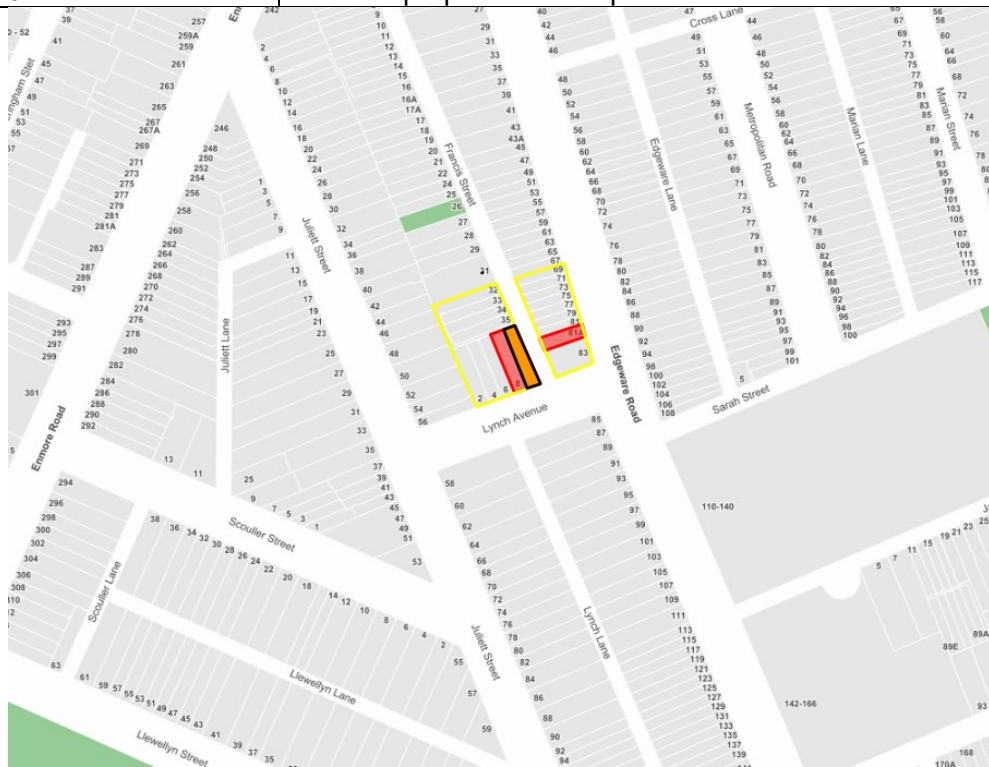







# INNER WEST

## DEVELOPMENT ASSESSMENT REPORT

<b>Application No.</b>	DA/2022/1090
<b>Address</b>	10 Lynch Avenue ENMORE NSW 2042
<b>Proposal</b>	Partial demolition of existing structures and to carry out ground and first floor alterations and additions to a dwelling house
<b>Date of Lodgement</b>	14 December 2022
<b>Applicant</b>	Ms Miranda G King
<b>Owner</b>	Mr Henrik M Hansen Ms Miranda G King
<b>Number of Submissions</b>	Initial: 21
<b>Value of works</b>	\$800,000.00
<b>Reason for determination at Planning Panel</b>	Number of submissions
<b>Main Issues</b>	Solar Access and Overshadowing Consistency of new openings with Heritage Conservation Area
<b>Recommendation</b>	Approved with Conditions
<b>Attachment A</b>	Recommended conditions of consent
<b>Attachment B</b>	Plans of proposed development



LOCALITY MAP

Subject Site		Objectors		 N
Notified Area		Supporters		

Note: Due to scale of map, not all objectors could be shown.

## 1. Executive Summary

This report is an assessment of the application submitted to Council for the partial demolition of existing structures and to carry out ground and first floor alterations and additions to a dwelling house at 10 Lynch Avenue, Enmore.

The application was notified to surrounding properties and 21 submissions were received in response to the initial notification.

The main issues that have arisen from the application include:

- The application results in non-compliant overshadowing with regard to Part 2.7 of MDCP 2011
- Elements of the proposed design including one (1) first floor window, one (1) skylight and the external material and finishes are not supported with regard to Section 5.10 of IWLEP 2022 or Part 8 of MDCP 2011. However, a design change condition has been imposed to address these issues. The proposal is acceptable in this regard subject to compliance with this condition.
- The application received 21 submissions raising concerns

Notwithstanding the above, the development is largely acceptable having regard to the relevant planning controls, subject to the proposed roof pitch of the building being amended to address the heritage concerns. As such, the application is recommended for deferred commencement approval requiring the roof pitch of the building to be amended to a maximum of 40 degrees and any internal layout amendments required to achieve this and meet minimum internal ceiling heights.

## 2. Proposal

The proposal seeks consent for partial demolition of existing structures and construction of ground and first floor alterations and additions to a dwelling house. Specifically, this involves the following works:

### Demolition

- Existing rear ground floor wing
- Internal stairs
- New opening to rear first floor elevation to provide connection to first floor addition
- Rear landscaped area including new timber side boundary fence along Francis Street

### Construction

Ground floor alterations and additions comprising:

- Retain existing bedroom at front of dwelling
- New kitchen/dining area at rear
- One (1) laundry/ WC
- Cellar
- Internal stairs
- Outdoor terrace and rear landscaping

First floor alterations and additions comprising:

- Three (3) bedrooms including one (1) ensuite
- One (1) bathroom
- Internal stairs
- One (1) skylight to existing side roof plane

### 3. Site Description

The subject site is located on the northern side of Lynch Street, on the corner of Lynch Street and Francis Street. The site consists of one (1) allotment and is generally rectangular shaped with a total area of 162.1sqm. The site has a frontage to Lynch Street of 6.25 metres

The site contains a two storey detached dwelling with a single storey addition to the rear. The dwelling has a nil setback to Francis Street and a varied setback to the boundary with 8 Lynch Avenue, which is approximately 900mm at its minimum. A footpath (approximately 800mm wide) runs to the rear of the site along the side boundary of 35 Francis Street. There is no car parking or vehicular access to the site.

The surrounding streetscape consists mainly of single and two storey dwelling houses with the site forming the end lot of a five allotment block with four 2 storey semi-detached dwellings to the west of the site.

The site is adjoined by 8 Lynch Avenue to the west which contains a two storey semi-detached dwelling house. The properties to the east of the site consist of a two storey building (formerly residential/commercial but now residential) at the corner of Lynch Avenue and Edgware Road and a row of single storey terrace dwellings facing onto Edgware Road and backing onto Francis Street.

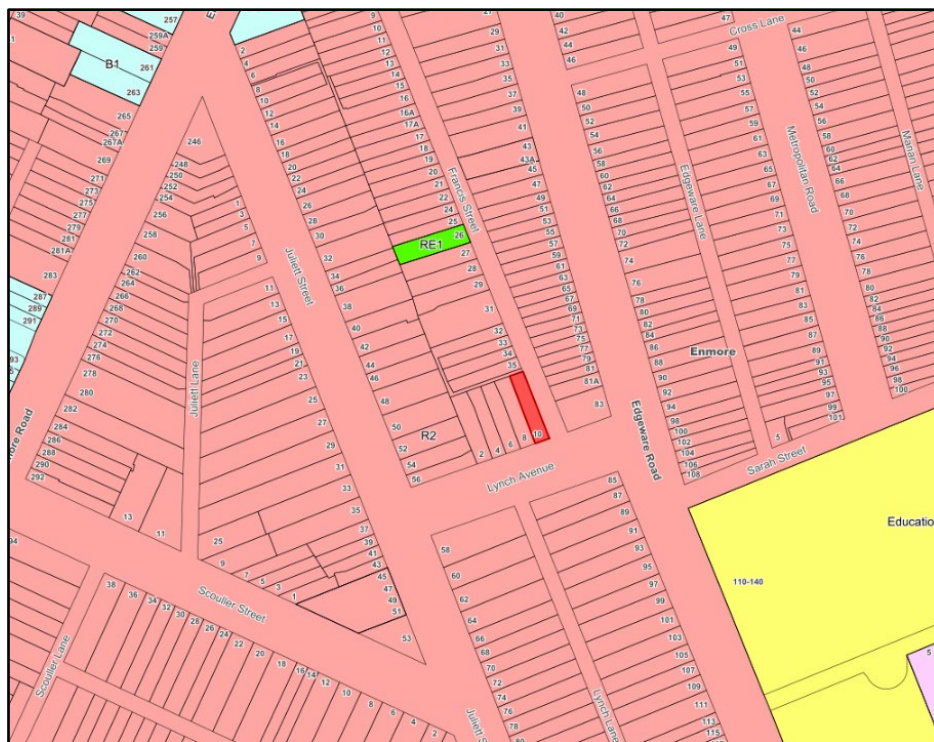


Figure 1: Extract of Zoning map (IWLEP 2022)



Figure 2: View of subject site from Lynch Avenue



Figure 3: View of subject site from Francis Street

## 4. Background

### 4(a) Site history

The following application outlines the relevant development history of the subject site and any relevant applications on surrounding properties.

#### Subject Site

Application	Proposal	Decision & Date
Determination No. 200600019	To demolish part of the premises and carry out ground and first floor alterations and additions to a dwelling-house.	Deferred Commencement issued on 11 July 2006
DA201700181	To demolish part of the premises and carry out ground and first floor alterations and additions to a dwelling house	Deferred Commencement issued on 11 July 2006. It is noted that this consent was never made operative and the design of the development is largely the same as currently proposed.

### 4(b) Application history

Not applicable

## 5. Assessment

The following is a summary of the assessment of the application in accordance with Section 4.15 of the *Environmental Planning and Assessment Act 1979 (EPA Act 1979)*.

### 5(a) Environmental Planning Instruments

The application has been assessed against the relevant Environmental Planning Instruments listed below:

- *State Environmental Planning Policy (Resilience and Hazards) 2021*
- *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*

The following provides further discussion of the relevant issues:

#### 5(a)(i) **State Environmental Planning Policy (Resilience and Hazards) 2021**

##### Chapter 4 Remediation of land

Section 4.16 (1) of the SEPP requires the consent authority not consent to the carrying out of any development on land unless:

*“(a) it has considered whether the land is contaminated, and  
(b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and  
(c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.”*

In considering the above, there is no evidence of contamination on the site.

The application involves does not involve category 1 remediation under *SEPP (Resilience and Hazards) 2021*.

#### 5(a)(ii) **State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004**

A BASIX Certificate was submitted with the application and will be referenced in any consent granted.

#### 5(a)(iii) **Inner West Local Environmental Plan 2022 (IWLEP 2022)**

The application was assessed against the following relevant sections of the *Inner West Local Environmental Plan 2022*:

- Section 1.2 - Aims of Plan
- Section 2.3 - Land Use Table and Zone Objectives
- Section 2.7 – Demolition requires development consent
- Section 4.3 – Height of buildings
- Section 4.4 – Floor space ratio
- Section 4.5 – Calculation of floor space ratio and site area
- Section 5.10 – Heritage conservation
- Section 6.1 – Acid sulfate soils

- Section 6.2 – Earthworks
- Section 6.3 – Stormwater management
- Section 6.8 – Development in areas subject to aircraft noise

Section 2.3 Land Use Table and Zone Objectives

The site is zoned R2 Low Density Residential under the *IWLEP 2022*. The *IWLEP 2022* defines the development as:

*Dwelling house means a building containing only one dwelling.*

The development is permitted with consent within the land use table. The development is consistent with the objectives of the R2 Low Density Residential zone.

Section 4 Principal Development Standards

The following table provides an assessment of the application against the development standards:

Standard	Proposal	Non compliance	Complies
<b>Height of Buildings</b> Maximum permissible: 9.5m	6m (new work)	N/A	Yes
<b>Floor Space Ratio</b> Maximum permissible: 1:1 or 162.1 sqm	0.86:1 or 139.97 sqm	N/A	Yes

Section 5.10 – Heritage Conservation

The subject site is a contributory building within the Enmore House Heritage Conservation Area (HCA). As discussed further within this report under Part 8 of MDCP 2011, the proposed development appropriately responds to the significance of the HCA and complies with the heritage conservation provisions within this Part. Notwithstanding, Council received various submissions which raised concerns about the compatibility of the bulk and scale of the proposed additions with the Heritage Conservation Area.

Council’s Heritage Advisor assessed the proposal and provided the following comments:

- The proposed windows to the eastern side elevation are acceptable as they are timber framed and vertically proportioned and are complementary to the characteristic windows in the HCA.
- The roof form is generally acceptable as it is a low pitched skillion roof concealed behind a parapet wall to the east elevation to Francis Street.
- The north elevation shows a window and wall are proposed between what were the blade walls. The Material Schedule proposes timber framed walls painted in Dulux “Whitsunday Island”. It is recommended that a design change condition be included in the consent requiring that the finish to the first floor north elevation (W3) be in horizontally laid timber weatherboards as this elevation will be visible from the public domain.
- The square window to the north elevation of the master bedroom on the first floor (W04) is not supported as this will be visible from the public domain and is not complementary to characteristic fenestration in the HCA. It is recommended that a design change condition be included in the consent requiring that this window be amended to be vertically proportioned window to match the dimensions of the windows

in the east elevation of the rear addition, employing traditional design (timber sash) and materials (timber frame).

- The design submitted with the current DA includes a first floor cantilever with the master bedroom over the outdoor terrace. Cantilevers are normally not supported in HCAs as they are not characteristic. The cantilever is acceptable in this instance because it will be partially obscured by side boundary fence that is proposed to be reinstated to match the existing.
- A large skylight is proposed in the western roof plane of the main roof form above the staircase (SKY01). This is not supported as it is inconsistent with C22 of Part 8.3.2.6 of the DCP which requires that existing original roof forms (and, where possible, materials) must be retained to the front elevation and for the length of the main roof to the side elevations. The skylight must be deleted from the proposal.
- Based on the above, the partial demolition of existing structures and ground and first floor alterations and additions to the terrace will have an acceptable impact on the heritage significance of the Enmore House HCA. The works will not affect the heritage significance of the heritage listed brick paving opposite. Therefore, there are no objections from a heritage perspective subject to the design change condition recommended below.

In light of the comments provided by Council's Heritage Advisor, the following design changes have been imposed as a condition of consent to ensure consistency of the proposed development with the style of the existing dwelling and the HCA:

- a) *The square window to the north elevation of the master bedroom on the first floor (W04) must be amended to be vertically proportioned window to match the dimensions of the windows in the east elevation of the rear addition, employing traditional design (timber sash) and materials (timber frame).*
- b) *Delete the large skylight proposed in the western roof plane of the main roof form above the staircase (SKY01).*
- c) *The finish to the first floor north elevation (W3) be in horizontally laid timber weatherboards. The elevation and the Materials Schedule must be updated accordingly.*

Subject to compliance with conditions, the development preserves the environmental heritage of the Inner West and satisfies the provisions of Clause 5.10 of IWLEP 2022 and Part 8 of MDCP 2011.

### 5(b) Development Control Plans

The application has been assessed and the following provides a summary of the relevant provisions of Marrickville Development Control Plan 2011.

MDCP 2011 Part of MDCP 2011	Compliance
Part 2.1 – Urban Design	Yes
Part 2.3 – Site and Context Analysis	Yes
Part 2.6 – Acoustic and Visual Privacy	Yes – See discussion
Part 2.7 – Solar Access and Overshadowing	No but acceptable – see discussion
Part 2.9 – Community Safety	Yes
Part 2.11 – Fencing	Yes
Part 2.16 – Energy Efficiency	Yes
Part 2.18 – Landscaping and Open Space	Yes
Part 2.20 – Tree Management	Yes
Part 2.21 – Site Facilities and Waste Management	Yes
Part 2.25 – Stormwater Management	Yes
Part 4.1 – Low Density Residential Development	Yes
Part 8 – Heritage	Yes – see discussion
Part 9 – Strategic Context	Yes

The following provides discussion of the relevant issues:

#### Part 2.6 – Acoustic and Visual Privacy

The proposal has been assessed against the requirements of Part 2.6 of MDCP 2011 and submissions which raised concerns about visual privacy to surrounding properties have been considered. The proposal is acceptable for the following reasons:

- The proposal involves three (3) new window openings to the east elevation of the rear addition including one (1) on the ground floor (W01) and two (2) on the first floor (W02 and W03). Windows W02 and W03 service the first floor hallway to Bed 03 and the Master Bedroom and is therefore not a high use area. The windows are traditionally proportioned to remain consistent with the style of the existing dwelling and HCA. The windows face towards Francis Street and are not considered to result in adverse privacy impacts to neighbouring properties.
- The proposal involves three (3) new first floor windows and one (1) ground floor door to the west elevation facing towards the adjacent residential property at 8 Lynch Avenue. The plans indicate that the windows have external fixed privacy screening to a minimum height of 1.6m in accordance with control C3 in part 2.6 of MDCP 2011. The windows are traditionally proportioned to remain consistent with the style of the existing dwelling and HCA. In light of the proposed privacy screening and the low level use of the rooms that they service, the windows are acceptable in this regard.
- The proposal involves new ground and first floor openings on the rear northern elevation facing into the subject private open space area. The ground floor doors are considered acceptable noting their orientation and as they would be sufficiently screened by boundary fencing. The first floor window (W04) is not appropriate with regard to style, proportion or size. W04 is subject to further amendments to address concerns raised by Council and submitters which is imposed in the conditions of consent.

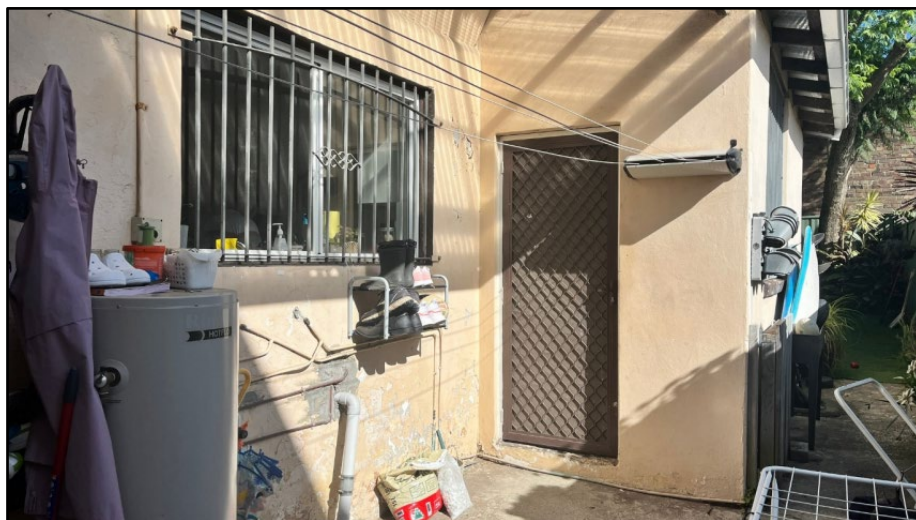


Subject to the plans being amended in accordance with the above, the proposal will ensure adequate visual privacy levels for the residents and users of surrounding buildings alike. Accordingly, the application is recommended for approval.

#### Part 2.7 – Solar Access and Overshadowing

The proposal does not comply with the requirements of control C2 within Part 2.7 of the Marrickville Development Control Plan 2011. The relevant objective to consider in relation to the variation is objective O3 within Part 2.7 of the Marrickville Development Control Plan 2011. It is noted that this assessment is based on a comparison of existing and proposed only, therefore the shadows cast by an approved (but now lapsed) consent have not been considered. In considering a variation the following is noted:

The proposal results in additional impact to the neighbouring residential dwelling at No. 8 Lynch Avenue. Council received various submissions relating to overshadowing impacts to this dwelling. Specifically, this adjoining property has solar panels on the rear plane of the two storey dwelling and on the skillion roof of the rear addition. The rear addition is 'L-shaped' with a small courtyard shaded with a translucent sheeting roof. There are two ground floor windows and a door in the single storey addition facing the subject site: a kitchen door and kitchen window in the alcove and a second window (which the applicant has indicated as a store, but the adjoining landowner refers to as a 'granny flat'/fourth bedroom). There is a third ground floor window (living room) on the rear of the original dwelling located within the alcove under the translucent sheeting roof. It is noted that the clothes line facilities are erected across the alcove between the subject windows and the side boundary of the dwelling. The following assessment relates to the principal living area windows only (kitchen and living).



*Figure 4: View of eastern side elevation kitchen window at 8 Lynch Avenue (provided by Occupant submission)*



Figure 5: View from inside kitchen at 8 Lynch Avenue, looking towards 10 Lynch Avenue (provided by Occupant submission)

The shadow diagrams demonstrate the following shadow impacts to the kitchen and living room windows on 8 Lynch Avenue:

- The kitchen window does not currently receive a minimum of 2 hours direct solar access to 50% of its finished surface between 9am and 3pm on 21 June or 21 March/September. The proposal results in additional overshadowing to the kitchen windows between 9am and 10am on 21 June.
- The living area room window is not side facing and rather faces into the courtyard. The window appears to be in self-shadow between 12pm and 3pm on 21 June and between 10am and 3pm on 21 March/September. Some reduction of ambient light may occur in the morning of 21 June and 21 March/September noting that this window is located beneath an existing roof cover which would prohibit direct solar access during these times and rather allow for ambient light.
- The solar panels on the roof at 8 Lynch Avenue are able to maintain a minimum of 2 hours direct solar access between 9am and 3pm on 21 June.

In such circumstances, Control C2(ii) allows Council to consider the following to determine if the level of overshadowing proposed is acceptable:

- a. The development potential of the site;*
- b. The particular circumstances of the neighbouring site(s), for example, the proximity of any residential accommodation to the boundary, the resultant proximity of windows to the boundary, and whether this makes compliance difficult;*
- c. Any exceptional circumstances of the subject site such as heritage, built form or topography; and*
- d. Whether the sunlight available in March to September is significantly reduced, such that it impacts upon the functioning of principal living areas and the principal areas of open space. To ensure compliance with this control, separate shadow diagrams for the March/September period must be submitted in accordance with the requirements of C1.*

With regard to the above, the following is noted:

- The subject site is permitted a maximum building height of 9.5 metres and a FSR of 1:1 under IWLEP 2022. The proposal does not exceed the maximum building height and floor space controls. Council is satisfied that the site has a development potential that allows the extent and scale of the development proposed.

- The subject site has an area of 162.1sqm and a width of 5.3 to 6.2 metres. The limited dimension of the site is such that the dwellings on these blocks are a single room wide. As such the proposal for a two storey addition is not unreasonable
- The subject site and neighbouring properties are primarily north to south orientated and as such properties to the southern and south-western side of other sites will experience overshadowing to side elevations which is difficult to avoid because of the orientation. The location of the kitchen window located on the eastern side elevation at No. 8 Lynch Avenue at its proximity to the shared boundary with 10 Lynch Avenue is such that any first floor extension or an achievable reduction in the height of a two storey addition on 10 Lynch Avenue is unlikely to lessen the proposed additional shadows. The first floor as proposed involves minimum floor to ceiling heights.
- The dwelling at No. 8 Lynch Avenue is an older building, the approval of which pre-dates Council’s records. As such, the internal layout of the dwelling has not sought to optimise the orientation of the site in terms of solar access to the dwelling. The north facing ground floor windows provide light to a bathroom and a bathroom/laundry with windows to the principal living rooms located in the alcove under cover where they start to self-shadow after 10.30am in winter.
- The proposal retains a minimum of 2 hours direct solar access to 50% of the finished surface area of the POS areas at No. 8 Lynch Avenue on 21 June and March/September between 9am and 3pm.

Given the above, the development is considered to maintain an acceptable level of solar access to the neighbouring property in the circumstances and is reasonable having regard to the objectives and controls relating to solar access and overshadowing as contained in MDCP 2011. Accordingly, the application is recommended for approval.

Part 8 – Heritage iii – relate back to 4.1.6 – Built form and character

As discussed under Section 5.10 – Heritage Conservation, Council’s Heritage Advisor has assessed the proposal against the applicable objectives and controls in Part 8 of MDCP 2011 and found that alterations and additions do not detract from the existing dwelling which is a contributory building to the HCA. Notwithstanding, a summary of the assessment against Part 8 of MDCP 2011 is undertaken below in light of the submissions received.

Control	Assessment	Compliance
Part 8.2.15 – Enmore House Estate HCA	<ul style="list-style-type: none"> <li>• The development maintains the existing building and elements on the site which were constructed during the period of significance of the conservation area.</li> </ul>	Yes
Part 8.3.2.3 – Building setbacks	<ul style="list-style-type: none"> <li>• The development maintains existing building front and side setbacks.</li> </ul>	Yes
Part 8.3.2.4 – Building heights	<ul style="list-style-type: none"> <li>• The proposed additions to the contributory dwelling are not higher than the existing roof form and height of the original building. Due to the location of the site on the corner of Francis Street and Lynch Avenue, the additions are highly visible from the public domain. However, subject to compliance with conditions, Council’s Heritage Advisor is satisfied that the additions do not overwhelm the existing built form.</li> </ul>	Yes, subject to condition.
Part 8.3.2.5 – Building form	<ul style="list-style-type: none"> <li>• The proposed additions to the dwelling are highly visible from the primary and secondary street frontage. However, the proposed additions are consistent with the overall form and massing of the building.</li> </ul>	Yes

Part 8.3.2.6 – Roof form	<ul style="list-style-type: none"> <li>• The development maintains the original roof form to the front elevation and for the length of the main roof to the side elevations with the exception of a new skylight to the existing western side roof plane. The proposed skylight is not supported as it demolishes significant fabric of the existing roof form. A condition has been imposed to delete this skylight.</li> <li>• The development maintains existing chimneys.</li> <li>• The materials to the original roof and suitable to the building and conservation area.</li> <li>• Council’s Heritage Advisor is satisfied that the proposed skillion roof over the rear addition is acceptable for the style of the dwelling and HCA.</li> </ul>	Yes, subject to condition.
Part 8.3.2.7 – Building facades	<ul style="list-style-type: none"> <li>• The façade of the dwelling is unchanged by the development and is retained.</li> </ul>	Yes
Part 8.3.2.9 – Windows and doors	<ul style="list-style-type: none"> <li>• The development maintains original front doors and windows in their original position.</li> <li>• The new windows to the eastern side elevation of the property are of proportions appropriate for the conservation area and dwelling.</li> <li>• The proposed first floor window on the rear elevation is not supported by Council’s Heritage Advisor as it would be highly visible from the public domain and is not consistent with the style or proportions of windows that are characteristic to the HCA. Conditions requiring changes t this are included in the recommendation</li> </ul>	Yes subject to condition
Part 8.3.2.10 – Façade materials	<ul style="list-style-type: none"> <li>• The original materials to the front portion of the dwelling are maintained.</li> <li>• A condition is included in the recommendation to ensure that the new additions to the rear exhibit materials that are compatible with the conservation area.</li> </ul>	Yes, subject to condition.
Part 8.3.2.12 – Fences	<ul style="list-style-type: none"> <li>• The existing original front fencing is proposed to be maintained and repaired.</li> <li>• New boundary fencing is proposed to the eastern side elevation fronting Francis Street. Council’s Heritage Advisor has reviewed the proposal and did not raise any objections to the style or materiality of the proposed fencing noting that the proposed fencing has been designed to match existing.</li> </ul>	Yes

Council is satisfied that the development is consistent with the following objectives in this Part.

O3 *To provide guidelines for alterations and additions which complement and do not detract from the heritage significance of individually listed heritage items, HCAs and period buildings*

O5 *To encourage new development which complements existing heritage items and heritage conservation areas in a modern context*

The proposed alterations and additions are acceptable with regard to the heritage controls and objectives contained in Part 8 of MDCP 2011 and the bulk and scale controls in Part 4.1.6 of MDCP 2011. Accordingly, the application is recommended for approval.

### 5(c) The Likely Impacts

The assessment of the Development Application demonstrates that, subject to the recommended conditions, the proposal will have minimal impact in the locality.

### 5(d) The suitability of the site for the development

Provided that any adverse effects on adjoining properties are minimised, this site is considered suitable to accommodate the proposed development, and this has been demonstrated in the assessment of the application.

### 5(e) Any submissions

The application was notified in accordance with the Community Engagement Framework for a period of 14 days to surrounding properties. A total of 15 submissions were received in response to the initial notification.

The following issues raised in submissions have been discussed in this report:

- Implications of bulk and scale on HCA – See Sections 5(a)(i) and 5(d)
- Privacy implications – see Section 5(d)
- Solar access and overshadowing – see Section 5(d)

In addition to the above issues, the submissions raised the following concerns which are discussed under the respective headings below:

Issue: Tree management

Comment: Council's Tree Assessment Officer has assessed the application and imposed conditions of consent to ensure the protection of trees within the immediate vicinity of the site.

Issue: Vehicle congestion during construction

Comment: It is noted that vehicle congestion that may arise during the construction phase of the development, however this is not a matter that would restrict approval of the application. Notwithstanding standard conditions are included in the recommendation to ensure minimal impact on neighbouring development.

### 5(h) The Public Interest

The public interest is best served by the consistent application of the requirements of the relevant Environmental Planning Instruments, and by Council ensuring that any adverse effects on the surrounding area and the environment are appropriately managed.

The proposal is contrary to the public interest.

## 6 Referrals

### 6(a) Internal

The application was referred to the following internal sections/officers and issues raised in those referrals have been discussed in section 5 above.

- Heritage
- Development Engineer
- Urban Forest

### 6(b) External

The application was referred to Ausgrid and no objections were raised subject to the imposition of condition which are included in the recommendation.

## 7. Section 7.11 Contributions/7.12 Levy

Section 7.12 levies are payable for the proposal.

The carrying out of the development would result in an increased demand for public amenities and public services within the area. A contribution of \$8,000 would be required for the development under Marrickville Section 94/94A Contributions Plan 2014. A condition requiring that contribution to be paid is included in the recommendation.

## 8. Conclusion

The proposal generally complies with the aims, objectives and design parameters contained in *Inner West Local Environmental Plan 2022* Marrickville Development Control Plan 2011.

The development will not result in any significant impacts on the amenity of the adjoining properties and the streetscape and is considered to be in the public interest.

The application is considered suitable for approval subject to the imposition of appropriate conditions.

## 9. Recommendation

- A. That the Inner West Local Planning Panel exercising the functions of the Council as the consent authority, pursuant to s4.16 of the *Environmental Planning and Assessment Act 1979*, grant consent to Development Application No. DA/2022/1090 for partial demolition of existing structures and to carry out ground and first floor alterations and additions to a dwelling house at 10 Lynch Avenue, Enmore subject to the conditions listed in Attachment A below.

**Attachment A – Recommended conditions of consent**

**CONDITIONS OF CONSENT**

**DOCUMENTS RELATED TO THE CONSENT**

**1. Documents related to the consent**

The development must be carried out in accordance with plans and documents listed below:

Plan, Revision and Issue No.	Plan Name	Date Issued	Prepared by
DA01 - Rev A	Material Schedule	21.11.22	twarchitects
DA02- Rev A	Site Analysis	21.11.22	twarchitects
DA04- Rev A	Existing Site and Roof Plan	21.11.22	twarchitects
DA05- Rev A	Existing Ground Floor Plan	21.11.22	twarchitects
DA06 - Rev A	Existing Ground Floor Plan	21.11.22	twarchitects
DA07 - Rev A	Demolition - Roof Plan	21.11.22	twarchitects
DA08 - Rev A	Demolition - Ground Floor	21.11.22	twarchitects
DA09 - Rev A	Demolition - First Floor	21.11.22	twarchitects
DA10 - Rev A	Demolition Elevations	21.11.22	twarchitects
DA11 - Rev A	Demolition Elevations	21.11.22	twarchitects
DA12 - Rev A	Demolition Elevations	21.11.22	twarchitects
DA13 - Rev A	Proposed Site and Roof Plan	21.11.22	twarchitects
DA14 - Rev A	Proposed Ground Floor	21.11.22	twarchitects

DA15 - Rev A	Proposed First Floor	21.11.22	twarchitects
DA16 - Rev A	Proposed Elevations	21.11.22	twarchitects
DA17 - Rev A	Proposed Elevations	21.11.22	twarchitects
DA18 - Rev A	Proposed Elevations	21.11.22	twarchitects
DA19 - Rev A	Proposed Section BB	21.11.22	twarchitects
DA21 - Rev A	Landscape Plan	21.11.22	twarchitects
A477462_03	BASIX Certificate	21.11.22	twarchitects

As amended by the conditions of consent.

**DESIGN CHANGE**

**2. Design Change**

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans demonstrating the following:

- a. The square window to the north elevation of the master bedroom on the first floor (VV04) must be amended to be vertically proportioned window to match the dimensions of the windows in the east elevation of the rear addition, employing traditional design (timber sash) and materials (timber frame).
- b. Delete the large skylight proposed in the western roof plane of the main roof form above the staircase (SKY01).
- c. The finish to the first floor north elevation (W3) be in horizontally laid timber weatherboards. The elevation and the Materials Schedule must be updated accordingly.



**FEES**

**3. Security Deposit - Custom**

Prior to the commencement of demolition works or prior to the issue of a Construction Certificate, the Certifying Authority must be provided with written evidence that a security deposit and inspection fee has been paid to Council to cover the cost of making good any damage caused to any Council property or the physical environment as a consequence of carrying out the works and as surety for the proper completion of any road, footpath and drainage works required by this consent.

Security Deposit:	\$8000.00
Inspection Fee:	\$350.00

Payment will be accepted in the form of cash, bank cheque, EFTPOS/credit card (to a maximum of \$10,000) or bank guarantee. Bank Guarantees must not have an expiry date.

The inspection fee is required for the Council to determine the condition of the adjacent road reserve and footpath prior to and on completion of the works being carried out.

Should any of Council's property and/or the physical environment sustain damage during the course of the demolition or construction works, or if the works put Council's assets or the environment at risk, or if any road, footpath or drainage works required by this consent are not completed satisfactorily, Council may carry out any works necessary to repair the damage, remove the risk or complete the works. Council may utilise part or all of the security deposit to restore any damages, and Council may recover, in any court of competent jurisdiction, any costs to Council for such restorations.

A request for release of the security may be made to the Council after all construction work has been completed and a final Occupation Certificate issued.

The amount nominated is only current for the financial year in which the initial consent was issued and is revised each financial year. The amount payable must be consistent with Council's Fees and Charges in force at the date of payment.

**4. Section 7.12 (formerly section 94A) Development Contribution Payments**

Prior to the issue of a Construction Certificate, written evidence must be provided to the Certifying Authority that a monetary contribution to the Inner West Council has been paid, towards the provision of infrastructure, required to address increased demand for local services generated by additional development within the Local Government Area (LGA). This condition is imposed in accordance with Section 7.12 of the *Environmental Planning and*

*Assessment Act 1979* and in accordance with *Marrickville Section 94/94A Contributions Plan 2014*.

Note: Copies of these contribution plans can be inspected at any of the Inner West Council Service Centres or viewed online at <https://www.innerwest.nsw.gov.au/develop/planning-controls/section-94-contributions>

Payment amount\*:

\$8,000.

\*Indexing of the Section 7.12 contribution payment:

The contribution amount to be paid to the Council is to be adjusted at the time of the actual payment in accordance with the provisions of the relevant contributions plan. In this regard, you are recommended to make contact with Inner West Council *prior to arranging your payment method* to confirm the correct current payment amount (at the expected time of payment).

Payment methods:

The required contribution must be paid either *by BPAY (to a maximum of \$500,000); unendorsed bank cheque (from an Australian Bank only); EFTPOS (Debit only); credit card (Note: A 1% credit card transaction fee applies to all credit card transactions; cash (to a maximum of \$10,000)*. It should be noted that personal cheques or bank guarantees cannot be accepted for the payment of these contributions. Prior to payment contact Council's Planning Team to review charges to current indexed quarter, please allow a minimum of 2 business days for the invoice to be issued before payment can be accepted.

#### 5. Long Service Levy

Prior to the issue of a Construction Certificate, written evidence must be provided to the Certifying Authority that the long service levy in accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986* has been paid at the prescribed rate of 0.25% of the total cost of the work to either the Long Service Payments Corporation or Council for any work costing \$250,000 or more.

**GENERAL CONDITIONS**

**6. Tree Protection**

No trees on public property (footpaths, roads, reserves etc.) are to be removed or damaged during works unless specifically approved in this consent or marked on the approved plans for removal.

Prescribed trees protected by Council's Management Controls on the subject property and/or any vegetation on surrounding properties must not be damaged or removed during works unless specific approval has been provided under this consent.

Any public tree within five (5) metres of the development must be protected in accordance with Council's *Development Fact Sheet—Trees on Development Sites*.

No activities, storage or disposal of materials taking place beneath the canopy of any tree (including trees on neighbouring sites) protected under Council's Tree Management Controls at any time.

The trees identified below are to be retained and protected in accordance with the conditions of consent or approved Tree Protection Plan throughout the development (note: tree numbers must correspond with approved Tree Protection Plan if conditioned) :

Tree No.	Botanical/Common Name	Location
-	2 x <i>Melaleuca bracteata</i> (Black Tea Tree)	Street trees

Details of the trees must be included on all Construction Certificate plans and shall be annotated in the following way:

- a. Green for trees to be retained;

**7. Project Arborist**

Prior to the commencement of any demolition or construction works within close proximity to protected trees a Project Arborist must be engaged for the duration of the site preparation, demolition, construction and landscaping to supervise works. Details of the Project Arborist must be submitted to the Certifying Authority before work commences.

**8. Waste Management Plan**

Prior to the commencement of any works (including any demolition works), the Certifying Authority is required to be provided with a Recycling and Waste Management Plan (RWMP) in accordance with the relevant Development Control Plan.

**9. Erosion and Sediment Control**

Prior to the issue of a commencement of any works (including any demolition works), the Certifying Authority must be provided with an erosion and sediment control plan and specification. Sediment control devices must be installed and maintained in proper working order to prevent sediment discharge from the construction site.

**10. Verification of Levels and Location**

Prior to the pouring of the ground floor slab or at dampcourse level, whichever is applicable or occurs first, the Principal Certifier must be provided with a survey levels certificate prepared by a Registered Surveyor indicating the level of the slab and the location of the building with respect to the boundaries of the site to AHD.

**11. Works Outside the Property Boundary**

This development consent does not authorise works outside the property boundaries on adjoining lands.

**PRIOR TO ANY DEMOLITION****12. Hoardings**

The person acting on this consent must ensure the site is secured with temporary fencing prior to any works commencing.

If the work involves the erection or demolition of a building and is likely to cause pedestrian or vehicular traffic on public roads or Council controlled lands to be obstructed or rendered inconvenient, or building involves the enclosure of public property, a hoarding or fence must be erected between the work site and the public property. An awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling onto public property.

Separate approval is required from the Council under the *Roads Act 1993* to erect a hoarding or temporary fence or awning on public property.

**13. Dilapidation Report**

Prior to any works commencing (including demolition), the Certifying Authority and owners of identified properties, must be provided with a colour copy of a dilapidation report prepared by a suitably qualified person. The report is required to include colour photographs of all the adjoining properties to the Certifying Authority's satisfaction. In the event that the consent of the adjoining property owner cannot be obtained to undertake the report, copies of the letter/s

that have been sent via registered mail and any responses received must be forwarded to the Certifying Authority before work commences.

#### **14. Advising Neighbours Prior to Excavation**

At least 7 days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.

### **PRIOR TO CONSTRUCTION CERTIFICATE**

#### **15. Dilapidation Report – Pre-Development – Minor**

Prior to the issue of a Construction Certificate or any demolition, the Certifying Authority must be provided with a dilapidation report including colour photos showing the existing condition of the footpath and roadway adjacent to the site.

#### **16. Stormwater Drainage System – Minor Developments (OSD is not required)**

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with stormwater drainage design plans certified by a suitably qualified Civil Engineer that the design of the site drainage system complies with the following specific requirements:

- a. Stormwater runoff from all roof areas within the property being collected in a system of gutters, pits and pipeline and be discharged, together with overflow pipelines from any rainwater tank(s), by gravity to the kerb and gutter of a public road;
- b. Comply with Council's Stormwater Drainage Code, Australian Rainfall and Runoff (A.R.R.), Australian Standard AS3500.3-2018 'Stormwater Drainage' and Council's DCP;
- c. Pipe and channel drainage systems must be designed to cater for the twenty (20) year Average Recurrence Interval (ARI) storm. The major event surface flow paths must be designed to cater for the one hundred (100) year ARI Storm;
- d. Charged or pump-out stormwater drainage systems are not permitted including for roof drainage;
- e. To provide for adequate site drainage all roof and surface stormwater from the site and any catchment external to the site that presently drains to it, must be collected in a system of pits and pipelines/channels and major storm event surface flow paths and being discharged to a stormwater drainage system in accordance with the requirements of Council's DCP;
- f. The design plans must detail the existing and proposed site drainage layout, size, class and grade of pipelines, pit types, roof gutter and downpipe sizes;

- g. A minimum 150mm step up shall be provided between all external finished surfaces and adjacent internal floor areas except where a reduced step is permitted under Section 3.1.2.3(b) of the Building Code of Australia for Class 1 buildings;
- h. The design must make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands;
- i. No nuisance or concentration of flows to other properties;
- j. The design plans must specify that any components of the existing system to be retained must be certified during construction to be in good condition and of adequate capacity to convey the additional runoff generated by the development and be replaced or upgraded if required;
- k. An inspection opening or stormwater pit must be installed inside the property, adjacent to the boundary, for all stormwater outlets;
- l. Only a single point of discharge is permitted to the kerb and gutter, per frontage of the site;
- m. New pipelines within the footpath area that are to discharge to the kerb and gutter must be hot dipped galvanised steel hollow section with a minimum wall thickness of 4.0mm and a maximum section height and width of 100mm or sewer grade uPVC pipe with a maximum diameter of 100mm;
- n. All stormwater outlets through sandstone kerbs must be carefully core drilled in accordance with Council standard drawings;
- o. All redundant pipelines within footpath area must be removed and footpath/kerb reinstated; and
- p. No impact to street tree(s).

**17. Construction Methods to Minimise Impact on Trees**

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with details certified by a suitably qualified Arborist (AQF 5) demonstrating that the footings of the approved masonry walls along the Francis Street boundary will utilise tree sensitive construction techniques (such as isolated pier or pier and beam construction) within the specified radius of the trunks of the following tree/s should woody roots that are not approved for pruning are encountered:

Tree No.	Botanical/Common Name
-	2 x <i>Melaleuca bracteata</i> (Black Tea Tree) / street trees

Prior to the issue of a Construction Certificate, the Certifying Authority must verify that no proposed underground services are located beneath the canopy of any prescribed tree/s located on the subject site and adjoining sites (including trees located within the public domain).

**18. Sydney Water – Tap In**

Prior to the issue of a Construction Certificate, the Certifying Authority is required to ensure approval has been granted through Sydney Water's online 'Tap In' program to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met.

*Note: Please refer to the web site <http://www.sydneywater.com.au/tapin/index.htm> for details on the process or telephone 13 20 92*

**19. Structural Certificate for retained elements of the building**

Prior to the issue of a Construction Certificate, the Certifying Authority is required to be provided with a Structural Certificate prepared by a practising structural engineer, certifying the structural adequacy of the property and its ability to withstand the proposed additional, or altered structural loads during all stages of construction. The certificate must also include all details of the methodology to be employed in construction phases to achieve the above requirements without result in demolition of elements marked on the approved plans for retention.

**20. Acoustic Report – Aircraft Noise**

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans detailing the recommendations of an acoustic report prepared by a suitably qualified Acoustic Engineer demonstrating compliance of the development with the relevant provisions of Australian Standard AS 2021:2015 Acoustics – Aircraft noise intrusion – Building siting and construction.

**DURING DEMOLITION AND CONSTRUCTION**

**21. Tree Protection**

To protect the following trees, trunk protection must be installed prior to any works commencing in accordance with the approved *Tree Protection Plan* and/or with Council's *Development Fact Sheet—Trees on Development Sites*:

Tree No.	Botanical/Common Name/Location
-	2 x <i>Melaleuca bracteata</i> (Black Tea Tree) / street trees Francis Street

**22. Tree Protection Zone**

To protect the following tree, no work can commence until the Protection Zone is fenced off within the subject site (or ground protection installed) at the specified radius from the trunk/s to prevent any activities, storage or the disposal of materials within the protection area in accordance with Council's *Development Fact Sheet—Trees on Development Sites*. The tree protection (including existing boundary fencing) must be maintained intact until the completion of all demolition/building work on site.

Tree No.	Botanical/Common Name	Radius in metres
-	<i>Jacaranda mimosifolia</i> (Jacaranda) located at 8 Lynch Avenue	As determined by the Project Arborist. TPZ in accordance with AS4970 'Protection of trees on development sites'

**23. Inspections by Project Arborist**

The trees to be retained must be inspected, monitored and treated by the Project Arborist during and after completion of development works to ensure their long-term survival. Regular inspections and documentation from the Project Arborist to the Certifying Authority are required at the following times or phases of work:

Tree No./ Botanical/ Common Name/ Location	Time of Inspection	Key stage/ Hold point
2 x <i>Melaleuca bracteata</i> (Black Tea Tree) / street tree	Prior to commencement of works	<ul style="list-style-type: none"> <li>Inspection and sign off installation of tree protection measures.</li> </ul>
1 x <i>Jacaranda mimosifolia</i> (Jacaranda) / 8 Lynch Avenue		



	During Works	<ul style="list-style-type: none"> <li>• Supervise all site preparation and demolition works within the TPZ (only subterranean excavation for footings in relation to street trees)</li> <li>• Supervise all excavation, trenching works, landscaping works and tree/planting replenishment within the TPZ;</li> <li>• Supervise all tree work.</li> </ul>
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Recommendations to ensure the tree/s long term survival must be carried out immediately upon receipt of the report.

**24. Limited Root Pruning**

No tree roots of 30mm or greater in diameter from the following trees may be severed or injured in the process of any works during the construction period:

Tree No.	Botanical/Common Name
-	2 x <i>Melaleuca bracteata</i> (Black Tea Tree)
-	1 x <i>Jacaranda mimosifolia</i> (Jacaranda)

If tree roots less than 30mm diameter are required to be severed for the purposes of constructing the approved works, they must be cut cleanly using a sharp and *fit for purpose tool*. The pruning must be undertaken by a practicing Arborist under the supervision of the Project Arborist.

**25. Construction Hours – Class 1 and 10**

Unless otherwise approved by Council, excavation, demolition, construction or subdivision work are only permitted between the hours of 7:00am to 5.00pm, Mondays to Saturdays (inclusive) with no works permitted on, Sundays or Public Holidays.

**26. Survey Prior to Footings**

Upon excavation of the footings and before the pouring of the concrete, the Certifying Authority must be provided with a certificate of survey from a registered land surveyor to verify that the structure will not encroach over the allotment boundaries.

**PRIOR TO OCCUPATION CERTIFICATE****27. No Encroachments**

Prior to the issue of an Occupation Certificate, the Principal Certifier must ensure that any encroachments on to Council road or footpath resulting from the building works have been removed, including opening doors, gates and garage doors with the exception of any awnings or balconies approved by Council.

**28. Protect Sandstone Kerb**

Prior to the issue of an Occupation Certificate, the Principal Certifier must ensure that any stone kerb, damaged as a consequence of the work that is the subject of this development consent, has been replaced.

**29. Certification of Tree Planting**

Prior to the issue of any Occupation Certificate, the Principal Certifier is to be provided with evidence certified by a person holding a minimum qualification of AQF5 Certificate of Horticulture or Arboriculture that:

A minimum of 1 x 45 litre size tree, which will attain a minimum mature height of six (6) metres and a minimum mature canopy spread of three (3) metres, must be planted in a suitable location (not under the canopy of an existing tree) within the property at a minimum of 1.2 metres from any boundary and allowing for future tree growth. The tree is to conform to AS2303—*Tree stock for landscape use*. Trees listed as exempt species from Council's Tree Management Controls, palms, fruit trees and species recognised to have a short life span will not be accepted as suitable replacements.

If the trees are found dead or dying before it reaches dimensions where it is protected by Council's Tree Management Controls, it must be replaced in accordance must be replaced with the same species.

### **30. Project Arborist Certification**

Prior to the issue of any Occupation Certificate, the Principal Certifier is to be provided with certification from the project arborist the requirements of the conditions of consent related to the landscape plan and the role of the project arborist have been complied with.

### **31. Aircraft Noise –Alterations and Additions**

Prior to the issue of an Occupation Certificate (whether an interim or final Occupation Certificate), the Principal Certifier must be provided with a report from a suitably qualified person demonstrating that each of the commitments listed in Aircraft Noise Assessment Report required by this consent has been satisfied.

## **ON-GOING**

### **32. Bin Storage**

All bins are to be stored within the site.

## **ADVISORY NOTES**

### **Permits**

Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent must obtain all applicable Permits from Council in accordance with Section 68 (Approvals) of the *Local Government Act 1993* and/or Section 138 of the *Roads Act 1993*. Permits are required for the following activities:

- a. Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application;
- b. A concrete pump across the roadway/footpath;
- c. Mobile crane or any standing plant;
- d. Skip Bins;
- e. Scaffolding/Hoardings (fencing on public land);
- f. Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.;
- g. Awning or street veranda over the footpath;
- h. Partial or full road closure; and

- i. Installation or replacement of private stormwater drain, utility service or water supply.

If required contact Council's Road Access team to ensure the correct Permit applications are made for the various activities. Applications for such Permits must be submitted and approved by Council prior to the commencement of the works associated with such activity.

#### **Insurances**

Any person acting on this consent or any contractors carrying out works on public roads or Council controlled lands is required to take out Public Liability Insurance with a minimum cover of twenty (20) million dollars in relation to the occupation of, and approved works within those lands. The Policy is to note, and provide protection for Inner West Council, as an interested party and a copy of the Policy must be submitted to Council prior to commencement of the works. The Policy must be valid for the entire period that the works are being undertaken on public property.

#### **Arborists standards**

All tree work must be undertaken by a practicing Arborist. The work must be undertaken in accordance with AS4373—*Pruning of amenity trees* and the Safe Work Australia Code of Practice—*Guide to Managing Risks of Tree Trimming and Removal Work*. Any works in the vicinity of the Low Voltage Overhead Network (including service lines—pole to house connections) must be undertaken by an approved Network Service Provider contractor for the management of vegetation conflicting with such services. Contact the relevant Network Service Provider for further advice in this regard.

#### **Tree Protection Works**

All tree protection for the site must be undertaken in accordance with Council's *Development Fact Sheet—Trees on Development Sites* and AS4970—*Protection of trees on development sites*.

#### **Tree Pruning or Removal (including root pruning/mapping)**

Removal or pruning of any other tree (that would require consent of Council) on the site is not approved and must be retained and protected in accordance with Council's *Development Fact Sheet—Arborist Reports*.

#### **Prescribed Conditions**

This consent is subject to the prescribed conditions of consent within Sections 69-86 of the *Environmental Planning and Assessment Regulations 2021*.

**Notification of commencement of works**

At least 7 days before any demolition work commences:

- a. The Council must be notified of the following particulars:
  - i. the name, address, telephone contact details and licence number of the person responsible for carrying out the work; and
  - ii. the date the work is due to commence and the expected completion date; and
- b. A written notice must be placed in the letter box of each directly adjoining property identified advising of the date the work is due to commence.

**Storage of Materials on public property**

The placing of any materials on Council's footpath or roadway is prohibited, without the prior consent of Council.

**Toilet Facilities**

The following facilities must be provided on the site:

- a. Toilet facilities in accordance with WorkCover NSW requirements, at a ratio of one toilet per every 20 employees; and
- b. A garbage receptacle for food scraps and papers, with a tight fitting lid.

Facilities must be located so that they will not cause a nuisance.

**Infrastructure**

The developer must liaise with the Sydney Water Corporation, Ausgrid, AGL and Telstra concerning the provision of water and sewerage, electricity, natural gas and telephones respectively to the property. Any adjustment or augmentation of any public utility services including Gas, Water, Sewer, Electricity, Street lighting and Telecommunications required as a result of the development must be undertaken before occupation of the site.

**Other Approvals may be needed**

Approvals under other acts and regulations may be required to carry out the development. It is the responsibility of property owners to ensure that they comply with all relevant legislation. Council takes no responsibility for informing applicants of any separate approvals required.

**Failure to comply with conditions**

Failure to comply with the relevant provisions of the *Environmental Planning and Assessment Act 1979* and/or the conditions of this consent may result in the serving of penalty notices or legal action.

**Other works**

Works or activities other than those approved by this Development Consent will require the submission of a new Development Application or an application to modify the consent under Section 4.55 of the *Environmental Planning and Assessment Act 1979*.

**Obtaining Relevant Certification**

This development consent does not remove the need to obtain any other statutory consent or approval necessary under any other Act, such as (if necessary):

- a. Application for any activity under that Act, including any erection of a hoarding;
- b. Application for a Construction Certificate under the *Environmental Planning and Assessment Act 1979*;
- c. Application for an Occupation Certificate under the *Environmental Planning and Assessment Act 1979*;
- d. Application for a Subdivision Certificate under the *Environmental Planning and Assessment Act 1979* if land (including stratum) subdivision of the development site is proposed;
- e. Application for Strata Title Subdivision if strata title subdivision of the development is proposed;
- f. Development Application for demolition if demolition is not approved by this consent;  
or
- g. Development Application for subdivision if consent for subdivision is not granted by this consent.

**National Construction Code (Building Code of Australia)**

A complete assessment of the application under the provisions of the National Construction Code (Building Code of Australia) has not been carried out. All building works approved by this consent must be carried out in accordance with the requirements of the National Construction Code.

**Notification of commencement of works**

Residential building work within the meaning of the *Home Building Act 1989* must not be carried out unless the PCA (not being the council) has given the Council written notice of the following information:

- a. In the case of work for which a principal contractor is required to be appointed:
  - i. The name and licence number of the principal contractor; and
  - ii. The name of the insurer by which the work is insured under Part 6 of that Act.
- b. In the case of work to be done by an owner-builder:
  - i. The name of the owner-builder; and
  - ii. If the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

#### **Dividing Fences Act**

The person acting on this consent must comply with the requirements of the *Dividing Fences Act 1991* in respect to the alterations and additions to the boundary fences.

#### **Permits from Council under Other Acts**

Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent must obtain all applicable Permits from Council in accordance with Section 68 (Approvals) of the *Local Government Act 1993* and/or Section 138 of the *Roads Act 1993*. Permits are required for the following activities:

- a. Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application;
- b. A concrete pump across the roadway/footpath;
- c. Mobile crane or any standing plant;
- d. Skip bins;
- e. Scaffolding/Hoardings (fencing on public land);
- f. Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.;
- g. Awning or street verandah over footpath;
- h. Partial or full road closure; and
- i. Installation or replacement of private stormwater drain, utility service or water supply.

Contact Council's Road Access team to ensure the correct Permit applications are made for the various activities. A lease fee is payable for all occupations.

#### **Noise**

Noise arising from the works must be controlled in accordance with the requirements of the *Protection of the Environment Operations Act 1997*.

**Amenity Impacts General**

The use of the premises must not give rise to an environmental health nuisance to the adjoining or nearby premises and environment. There are to be no emissions or discharges from the premises, which will give rise to a public nuisance or result in an offence under the *Protection of the Environment Operations Act 1997* and Regulations. The use of the premises and the operation of plant and equipment must not give rise to the transmission of a vibration nuisance or damage other premises.

**Lead-based Paint**

Buildings built or painted prior to the 1970's may have surfaces coated with lead-based paints. Recent evidence indicates that lead is harmful to people at levels previously thought safe. Children particularly have been found to be susceptible to lead poisoning and cases of acute child lead poisonings in Sydney have been attributed to home renovation activities involving the removal of lead based paints. Precautions should therefore be taken if painted surfaces are to be removed or sanded as part of the proposed building alterations, particularly where children or pregnant women may be exposed, and work areas should be thoroughly cleaned prior to occupation of the room or building.

**Dial before you dig**

Contact "Dial Prior to You Dig" prior to commencing any building activity on the site.

**Useful Contacts**

BASIX Information	1300 650 908 weekdays 2:00pm - 5:00pm <a href="http://www.basix.nsw.gov.au">www.basix.nsw.gov.au</a>
Department of Fair Trading	13 32 20 <a href="http://www.fairtrading.nsw.gov.au">www.fairtrading.nsw.gov.au</a> Enquiries relating to Owner Builder Permits and Home Warranty Insurance.
Dial Prior to You Dig	1100 <a href="http://www.dialprior toyoudig.com.au">www.dialprior toyoudig.com.au</a>
Landcom	9841 8660



			To purchase copies of Volume One of "Soils and Construction"
Long Service Corporation	Payments	131441	<a href="http://www.lspc.nsw.gov.au">www.lspc.nsw.gov.au</a>
NSW Food Authority		1300 552 406	<a href="http://www.foodnotify.nsw.gov.au">www.foodnotify.nsw.gov.au</a>
NSW Government			<a href="http://www.nsw.gov.au/fibro">www.nsw.gov.au/fibro</a> <a href="http://www.diySAFE.nsw.gov.au">www.diySAFE.nsw.gov.au</a>
			Information on asbestos and safe work practices.
NSW Office of Environment and Heritage		131 555	<a href="http://www.environment.nsw.gov.au">www.environment.nsw.gov.au</a>
Sydney Water		13 20 92	<a href="http://www.sydneywater.com.au">www.sydneywater.com.au</a>
Waste Service - Environmental Solutions	SITA	1300 651 116	<a href="http://www.wasteservice.nsw.gov.au">www.wasteservice.nsw.gov.au</a>
Water Efficiency Labelling and Standards (WELS)			<a href="http://www.waterrating.gov.au">www.waterrating.gov.au</a>
WorkCover Authority of NSW		13 10 50	<a href="http://www.workcover.nsw.gov.au">www.workcover.nsw.gov.au</a> Enquiries relating to work safety and asbestos removal and disposal.

**Asbestos Removal**

A demolition or asbestos removal contractor licensed under the Work Health and Safety Regulations 2011 must undertake removal of more than 10m<sup>2</sup> of bonded asbestos (or otherwise specified by WorkCover or relevant legislation).

Removal of friable asbestos material must only be undertaken by a contractor that holds a current Class A Friable Asbestos Removal Licence.

Demolition sites that involve the removal of asbestos must display a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS' measuring not less than 400mm x 300mm is to be erected in a prominent visible position on the site to the satisfaction of Council's officers. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos has been removed from the site to an approved waste facility.

All asbestos waste must be stored, transported and disposed of in compliance with the Protection of the Environment Operations (Waste) Regulation 2014. All receipts detailing method and location of disposal must be submitted to Council as evidence of correct disposal.

Attachment B – Plans of proposed development

DEVELOPMENT APPLICATION - ISSUE A  
10 LYNCH AVE ENMORE NSW 2042



AERIAL IMAGE - 2014

FINISHES SCHEDULE

- (R1) NEW METAL ROOF SHEETING (KUP-LOK) - PAINT FINISH DULUX WINDSPRAY
- (W1) EXISTING RENDERED MASONRY WALL - NEW PAINT FINISH DULUX GREY PEBBLE
- (W2) NEW FACE BRICK WALL - NEW PAINT FINISH DULUX WHITSUNDAY ISLAND
- (W3) NEW TIMBER FRAMED WALL WITH FIBRE CEMENT SHEET CLADDING - NEW PAINT FINISH DULUX WHITSUNDAY ISLAND
- (W4) NEW TIMBER FRAMED WALL WITH FIBRE CEMENT SHEET CLADDING - NEW PAINT FINISH DULUX WHIT WOOD WHITE
- (F1) NEW TIMBER FLOORING
- (F2) NEW TILED FLOORING
- (S1) NEW EXTERNAL ADJUSTABLE SOLAR PROTECTION SCREENS AS REQUIRED BY BASIX

DRAWING	SCHEDULE	COVER PAGE	SCALE
DA	00	COVER PAGE	
DA	01	MATERIAL SCHEDULE	1:100
DA	02	SITE ANALYSIS	
DA	03	BASIX	
DA	04	EXISTING SITE & ROOF PLAN	1:100
DA	05	EXISTING GROUND FLOOR PLAN	1:100
DA	06	EXISTING FIRST FLOOR PLAN	1:100
DA	07	DEMOLITION PLAN - ROOF PLAN	1:100
DA	08	DEMOLITION PLAN - GROUND FLOOR	1:100
DA	09	DEMOLITION PLAN - FIRST FLOOR	1:100
DA	10	DEMOLITION ELEVATIONS	1:100
DA	11	DEMOLITION ELEVATIONS	1:100
DA	12	DEMOLITION ELEVATIONS	1:100
DA	13	PROPOSED SITE & ROOF PLAN	1:100
DA	14	PROPOSED GROUND FLOOR	1:100
DA	15	PROPOSED FIRST FLOOR PLAN	1:100
DA	16	PROPOSED ELEVATIONS	1:100
DA	17	PROPOSED ELEVATIONS	1:100
DA	18	PROPOSED ELEVATIONS	1:100
DA	19	PROPOSED SECTION BB	1:100
DA	20	STORMWATER CONCEPT PLAN	1:100
DA	21	CONCEPT LANDSCAPE PLAN	1:100
DA	22	SH-ADDOW DIAGRAM - 9AM 21ST JUNE	1:100
DA	23	SH-ADDOW DIAGRAM - 10AM 21ST JUNE	1:100
DA	24	SH-ADDOW DIAGRAM - 11AM 21ST JUNE	1:100
DA	25	SH-ADDOW DIAGRAM - 12PM 21ST JUNE	1:100
DA	26	SH-ADDOW DIAGRAM - 1PM 21ST JUNE	1:100
DA	27	SH-ADDOW DIAGRAM - 2PM 21ST JUNE	1:100
DA	28	SH-ADDOW DIAGRAM - 3PM 21ST JUNE	1:100
DA	29	SH-ADDOW DIAGRAM - 9AM 21ST MARCH	1:100
DA	30	SH-ADDOW DIAGRAM - 10AM 21ST MARCH	1:100
DA	31	SH-ADDOW DIAGRAM - 11AM 21ST MARCH	1:100
DA	32	SH-ADDOW DIAGRAM - 12PM 21ST MARCH	1:100
DA	33	SH-ADDOW DIAGRAM - 1PM 21ST MARCH	1:100
DA	34	SH-ADDOW DIAGRAM - 2PM 21ST MARCH	1:100
DA	35	SH-ADDOW DIAGRAM - 3PM 21ST MARCH	1:100
DA	36	ELEVATIONAL SH-ADDOW 21ST JUNE	1:100
DA	37	ELEVATIONAL SH-ADDOW 21ST JUNE	1:100
DA	38	ELEVATIONAL SH-ADDOW - 21ST MARCH	1:100
DA	39	ELEVATIONAL SH-ADDOW - 21ST MARCH	1:100
DA	40	COMPLIANCE DIAGRAM	1:100
DA	41	3D VIEWS	

REV	DATE	AMENDMENT	DESCRIPTION
A	11/04/17	DEVELOPMENT APPLICATION	
A	21/11/22	REDEVELOPMENT APPLICATION	

Version: 1, Version Date: 12/12/2022  
Document Set ID: 37177224

ORIENTATION

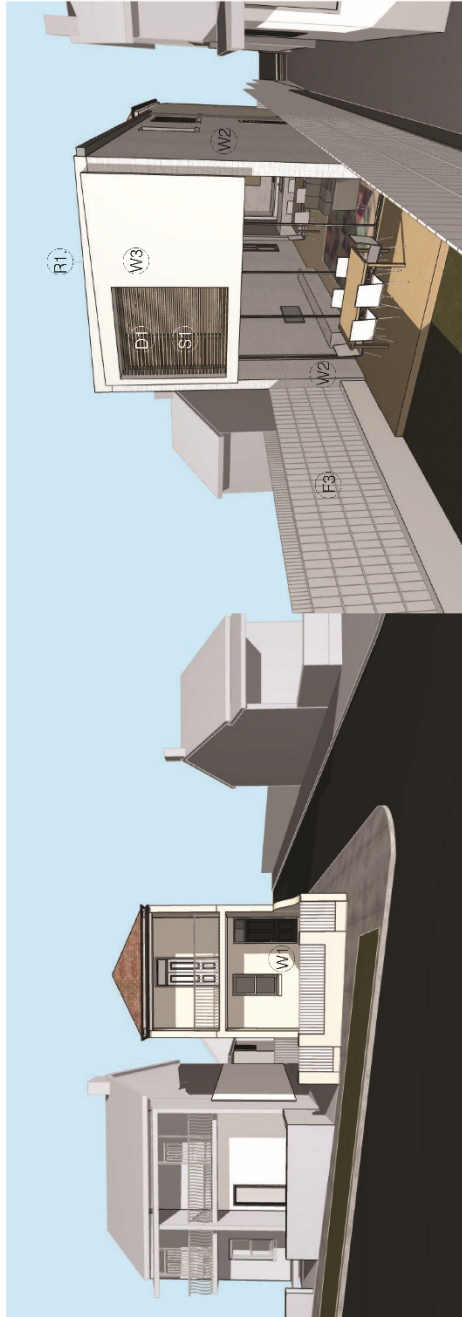
NOTES

LEGBND

CLIENT NAME	ARCHITECT
PROJECT ADDRESS	DA 00
10 LYNCH AVE ENMORE NSW 2042	COVER PAGE
SCALE	
1:50	

Shop 6/18 Darling St  
Enmore NSW 2042  
Tel: 02 95550077  
Fax: 02 95550078  
www.iwarchitects.com.au  
ABN 85 716 832 258  
NSW Lic No: 12807  
Tasmania ABN 852 7650

iwarchitects

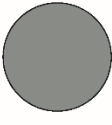


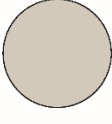
FRONT VIEW (LYNCH STREET) - UNCHANGED

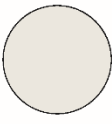
REAR VIEW





AERIAL VIEW


- 


**R1** NEW ROOF & ASSOCIATED  
RAIN WATER GOODS - METAL  
SHEETING (KUPLOK)  
DULLUX PAINT FINISH -  
WINGSPEAR
- 


**W1** EXISTING WALLS  
- NEW PAINT FINISH -  
DULLUX - GREY  
PEBBLE
- 

**W2** NEW WALLS - FACE  
BRICK WALL  
DULLUX PAINT FINISH -  
WHITSUNDAY ISLAND
- 

**W3** NEW WALLS - FACE  
BRICK WALL  
DULLUX PAINT FINISH -  
WHITSUNDAY ISLAND
- 

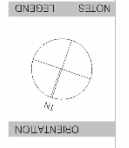
**D1** NEW DOORS &  
WINDOWS - DULLUX  
BLEACHES
- 

**S1** NEW EXTERNAL  
ADJUSTABLE SOLAR  
PROTECTION SCREENS
- 

**F3** NEW BOUNDARY FENCE  
TO MATCH EXISTING
- 

**F3** NEW BOUNDARY FENCE  
TO MATCH EXISTING

REV	DATE	AMENDMENT	APPLICATION
A	11/04/17	DEVELOPMENT APPLICATION	
A	21/11/22	DEVELOPMENT APPLICATION	



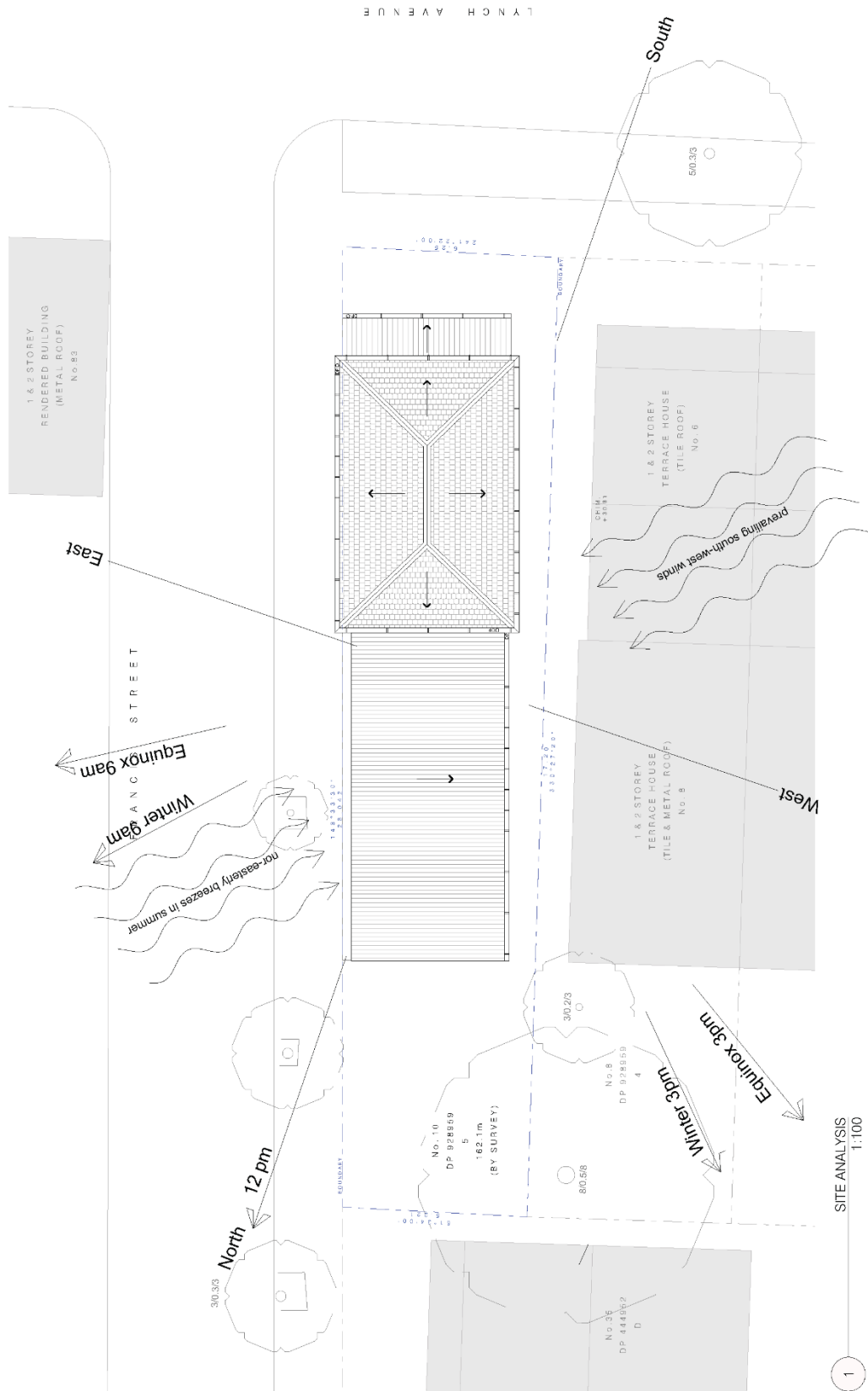
NOTES  
LEGEND

CLIENT NAME  
KING HIGGINS  
PROJECT ADDRESS  
10 LYNCH AVENUE ENMORE NSW 2042

ARCHITECT  
DA 01  
MATERIAL SCHEDULE

hwarchitects

Document Set ID: 3177724  
Version: 1, Version Date: 12/12/2022



1 SITE ANALYSIS 1:100

REV	DATE	AMENDMENT	DESCRIPTION
A	11/04/17	1	DEVELOPMENT APPLICATION
A	21/11/20	2	REDEVELOPMENT APPLICATION

Document Set ID: 3717724  
Version: 1, Version Date: 12/12/2022

CLIENT NAME: PINGACORP  
PROJECT ADDRESS: 10 LYNDAL LANE/CHIL NSW 2042  
SCALE: 1:100 @ A3

ARCHITECT: DA 02 SITE ANALYSIS

twarchitects







LEP CONTROLS - SITE AREA: 162.1m<sup>2</sup>

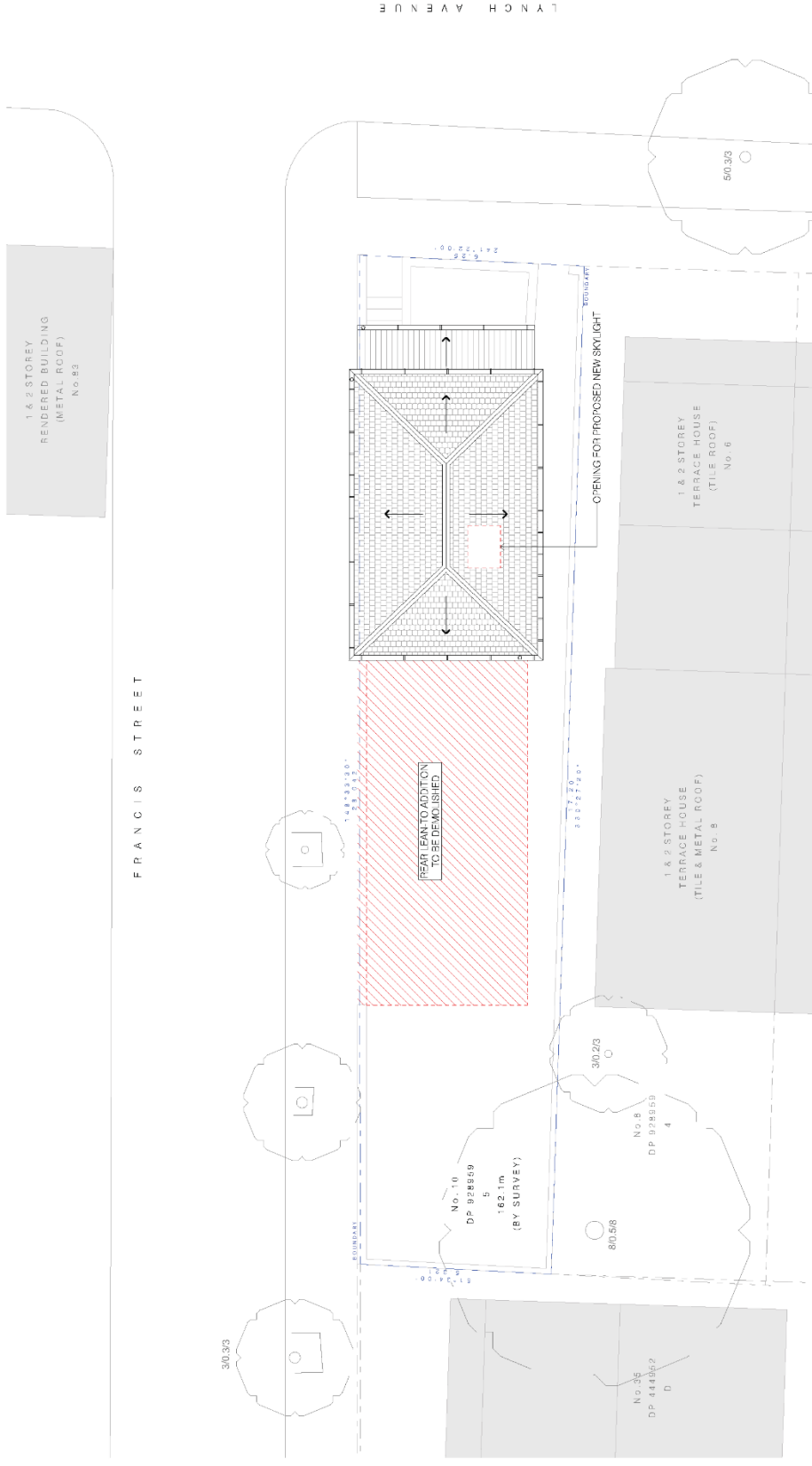
CONTROL	REQUIREMENT	EXISTING	COMPLIANCE
FSP	MAX. 1:1 (182.1m <sup>2</sup> )	0.57:1 (92.3m <sup>2</sup> )	COMPLIANT
SITE COVERAGE	MAX. 60% (97.26m <sup>2</sup> )	50% (80.75m <sup>2</sup> )	COMPLIANT
LANDSCAPE	MIN. 15% (24.32m <sup>2</sup> )	8.66% (13.95m <sup>2</sup> )	NON-COMPLIANT

2. EXISTING GROUND FLOOR PLAN  
1:100

<p>REV A DATE 21/1/22 AMENDMENT DEVELOPMENT APPLICATION REPLACEMENT APPLICATION</p>	<p>ORIENTATION</p>	<p>NOTES</p>	<p>DETAILS</p> <ul style="list-style-type: none"> <li>CONCRETE</li> <li>METAL</li> <li>GLASS</li> <li>PAVING</li> <li>SLATE</li> </ul>	<p>CLIENT NAME PROJECT ADDRESS SCALE 1:100 @ A3</p>	<p>ARCHITECT</p> <p>DA 05 EXISTING GROUND FLOOR PLAN</p>	<p>twarchitects</p>
-------------------------------------------------------------------------------------------------	--------------------	--------------	----------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------	--------------------------------------------------------------	---------------------

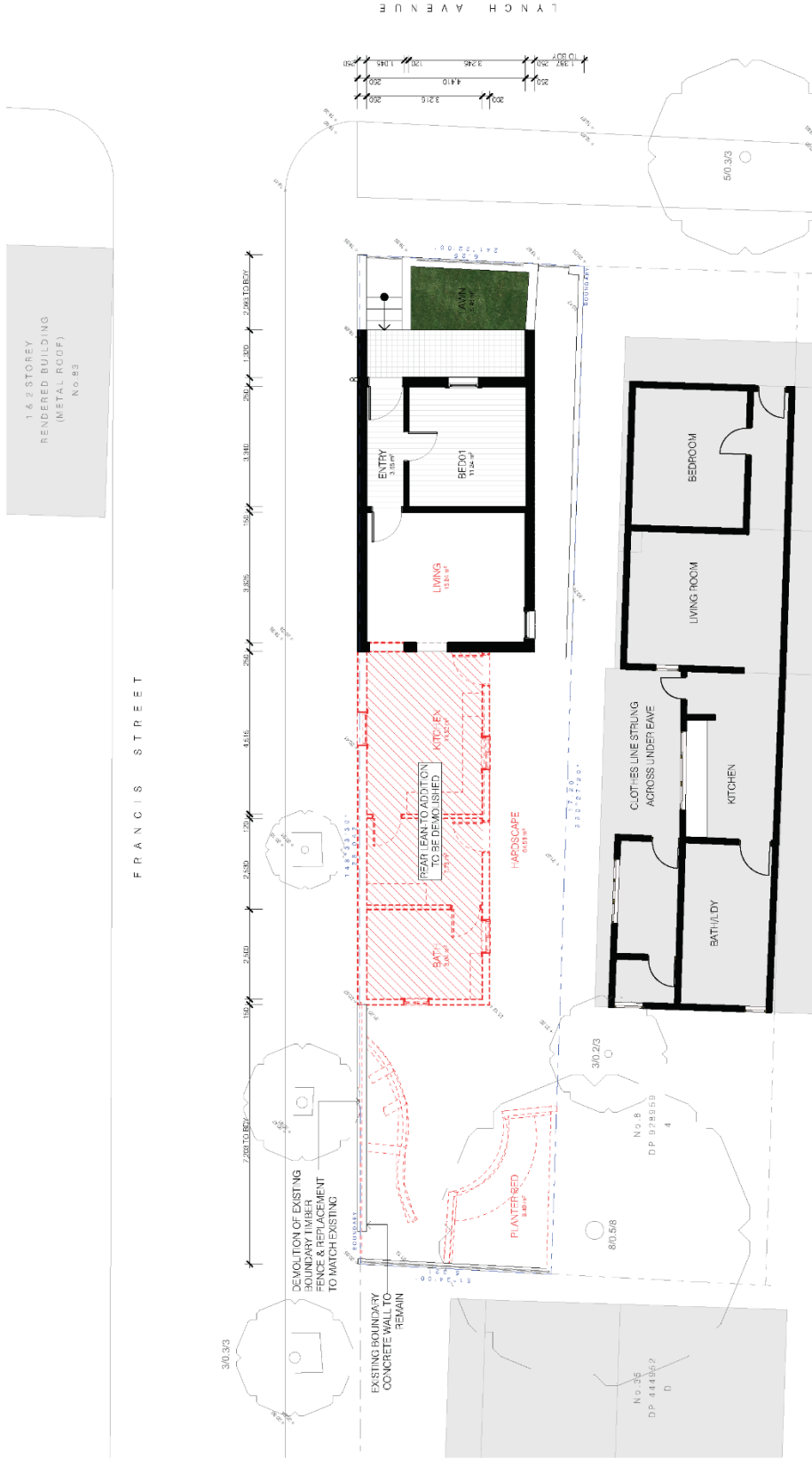






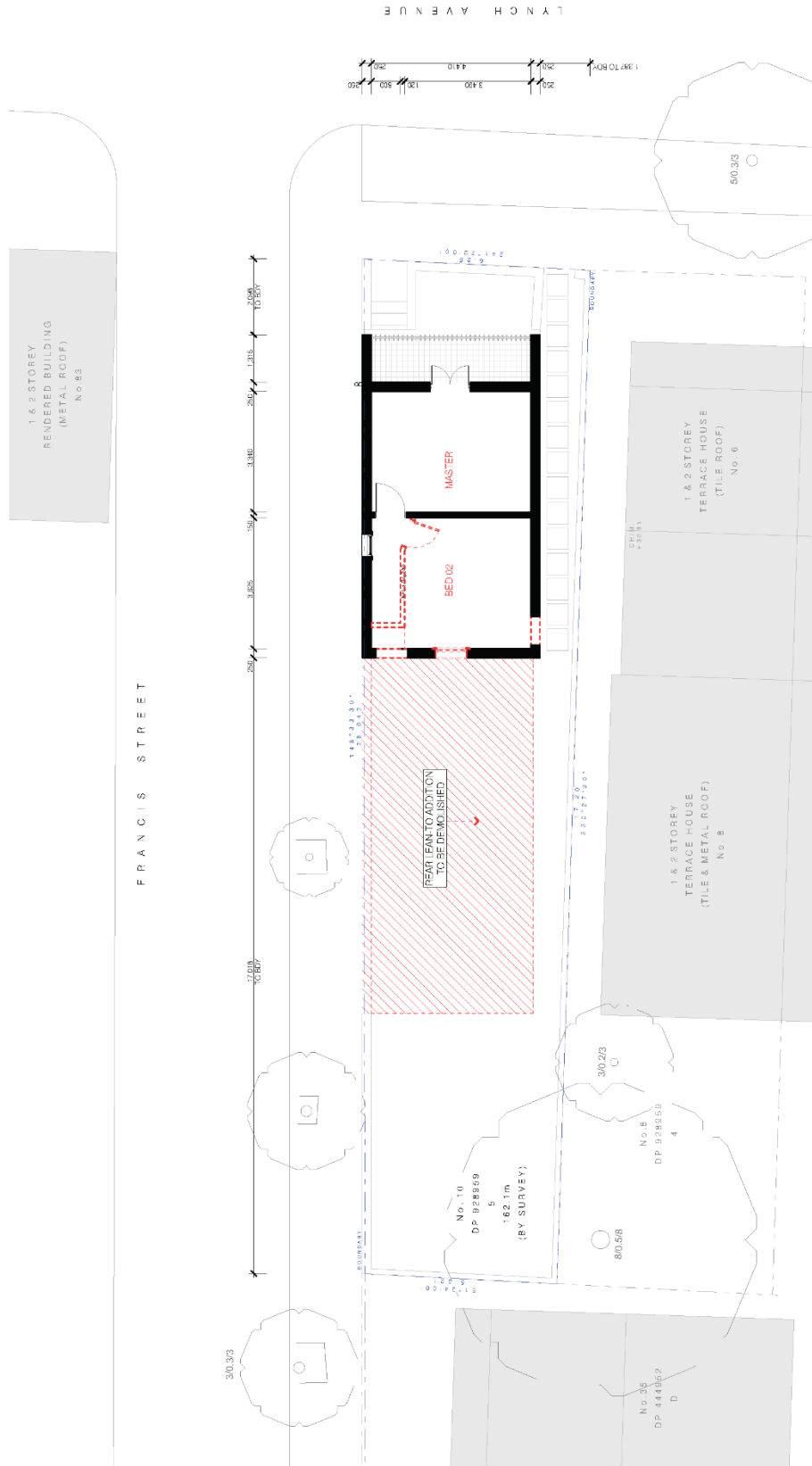
1. DEMOLITION - ROOF PLAN  
1:100

<b>AMENDMENTS</b> REV: A DATE: 21/1/22 DESCRIPTION: <b>REDEMOLITION APPLICATION</b>		<b>ORIENTATION</b> 		<b>NOTES</b> LEAD-ND	
<b>EXISTING BUILDING FABRIC</b> CONCRETE METAL GLASS PAINT SLATE		<b>PROPOSED BUILDING FABRIC</b> CONCRETE METAL GLASS PAINT SLATE		<b>DETAILS</b> CLIENT NAME: RINGWOOD PRESS TO UNYCI PAL/LIN/CHL NSW/2042 ARCHITECT: twarchitects SCALE: 1:100 @ A3 PROJECT NO: 2022/007	
DA 07 DEMOLITION PLAN - ROOF PLAN		ARCHITECT: twarchitects		State of NSW Planning Building Unit 10 0412 494 579 100 Macquarie Street, Sydney NSW 2000 www.twarchitects.com.au ABN: 88 716 692 243 Thomas Wills (REG 286)	



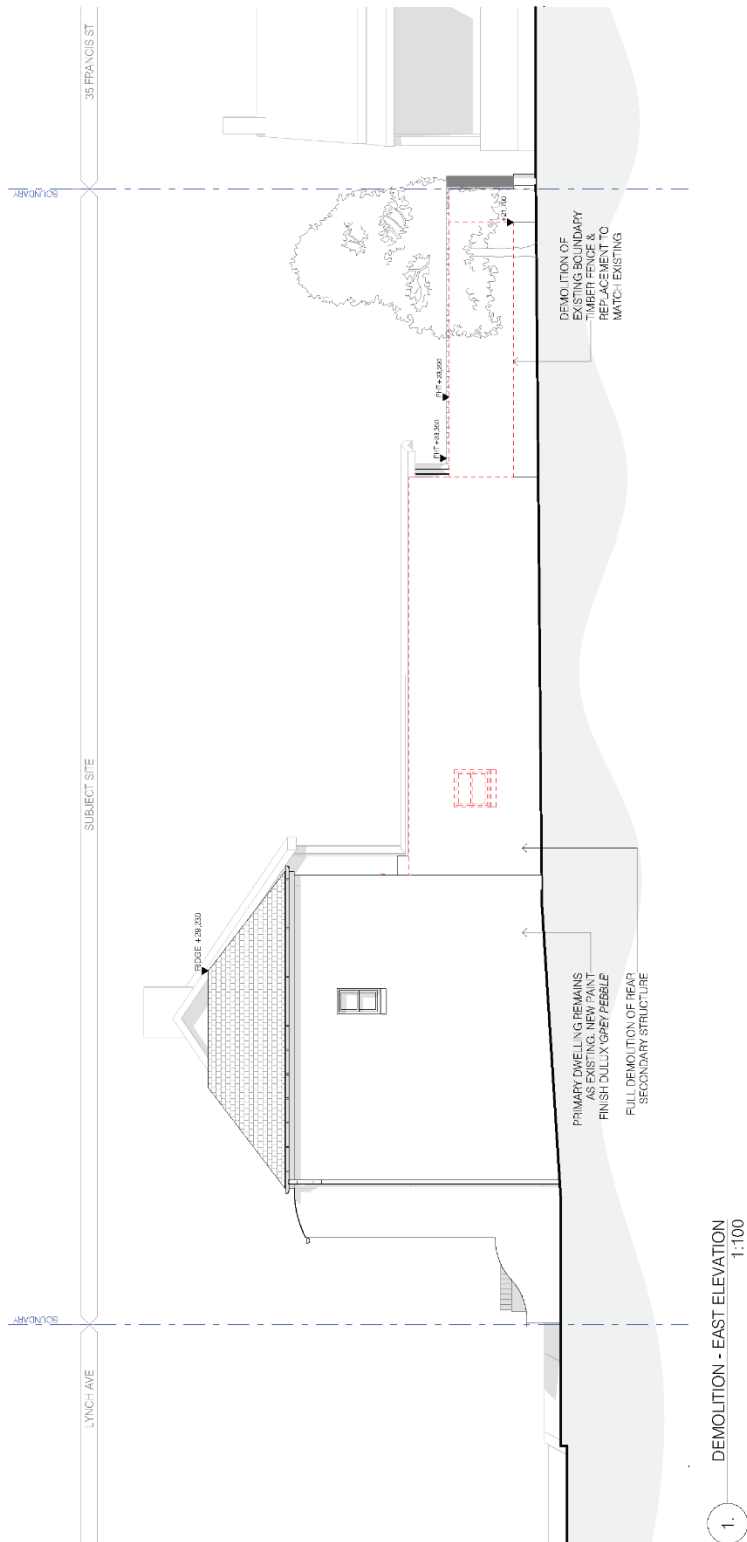
2. DEMOLITION GROUND FLOOR PLAN  
1:100

<p>REV A DATE 11/04/17 DEVELOPMENT APPLICATION 21/17/20 <b>REDEMPTION APPLICATION</b></p>		<p>ORIENTATION</p>		<p>NOTES</p>		<p>EXISTING BUILDING FABRIC</p> <ul style="list-style-type: none"> <li>CONCRETE</li> <li>METAL</li> <li>GLASS</li> <li>PAVING</li> <li>SLATE</li> </ul>		<p>CLIENT NAME</p> <p>PROJECT ADDRESS</p> <p>10 LYNCH AVE LINDAVILLE NSW 2042</p> <p>SCALE</p> <p>1:100 @ A3</p>		<p>ARCHITECT</p> <p><b>DA 08</b></p> <p>twarchitects</p>	
<p>AMENDMENTS</p>		<p>AMENDMENT</p>		<p>LEGEND</p> <ul style="list-style-type: none"> <li>PROPOSED BUILDING FABRIC</li> <li>BUILDING FABRIC TO BE DEMOLISHED</li> <li>BRICK</li> <li>TIMBER</li> <li>TILES</li> </ul>		<p>CONCRETE</p> <p>METAL</p> <p>GLASS</p> <p>PAVING</p> <p>SLATE </p>		<p>twarchitects</p> <p>10 LYNCH AVE LINDAVILLE NSW 2042</p> <p>PH: 0412 494 579</p> <p>MO: 02 9525 0307</p> <p>WWW: www.twarchitects.com.au</p> <p>ABN: 96 716 692 243</p> <p>THOMAS WATKINS (NSW)</p>		<p>twarchitects</p>	



3. DEMOLITION FIRST FLOOR PLAN  
1:100

<p>REV A DATE 11/04/17 AMENDMENT DEVELOPMENT APPLICATION 21/17/20 <b>DEMOLITION APPLICATION</b></p>		<p>ORIENTATION</p>		<p>NOTES</p>	
<p>EXISTING BUILDING FABRIC PROPOSED BUILDING FABRIC BUILDING FABRIC TO BE REFINISHED BRICK TIMBER TILES</p>		<p>CONCRETE METAL GLASS PAVING SLATE</p>		<p>CLIENT NAME PROJECT ADDRESS TO UNDO LAL/NO/CHL NSV/2042 SCALE 1:100 @ A3</p>	
<p>AMENDMENTS</p>		<p>DEMOLITION PLAN - FIRST FLOOR</p>		<p>ARCHITECT</p>	
<p>Document Set ID: 3717724 Version: 1, Version Date: 12/12/2022</p>		<p>DA 09</p>		<p>twarchitects</p>	



1. DEMOLITION - EAST ELEVATION  
1:100

REV	DATE	AMENDMENT	DESCRIPTION
A	11/04/22	DEVELOPMENT APPLICATION	DEVELOPMENT APPLICATION
A	21/11/22	DEVELOPMENT APPLICATION	DEVELOPMENT APPLICATION

Document Set ID: 3717724  
Version: 1, Version Date: 12/12/2022

ORIENTATION

NOTES

- EXISTING BUILDING FABRIC
- PROPOSED BUILDING FABRIC
- BUILDING FABRIC TO BE DEMOLISHED
- BRICK
- TIMBER
- TILES

- CONCRETE
- METAL
- GLASS
- PAVING
- SLATE

DETAILS

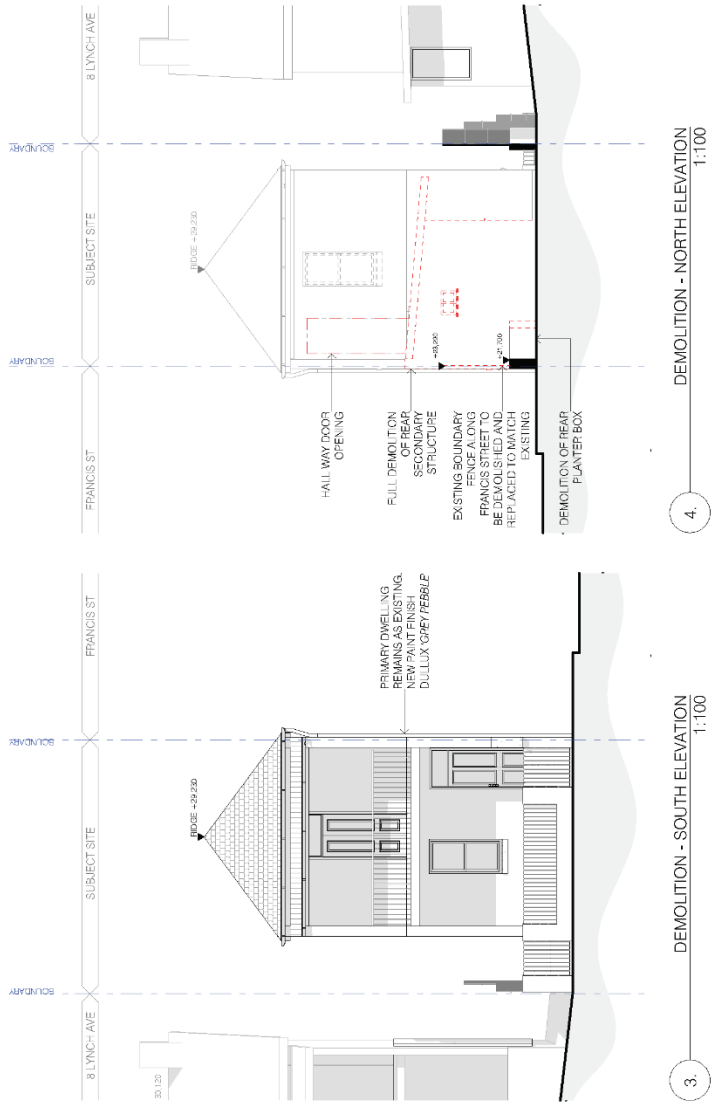
CLIENT NAME  
PROJECT ADDRESS  
TO UNCLIP WALLS/CHL NSV/2042  
SCALE  
1:100 @ A3

ARCHITECT

DA 10  
DEMOLITION ELEVATIONS

twarchitects  
Studio 10/15 Darling St  
Sydney NSW 1585  
t 02 9555 0307  
m 0412 494 479  
e info@twarchitects.com.au  
w www.twarchitects.com.au  
ABN 88 716 692 243  
Thomas Hill REG 2859





REV	DATE	AMENDMENT	DESCRIPTION
A	11/04/22	DEVELOPMENT APPLICATION	21/1/22
A	21/1/22	DEVELOPMENT APPLICATION	

Document Set ID: 3717724  
Version: 1, Version Date: 12/12/2022

ORIENTATION

NOTES

- EXISTING BUILDING FABRIC
- PROPOSED BUILDING FABRIC
- BUILDING FABRIC TO BE DEMOLISHED
- BRICK
- TIMBER
- TILES

DETAILS

- CONCRETE
- METAL
- GLASS
- PAVING
- SLATE

CLIENT NAME  
FRANCIS STREET  
10 LYNCH AVE/CHIL NSW 2042

SCALE  
1:100 @ A3

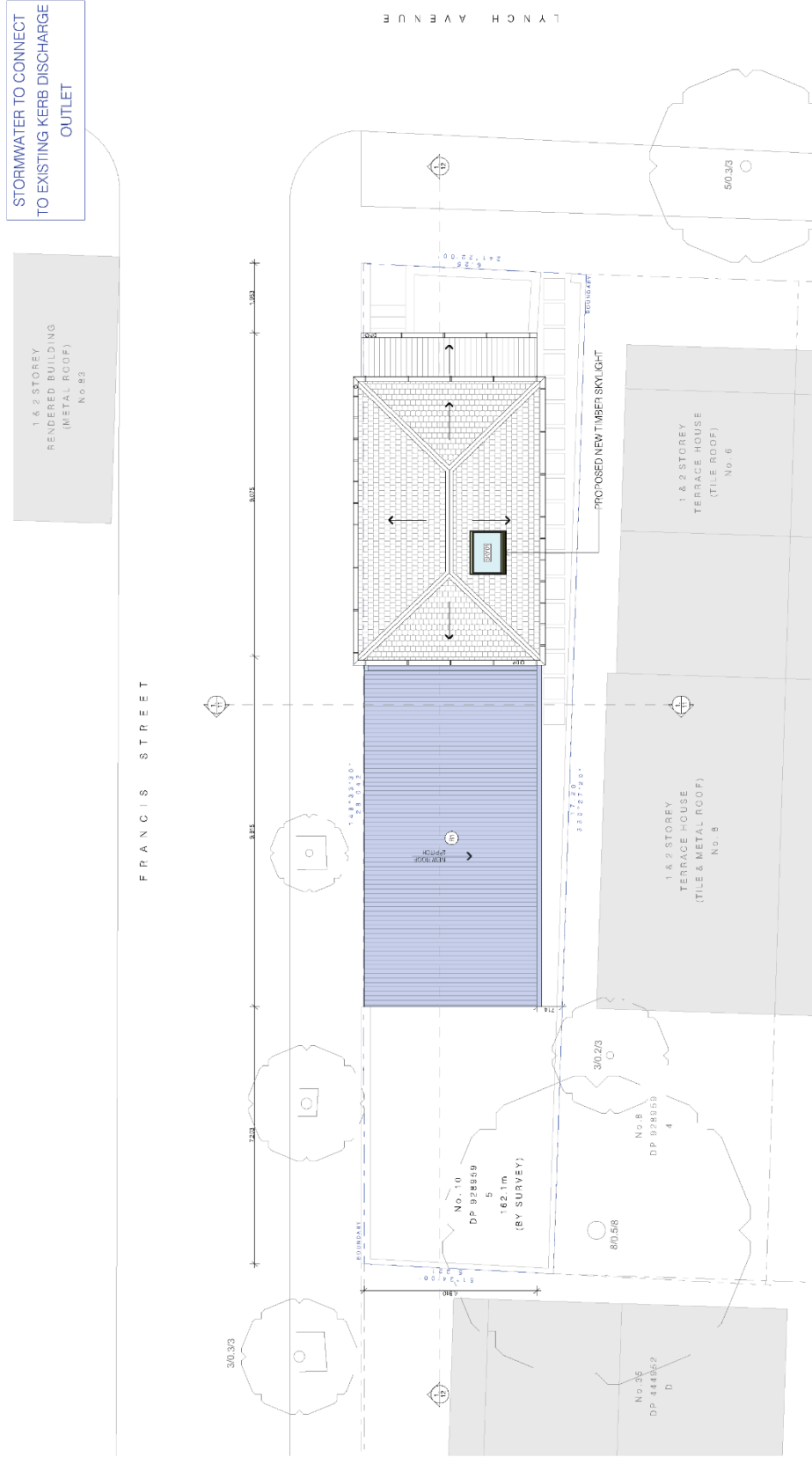
ARCHITECT

DA 12

DEMOLITION ELEVATIONS

twarchitects

Site: 10 Lynch Ave, St  
Francis Street  
Sydney NSW 2042  
Phone: 02 9434 5797  
Fax: 02 9434 5797  
Email: info@twarchitects.com.au  
Web: www.twarchitects.com.au  
ABN: 88 716 692 243  
Thomas Wills (REG 285)



1. PROPOSED SITE & ROOF PLAN  
1:100

REV	DATE	AMENDMENT	DESCRIPTION
A	11/04/17	1	DEVELOPMENT APPLICATION
A	21/11/20	2	REDEVELOPMENT APPLICATION

Document Set ID: 3717724  
Version: 1, Version Date: 12/12/2022

ORIENTATION

NOTES

- EXISTING BUILDING FABRIC: CONCRETE, METAL, GLASS
- PROPOSED BUILDING FABRIC: BRICK, TIMBER, TILES
- BUILDING FABRIC TO BE REFINISHED: BRICK, TIMBER, TILES

DETAILS

- CLIENT NAME: PROJECT ADDRESS: 10 LYNCH AVENUE/CHIL NSW 2042
- SCALE: 1:100 @ A3

ARCHITECT

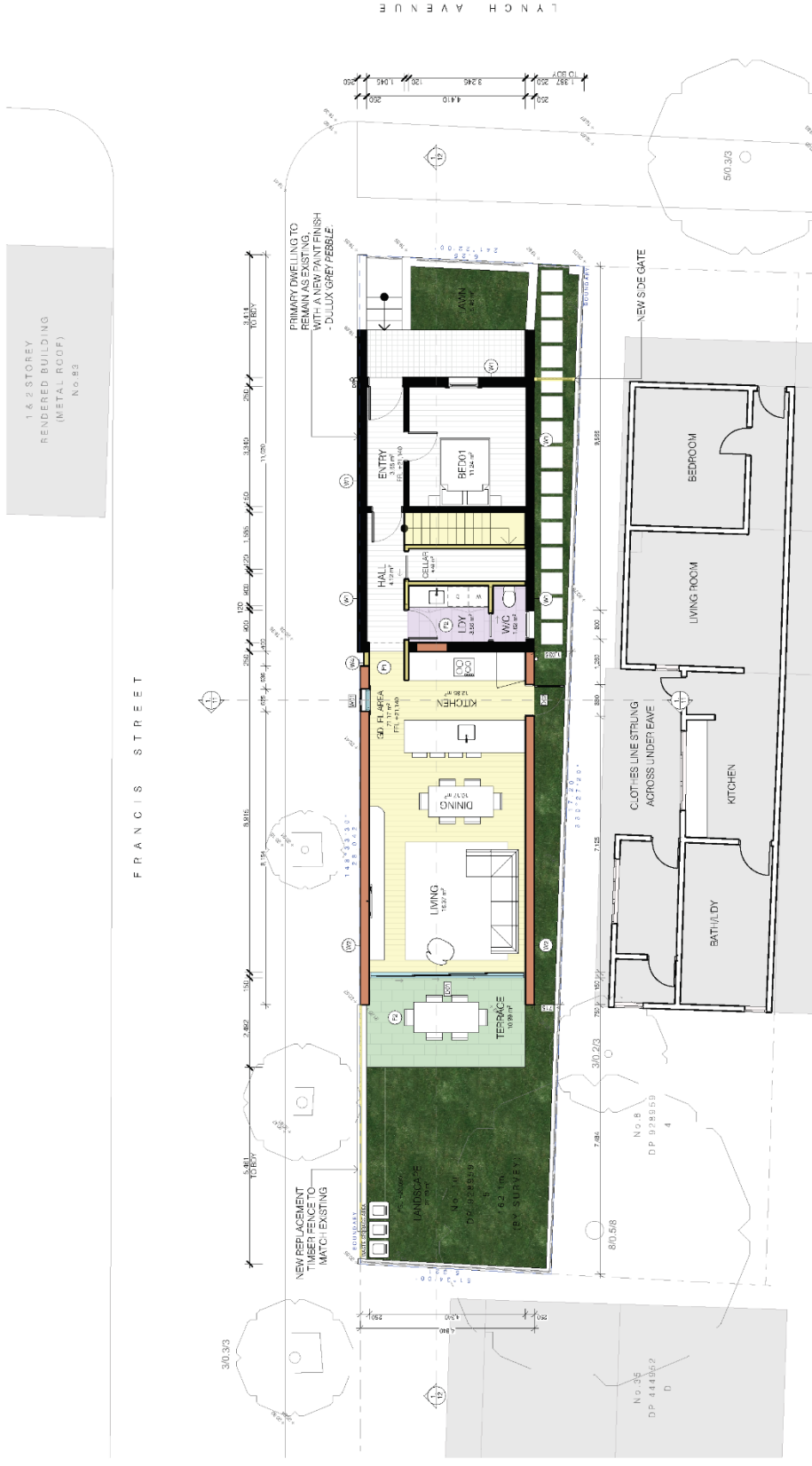
**DA 13**

PROPOSED SITE & ROOF PLAN

twarchitects

Shane St (Rising Sun) St  
10 LYNCH AVENUE  
M 0412 434 479  
P 02 9525 6937  
W www.twarchitects.com.au  
ABR No. 716 692 243  
Thomas Wills (RES 7859)





LEP CONTROLS - SITE AREA - 692.10m <sup>2</sup>	EXISTING	PROPOSED	COMPLIANCE
CONTROL REQUIREMENT	0.871 (92.34m <sup>2</sup> )	0.861 (138.97m <sup>2</sup> )	COMPLIANT
FSR	MAX. 1:1 (182.11m <sup>2</sup> )	50% (80.75m <sup>2</sup> )	COMPLIANT
SITE COVERAGE	MAX. 60% (97.26m <sup>2</sup> )	56% (61.60m <sup>2</sup> )	COMPLIANT
LANDSCAPE	MIN. 15% (24.32m <sup>2</sup> )	20% (33.15m <sup>2</sup> )	COMPLIANT

2. PROPOSED GROUND FLOOR PLAN  
1:100

REV A DATE 11/04/17 AMENDMENT DEVELOPMENT APPLICATION 21/17/20 **REPLACEMENT APPLICATION**

AMENDMENT'S

Document Set ID: 3717724  
Version: 1, Version Date: 12/12/2022

CLIENT NAME: FRANCIS STREET PRESS  
10 LYNDI AVE LINDAVILLE NSW 2042  
SCALE: 1:100 @ A3

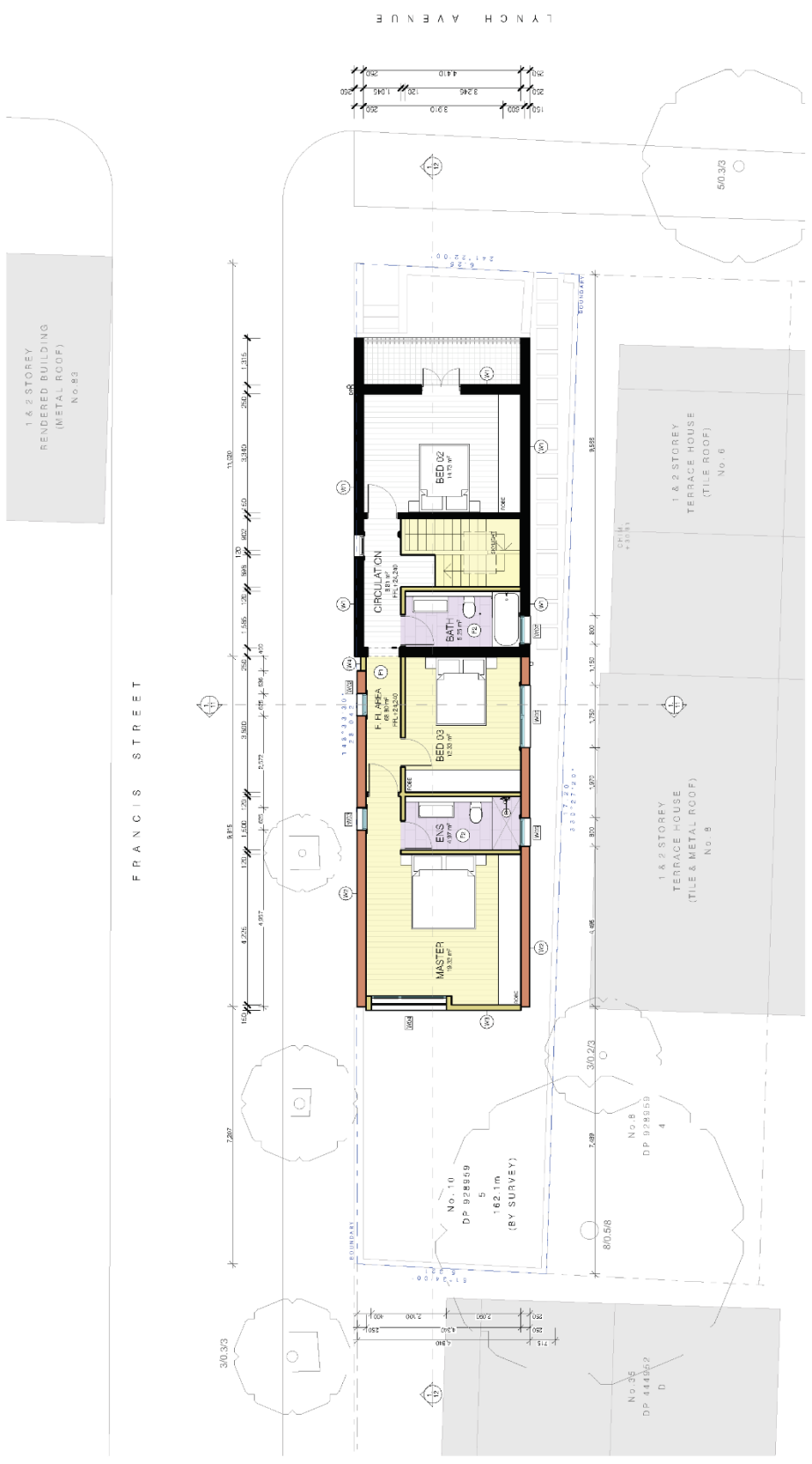
ARCHITECT: DA 14  
PROPOSED GROUND FLOOR

twarchitects  
Suite 51 (5th Dining St)  
Lindville NSW 2055  
P: 0412 434 579  
www.twarchitects.com.au  
AHL: 88 716 692 243  
Thorvald WAH REG 2859

EXISTING BUILDING FABRIC: CONCRETE  
PROPOSED BUILDING FABRIC: METAL  
BUILDING FABRIC TO BE REFINISHED: GLASS  
BRICK: PAVING  
TIMBER: SLATE  
TILES

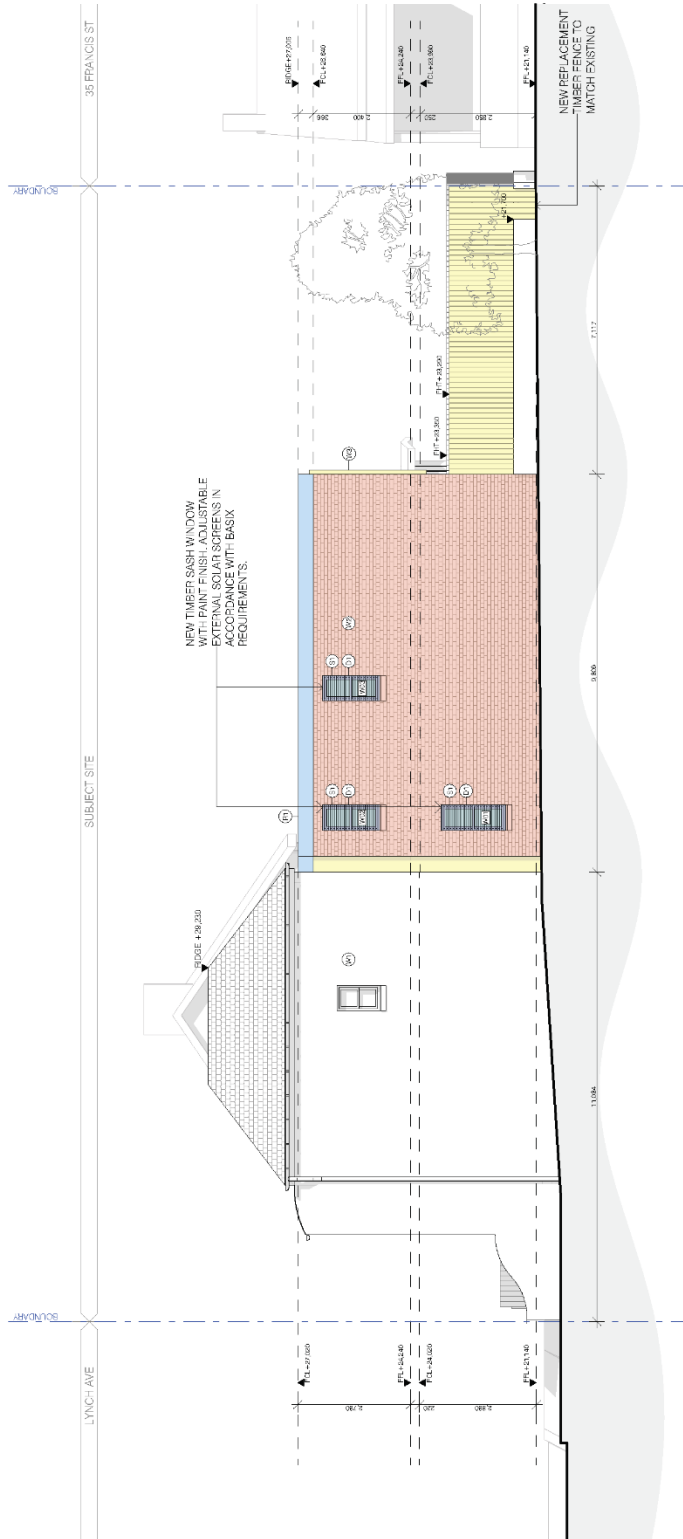
NOTES: LEED-ND

ORIENTATION:



3. PROPOSED FIRST FLOOR PLAN  
1:100

<p>REV A DATE 21/1/22 AMENDMENT DEVELOPMENT APPLICATION CEREBAL/DA/15/2042</p>		<p>ORIENTATION</p>		<p>NOTES</p>	
<p>EXISTING BUILDING FABRIC PROPOSED BUILDING FABRIC BUILDING FABRIC TO BE REFINISHED BRICK TIMBER TILES</p>		<p>CONCRETE METAL GLASS PAVING SLATE</p>		<p>CLIENT NAME PRINCIPAL OFFICE 10 LYNDALVA LN/CHL NSW 2042 SCALE 1:100 @ A3</p>	
<p>ARCHITECT</p>		<p>DA 15</p>		<p>PROPOSED FIRST FLOOR PLAN</p>	
<p>Studio 51 (55 Darling St) Sydney NSW 1585 t 02 9555 6037 m 0412 434 573 e info@twarchitects.com.au w www.twarchitects.com.au ABR No. 716 692 243 Thomas Wills (REG 2859)</p>		<p>twarchitects</p>		<p>Document Set ID: 3717724 Version: 1, Version Date: 12/12/2022</p>	



1. PROPOSED EAST ELEVATION  
1:100

REV	DATE	AMENDMENT	DESCRIPTION
A	11/04/22	1	DEVELOPMENT APPLICATION
A	21/11/22	2	REDEVELOPMENT APPLICATION

Document Set ID: 37177224  
Version: 1, Version Date: 12/12/2022

ORIENTATION

NOTES

LEGEND

EXISTING BUILDING FABRIC	CONCRETE
PROPOSED BUILDING FABRIC	METAL
BUILDING FABRIC TO BE REFINISHED	GLASS
BRICK	PAVING
TIMBER	SLATE
TILES	

DETAILS

CLIENT NAME: PRINCIPAL OFFICE  
PROJECT ADDRESS: 10 LYNCH AVE/LAN/CHL NSW 2042  
SCALE: 1:100 @ A3

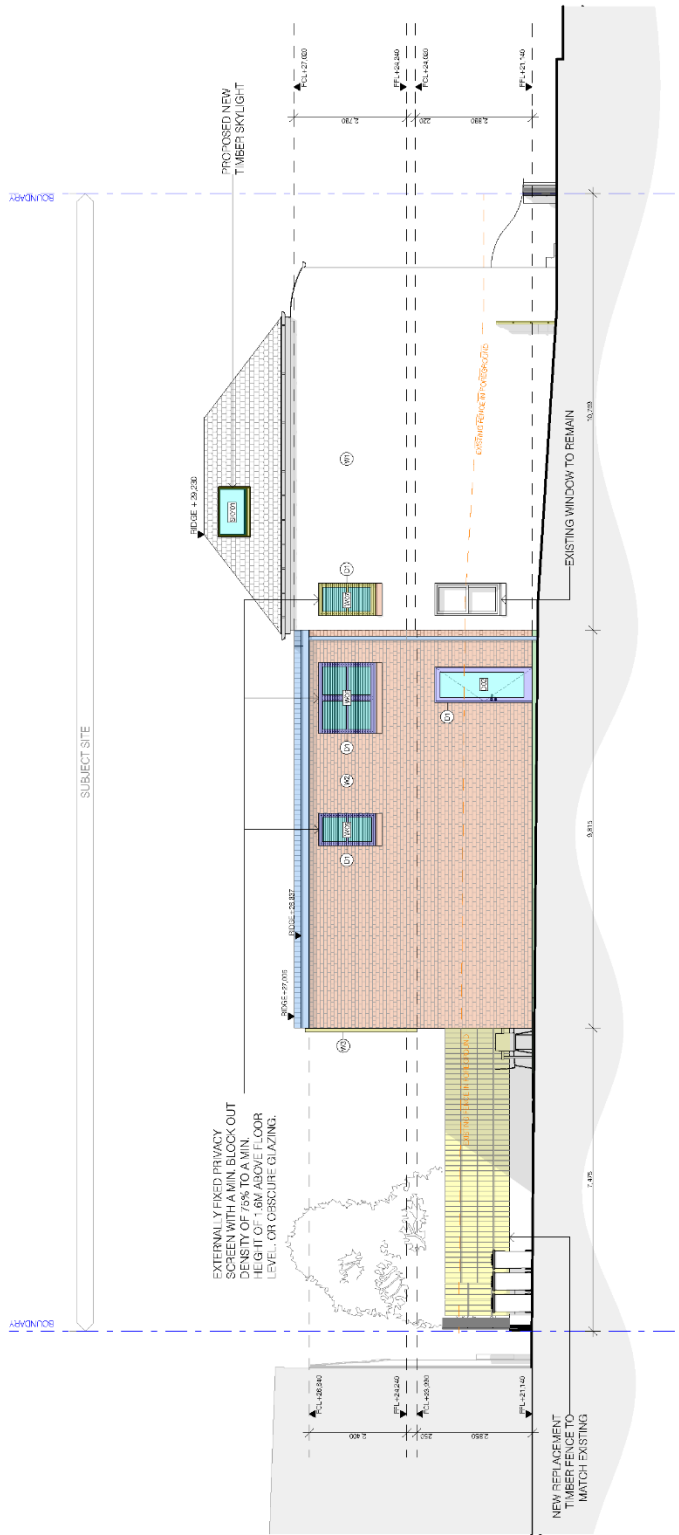
ARCHITECT

DA 16

PROPOSED ELEVATIONS

twarchitects

Studio: 105 Darling St  
Sydney NSW 2008  
Phone: 02 9555 0307  
Mobile: 0412 434 479  
Email: info@twarchitects.com.au  
Web: www.twarchitects.com.au  
ABN: 88 716 692 243  
Thomas Hill (REG 285)



2. PROPOSED WEST ELEVATION  
1:100

REV	DATE	AMENDMENT	DESCRIPTION
A	11/04/22	1	DEVELOPMENT APPLICATION
A	21/11/22	2	REBID DEVELOPMENT APPLICATION

Document Set ID: 37177224  
Version: 1, Version Date: 12/12/2022

CLIENT NAME: RINGWOOD PRESS  
PROJECT ADDRESS: 10 UNYCI PAL LN/CHIL NSW 2042  
SCALE: 1:100 @ A3

ARCHITECT: twarchitects

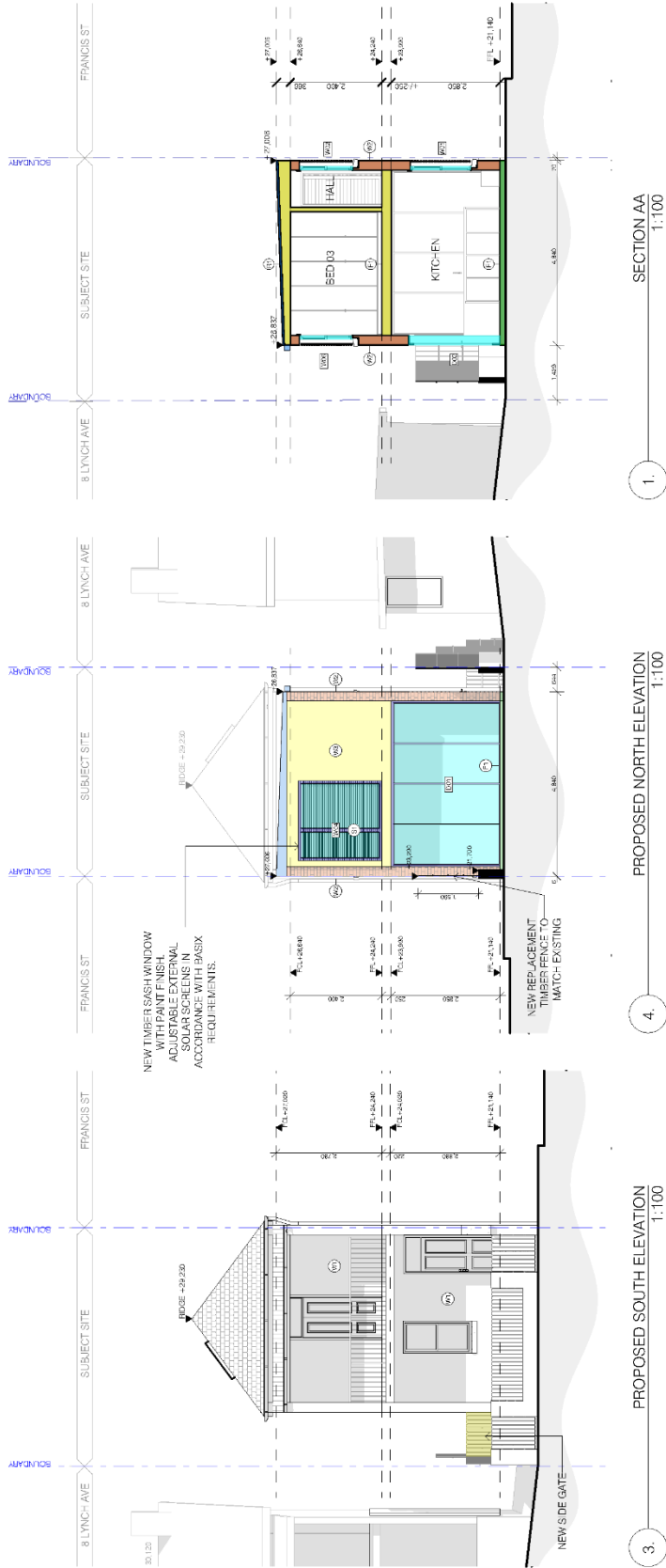
DA 17  
PROPOSED ELEVATIONS

LEGEND

EXISTING BUILDING FABRIC	CONCRETE
PROPOSED BUILDING FABRIC	METAL
BUILDING FABRIC TO BE REFINISHED	GLASS
BRICK	PAVING
TIMBER	SLATE
TILES	

NOTES

ORIENTATION



REV	DATE	AMENDMENT	DESCRIPTION
A	11/04/22	DEVELOPMENT APPLICATION	
A	21/11/22	REDEVELOPMENT APPLICATION	

Document Set ID: 37177224  
Version: 1, Version Date: 12/12/2022

ORIENTATION

NOTES

- CONCRETE
- METAL
- GLASS
- PAVING
- SLATE

EXISTING BUILDING FABRIC

- PROPOSED BUILDING FABRIC
- BUILDING FABRIC TO BE REFINISHED
- BRICK
- TIMBER
- TILES

DETAILS

CLIENT NAME  
PROJECT ADDRESS  
10 LYNCH AVE/CHIL NSW 2042  
SCALE  
1:100 @ A3

ARCHITECT

DA 18  
PROPOSED ELEVATIONS

twarchitects

State of NSW Planning & Infrastructure  
111 Macquarie Street  
Sydney NSW 2000  
Phone: 02 9249 4279  
Fax: 02 9249 4277  
Email: [info@twarchitects.com.au](mailto:info@twarchitects.com.au)  
Web: [www.twarchitects.com.au](http://www.twarchitects.com.au)  
ABN: 88 716 692 243  
Licence No: 15019-AG  
Thomas Wills (REG 2859)



2. SECTION BB  
1:100

REV	DATE	AMENDMENT	DESCRIPTION
A	11/04/22	DEVELOPMENT APPLICATION	21/1/22 DEVELOPMENT APPLICATION

Document Set ID: 37177224  
Version: 1, Version Date: 12/12/2022

CLIENT NAME  
PROJECT ADDRESS  
10 LYNDI VAL LANE/CHIL NSW 2042  
SCALE  
1:100 @ A3

DETAILS

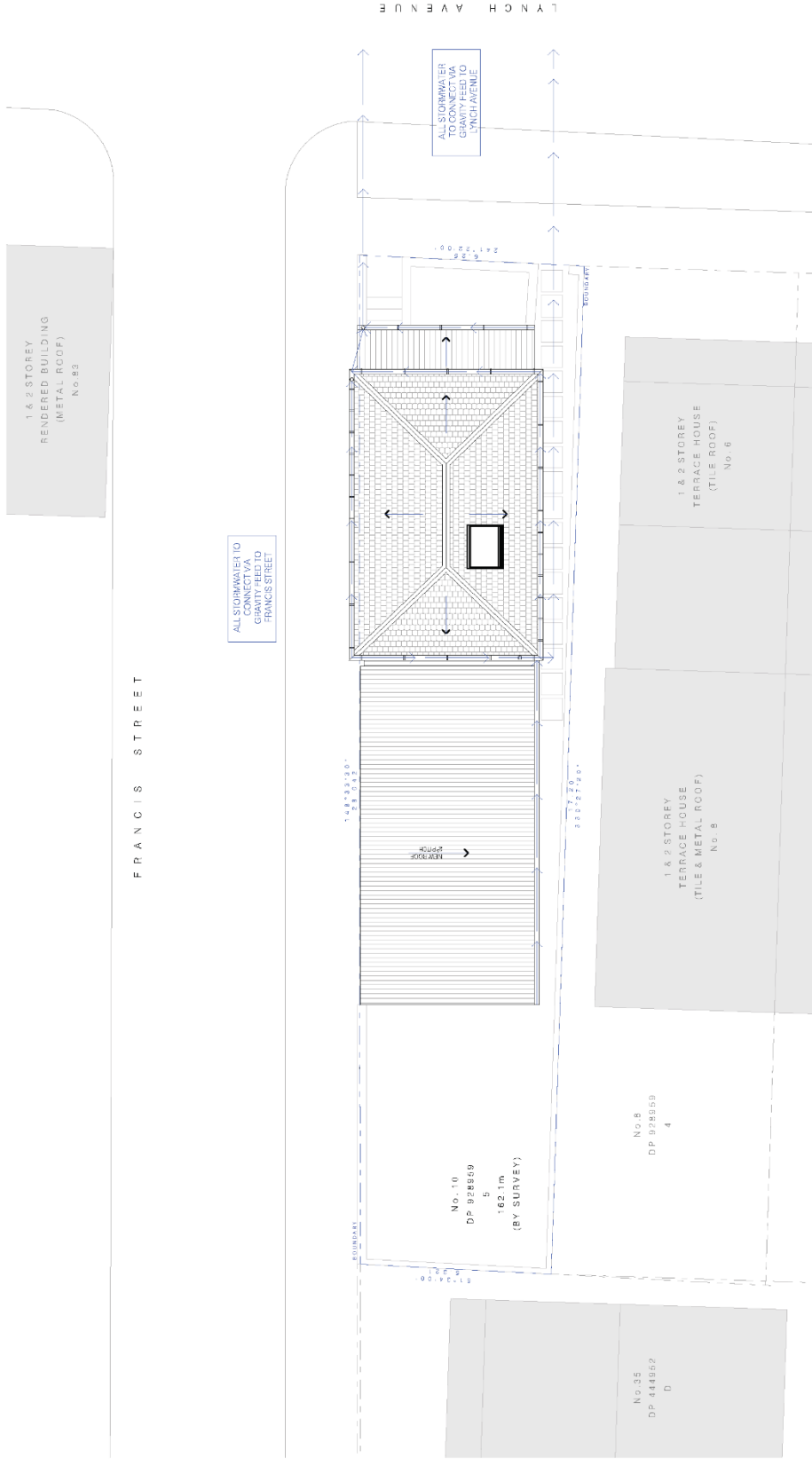
EXISTING BUILDING FABRIC	CONCRETE
PROPOSED BUILDING FABRIC	METAL
BUILDING FABRIC TO BE REFINISHED	GLASS
BRICK	PAVING
TIMBER	SLATE
TILES	

NOTES

ORIENTATION

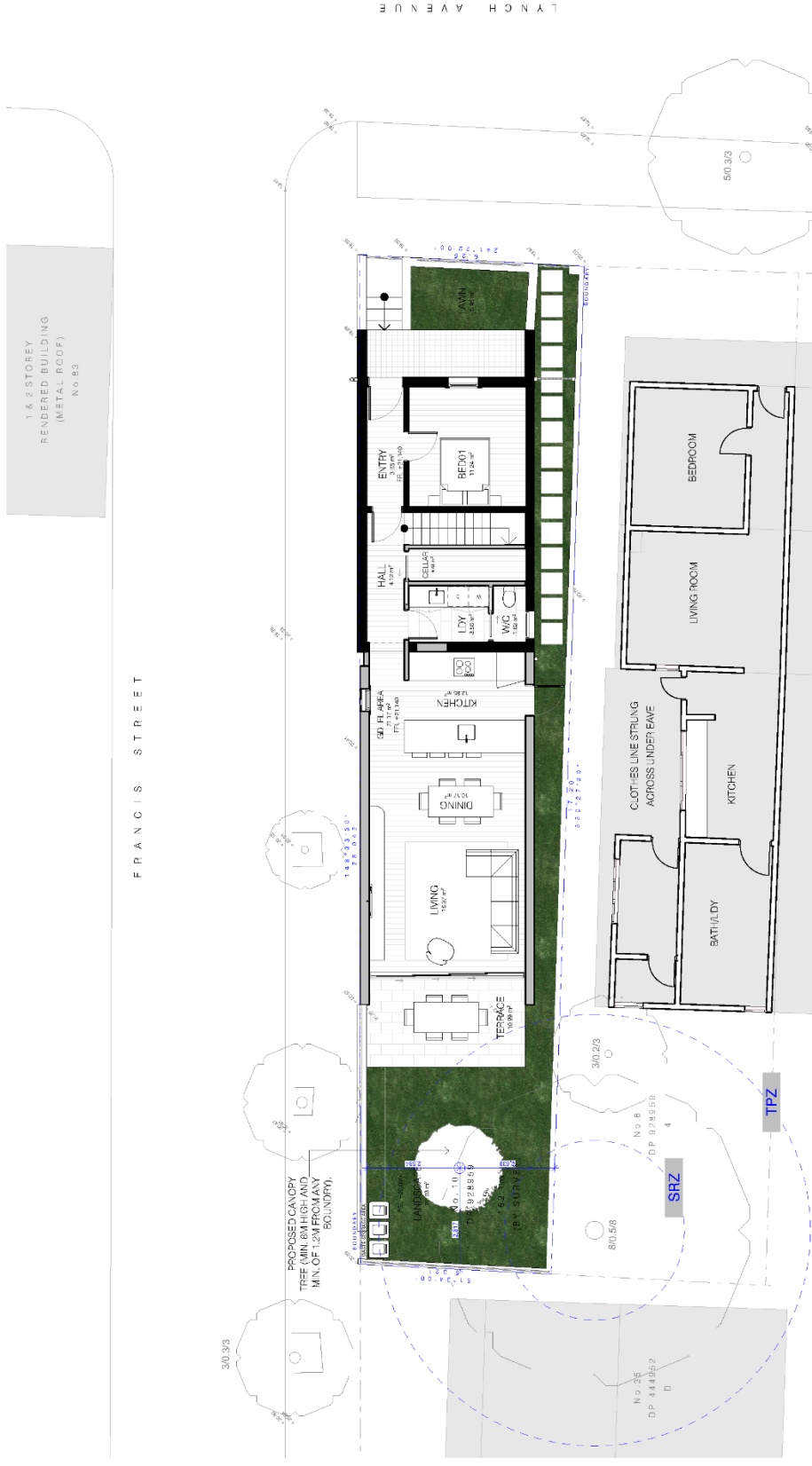
ARCHITECT  
**DA 19**  
PROPOSED SECTION BB  
twarchitects

Site: 36/38 Dining St  
Project: 21/1/22  
m: 0412 494 479  
e: twarchitects@twarchitects.com.au  
w: www.twarchitects.com.au  
ABR: RP 716/9/2-2/3  
Thomas Wills Reg 280



1. CONCEPT STORMWATER PLAN  
1:100

REV A	DATE 11/04/17	AMENDMENT 21/1/20	DEVELOPMENT APPLICATION CONTRIBUTOR APPLICATION
<p>PROPOSED STORMWATER EXISTING DWELLING STORMWATER - REMAINS AS EXISTING</p> <p>ADDITIONAL INFLOW AREA - 1.86SQM</p> <p>EXISTING PAVED AREA 64.45sqm</p> <p>EXISTING PAVED AREA 64.45sqm</p> <p>GDD NOT NOTIFIED</p>			
<p>CLIENT NAME PENGACORP</p> <p>PROJECT ADDRESS 10 LYNDAL LANE/CHL RD/12042</p> <p>SCALE 1:100 @ A3</p>			
<p>ARCHITECT DA20</p> <p>STORMWATER CONCEPT PLAN</p>			
<p>Site 61 (85 Darling St) Lot 10 ID: 50255037 m: 0412 494 579 e: david@twarchitects.com.au w: www.twarchitects.com.au ABR: RP 716/92/243 Thames WAT RES 7850</p>			
twarchitects			



REV	DATE	AMENDMENT	DESCRIPTION	COMPLIANCE
A	11/04/17	21/1/20	DEVELOPMENT APPLICATION	COMPLIANT
			REVISIONS	

LEP CONTROLS - SITE AREA - 692.1m <sup>2</sup>	EXISTING	PROPOSED	COMPLIANCE
CONTROL REQUIREMENT	0.877 (126.3m <sup>2</sup> )	0.861 (123.9m <sup>2</sup> )	COMPLIANT
FSR	50% (346.5m <sup>2</sup> )	56% (387.5m <sup>2</sup> )	COMPLIANT
SITE COVERAGE	8.8% (13.05m <sup>2</sup> )	20% (139.5m <sup>2</sup> )	COMPLIANT
LANDSCAPE	MIN. 15% (24.32m <sup>2</sup> )		COMPLIANT

1. LANDSCAPE PLAN 1:100

CLIENT NAME: DA21  
 PROJECT ADDRESS: 83 FRANCIS STREET, SYDNEY NSW 2042  
 ARCHITECT: twarchitects  
 SCALE: 1:100 @ A3  
 DATE: 12/12/2022

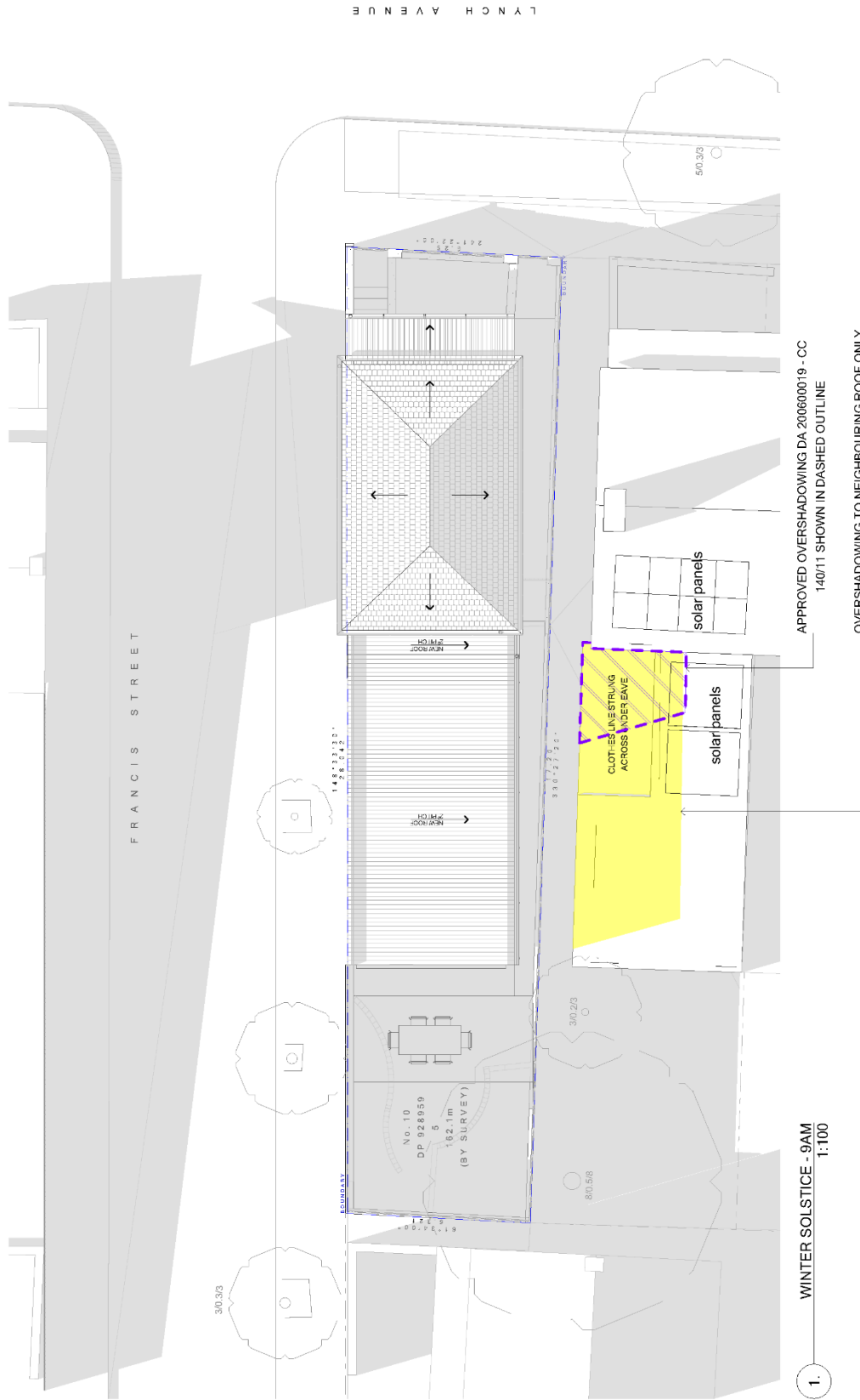
CONCEPT LANDSCAPE PLAN

EXISTING BUILDING FABRIC: CONCRETE, METAL, GLASS, PAINT, SLATE  
 PROPOSED BUILDING FABRIC: CONCRETE, METAL, GLASS, PAINT, SLATE  
 BUILDING FABRIC TO BE REFINISHED: BRICK, TIMBER, TILES

NOTES: ORIENTATION

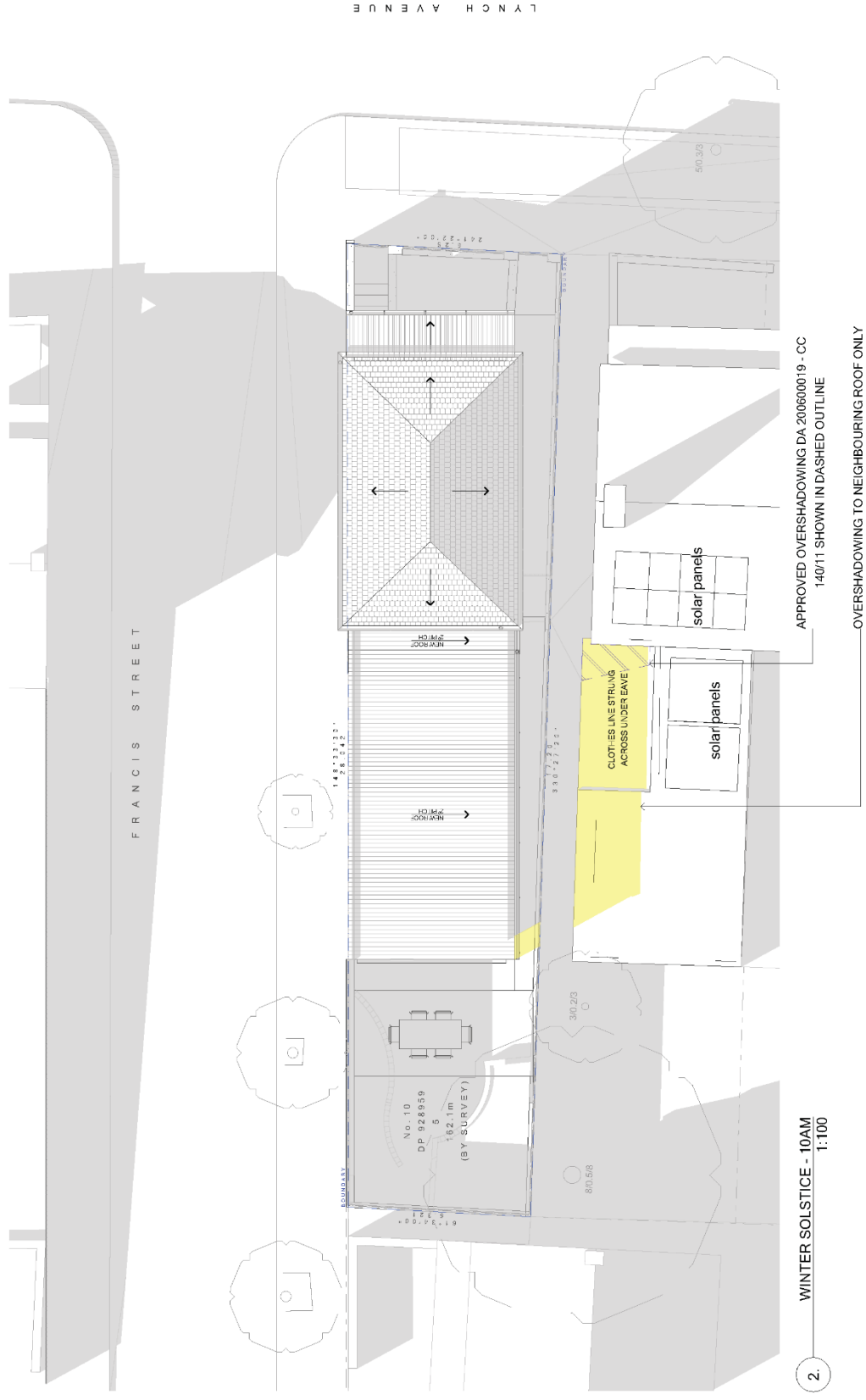
Document Set ID: 3717724  
 Version: 1, Version Date: 12/12/2022





1. WINTER SOLSTICE - 9AM  
1:100

<p>Shop 5/182, Darling St                  Level 1                  Sydney NSW 1585                  t 02 9555 0177                  f 02 9555 0178                  e www.nwarchitects.com.au                  A.B.N. 88 716 932 258                  Thomas Walks REC 7890  <b>nwarchitects</b></p>										
<p>ARCHITECT</p>										
<p>DA 22                  DA 21ST JUNE</p>										
<p>SHADOW DIAGRAM - 9AM 21ST JUNE</p>										
<p>CLIENT NAME                  FRANCIS STREET                  10 LYNCH AVENUE, MORE NSW 2042                  SCALE                  1:100 @ A3</p>										
<p>DETAILS</p>										
<p>EXISTING SHADOW                  PROPOSED ADDITIONAL SHADOW                  APPROVED SHADOW FROM PREVIOUS DA 200600019 CC 140/11</p>										
<p>NOTES</p>										
<p>ORIENTATION</p>										
<p>REVISIONS</p> <table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>AMENDMENT</th> </tr> <tr> <td>A</td> <td>11/06/17</td> <td>DEVELOPMENT APPLICATION</td> </tr> <tr> <td>A</td> <td>31/12/21</td> <td>DEVELOPMENT APPLICATION</td> </tr> </table>		REV	DATE	AMENDMENT	A	11/06/17	DEVELOPMENT APPLICATION	A	31/12/21	DEVELOPMENT APPLICATION
REV	DATE	AMENDMENT								
A	11/06/17	DEVELOPMENT APPLICATION								
A	31/12/21	DEVELOPMENT APPLICATION								
<p>Document Set ID: 37177224                  Version: 1, Version Date: 12/12/2022</p>										

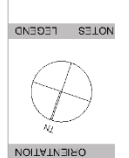


Shop 5/182, Darling St  
 Level 1  
 m 0412 010 578  
 e info@nwarchitects.com.au  
 w www.nwarchitects.com.au  
 A.B.N. 88 716 932 258  
 Thomas Walks REC 7890  
**nwarchitects**

CLIENT NAME  
 FRANCIS STREET  
 10 LYNCH AVENUE, ENMORE NSW 2042  
 SCALE  
 1:100 @ A3

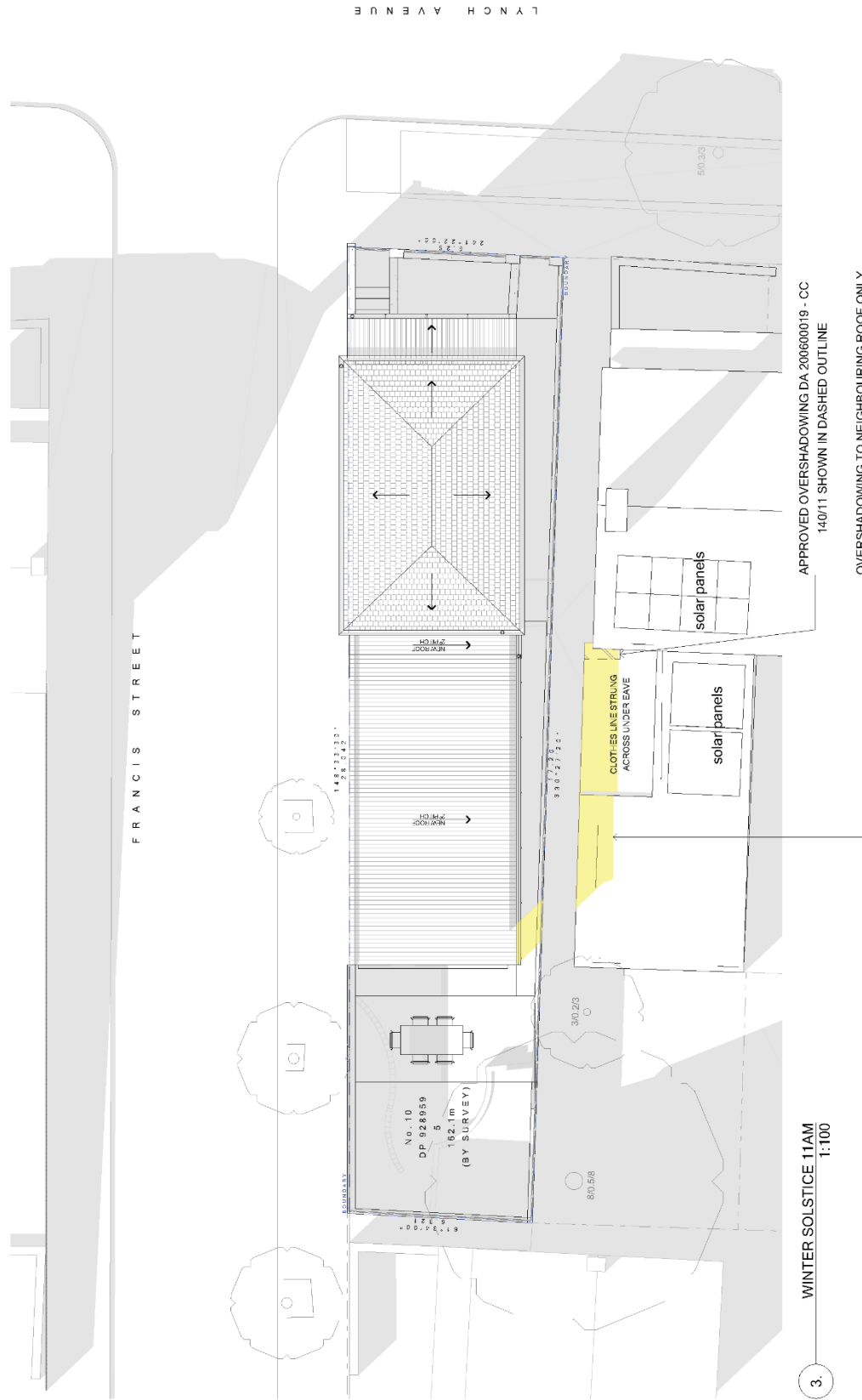
ARCHITECT  
**DA 23**  
 DA 23  
 SHADOW DIAGRAM 10AM 21ST JUNE

EXISTING SHADOW  
 PROPOSED ADDITIONAL SHADOW  
 APPROVED SHADOW FROM PREVIOUS DA 200600019 - CC 140/11



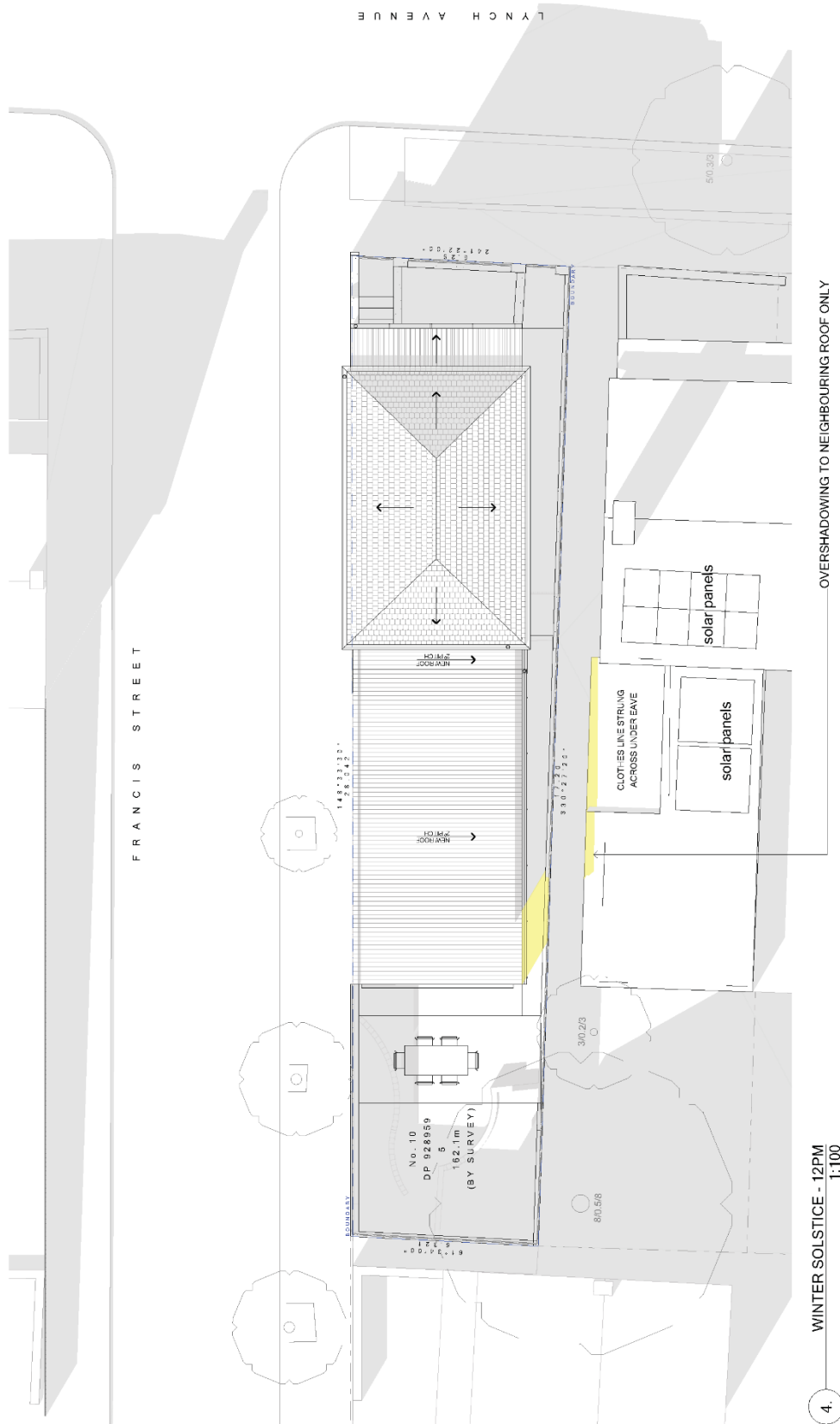
REV	DATE	AMENDMENT
A	11/06/17	DEVELOPMENT APPLICATION
A	31/12/21	DEVELOPMENT APPLICATION

AMENDMENTS



3. WINTER SOLSTICE 11AM  
1:100

<p>REV DATE AMENDMENT</p> <p>A 11/06/17 DEVELOPMENT APPLICATION</p> <p>A 31/12/21 DEVELOPMENT APPLICATION</p>		<p>EXISTING SHADOW</p> <p>PROPOSED ADDITIONAL SHADOW</p> <p>APPROVED SHADOW FROM PREVIOUS DA 200600019 CC 40/11</p>		<p>CLIENT NAME</p> <p>PROJECT ADDRESS</p> <p>10 LYNCH AVENUE ENMORE NSW 2042</p> <p>SCALE</p> <p>1:100 @ A3</p>		<p>ARCHITECT</p> <p>DA 24</p> <p>DA 2021</p> <p>SHADOW DIAGRAM - 11AM 21ST JUNE</p>		<p>Shop 5/182 Darling St Enmore NSW 2042 t 02 95554077 m 0412 204 278 e info@nwarchitects.com.au w www.nwarchitects.com.au ABN 88 716 932 248 Thomas Walks REC 7890</p> <p>nwarchitects</p>	
<p>AMENDMENTS</p>		<p>NOTES</p> <p>LEGEND</p>		<p>ORIENTATION</p>		<p>DETAILS</p>		<p>ARCHITECT</p>	



4. WINTER SOLSTICE - 12PM  
1:100

OVERSHADOWING TO NEIGHBOURING ROOF ONLY

REV	DATE	AMENDMENT	DESCRIPTION
A.	11/04/17	DEVELOPMENT APPLICATION	
A.	31/12/21	DEVELOPMENT APPLICATION	

Document Set ID: 37177224  
Version: 1, Version Date: 12/12/2022

EXISTING SHADOW  
PROPOSED ADDITIONAL SHADOW  
APPROVED SHADOW FROM PREVIOUS DA 200600319 OC 40/11

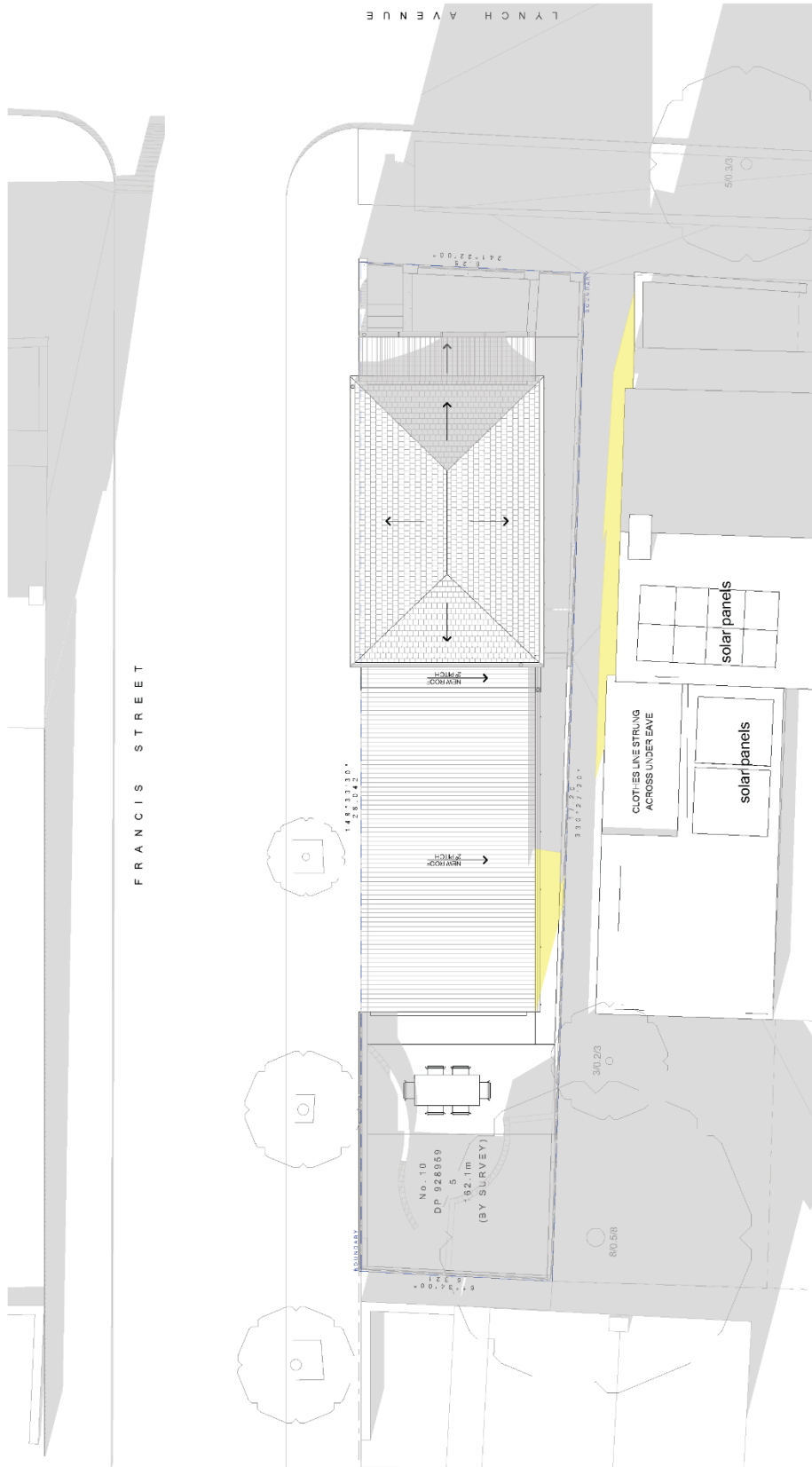
NOTES  
LEGEND  
ORIENTATION

CLIENT NAME  
KFC/INDOOR  
ADDRESS  
10 LYNCH AVENUE/ENMORE NSW 2042  
SCALE  
1:100 @ A3

ARCHITECT  
DA 25  
21ST JUNE

SHADOW DIAGRAM - 12PM 21ST JUNE

Shop 5/182 Darling St  
Enmore NSW 2042  
t 02 95554877  
m 0412 014 578  
e info@nwarchitects.com.au  
w www.nwarchitects.com.au  
ABN: 88 716 932 258  
Thames Walk REC 7890  
nwarchitects



5. WINTER SOLSTICE - 1PM  
1:100

REV	DATE	AMENDMENT	DESCRIPTION
A.	11/04/17	DEVELOPMENT APPLICATION	3/1/21 DEVELOPMENT APPLICATION

AMENDMENTS

Document Set ID: 37177224  
Version: 1, Version Date: 12/12/2022

EXISTING SHADOW  
PROPOSED ADDITIONAL SHADOW  
APPROVED SHADOW FROM PREVIOUS DA 200800319 OC 40/11

NOTES  
LEGEND

ORIENTATION

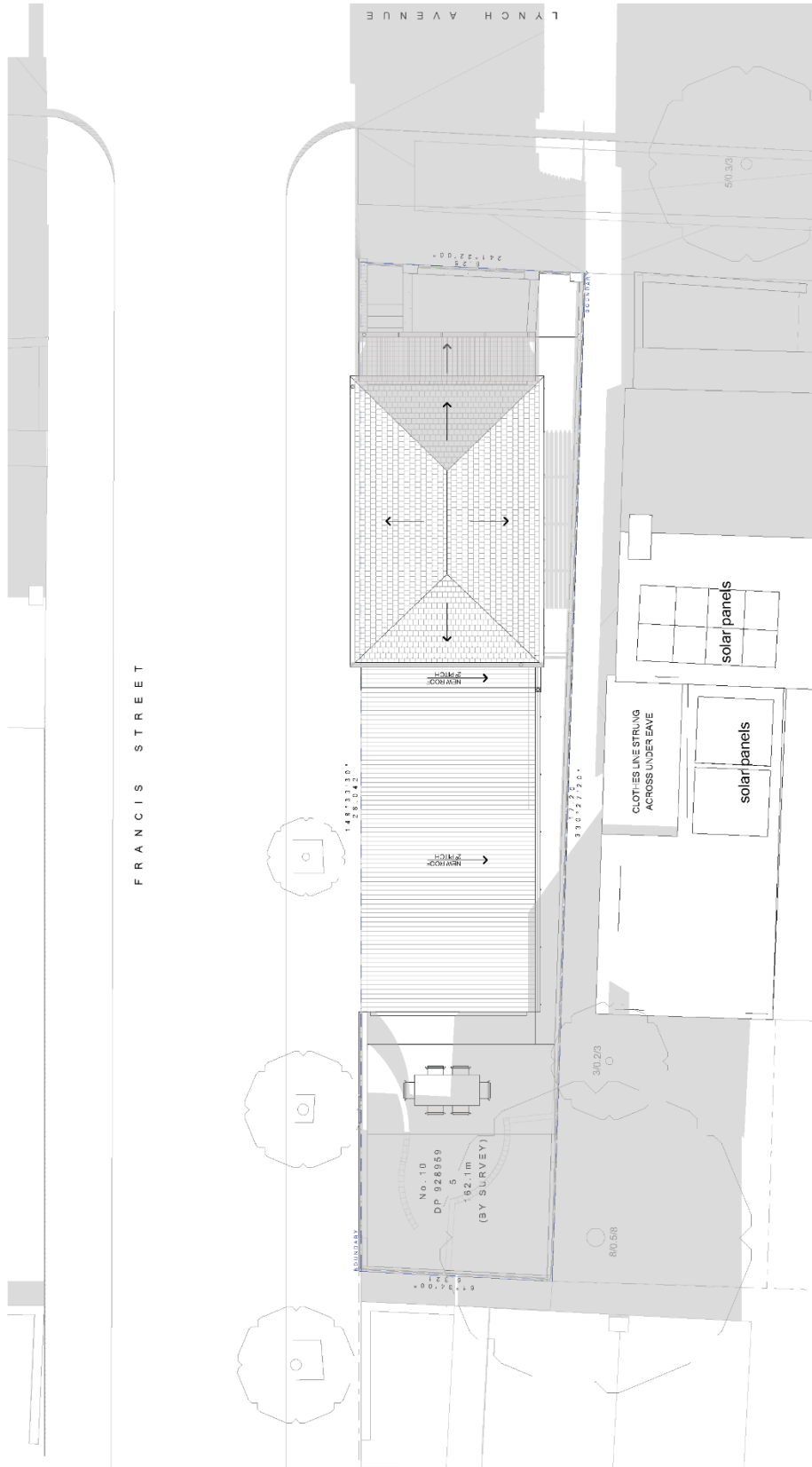
DETAILS

CLIENT NAME  
KFC AND/OR ADDRESS  
10 LENCH AVENUE MORE NSW 2042  
SCALE  
1:100 @ A3

ARCHITECT

DA 26  
DA 26  
SHADOW DIAGRAM - 1PM 21ST JUNE

Shop 5/182, Darling St  
Level 1  
P O BOX 925508/87  
M 0412 204 278  
F 02 9255 0877  
W www.twarchitects.com.au  
ABN 55 716 932 258  
Thames Valley REC 7890  
twarchitects



REV	DATE	AMENDMENT	DESCRIPTION
A	11/06/17	31721	DEVELOPMENT APPLICATION
A	3/1/22	31721	DEVELOPMENT APPLICATION

AMENDMENTS

Document Set ID: 37177224  
Version: 1, Version Date: 12/12/2022

EXISTING SHADOW  
PROPOSED ADDITIONAL SHADOW  
APPROVED SHADOW FROM PREVIOUS DA 200800319 OC 40/11

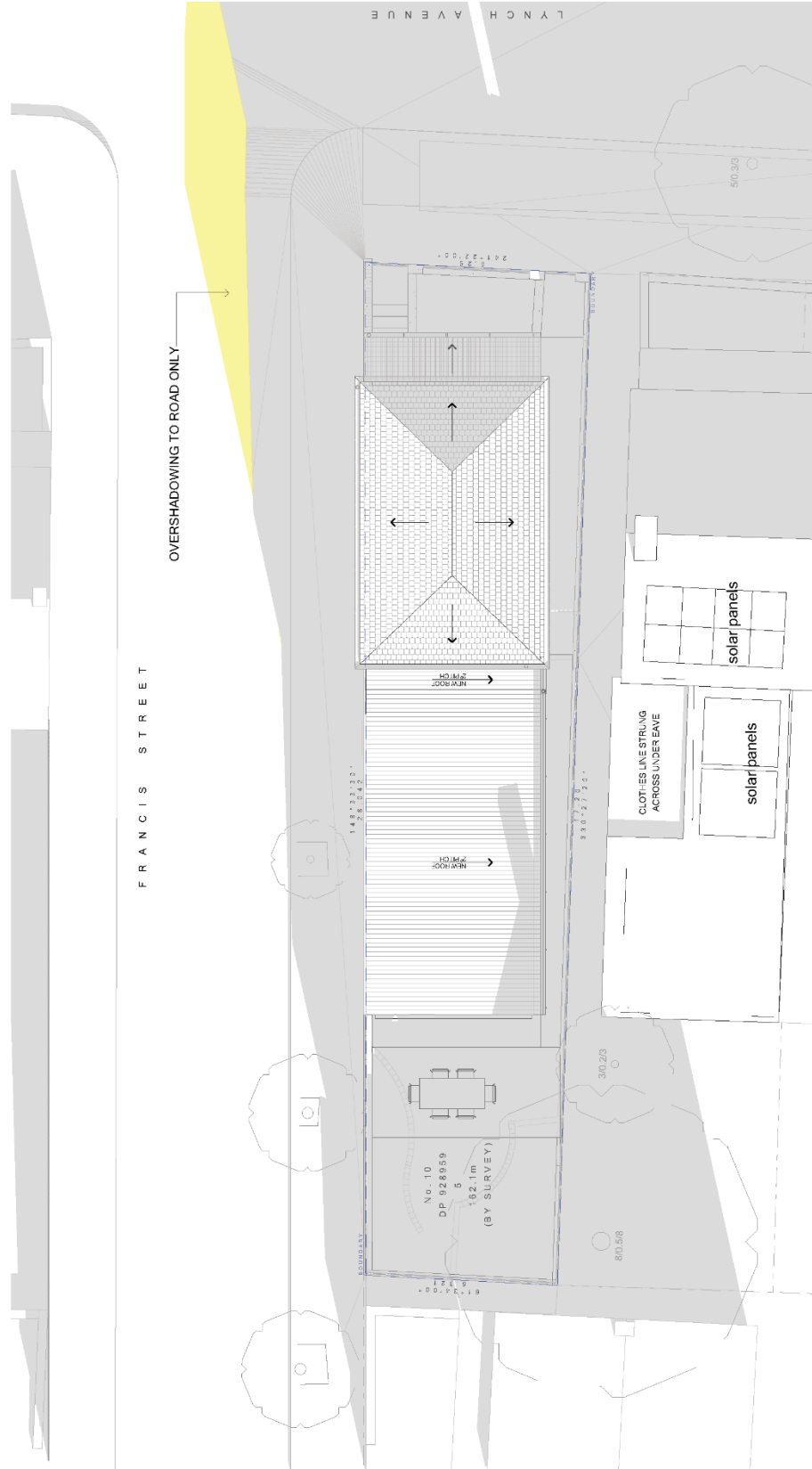
NOTES  
LEGEND

ORIENTATION

CLIENT NAME  
KING AND CO  
PROJECT ADDRESS  
10 LYNCH AVENUE ENMORE NSW 2042  
SCALE  
1:100 @ A3

ARCHITECT  
DA 27  
SHADOW DIAGRAM - 2PM 21ST JUNE

Shop 5/182 Darling St  
Enmore NSW 2042  
t 02 95554877  
m 0412 204 578  
e info@nwarchitects.com.au  
w www.nwarchitects.com.au  
ABN: 88 716 932 258  
Thames Walks REC 7890  
nwarchitects

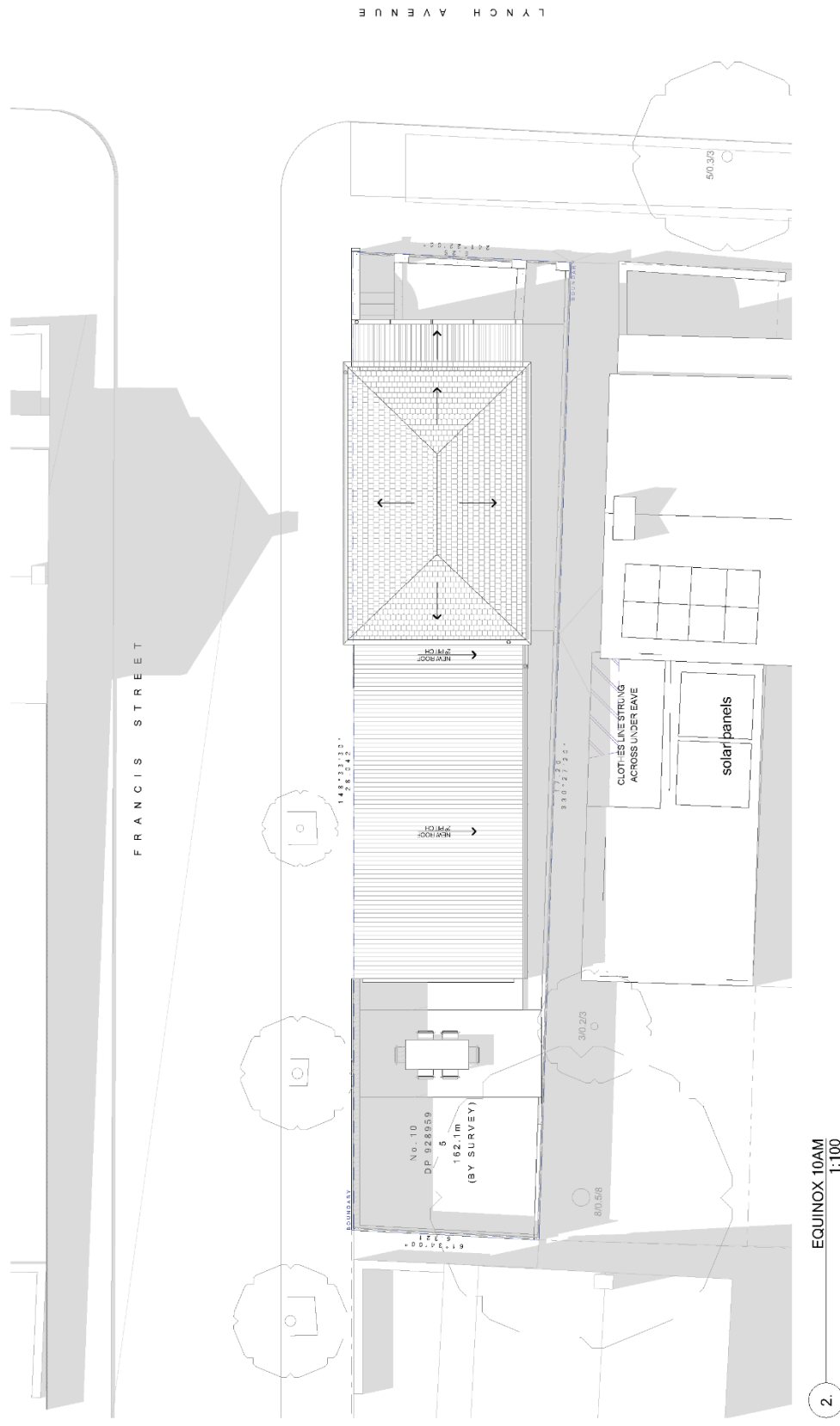


7. WINTER SOLSTICE - 3PM  
1:100

<p>REV DATE AMENDMENT</p> <p>A 11/04/17 DEVELOPMENT APPLICATION</p> <p>A 31/12/21 DEVELOPMENT APPLICATION</p>		<p>EXISTING SHADOW</p> <p>PROPOSED ADDITIONAL SHADOW</p> <p>APPROVED SHADOW FROM PREVIOUS DA 200600319 DC 40/11</p>		<p>CLIENT NAME</p> <p>KFC/INDOOR</p> <p>PROJECT ADDRESS</p> <p>10 LYNCH AVENUE/ENMORE NSW 2042</p> <p>SCALE</p> <p>1:100 @ A3</p>		<p>ARCHITECT</p> <p>DA 28</p> <p>DA 28</p> <p>SHADOW DIAGRAM - 3PM 21ST JUNE</p>		<p>Shop 5/182, Darling St Enmore NSW 2042 Ph: 0412 204 278 www.nwarchitects.com.au ABN: 88 716 932 258 Thames Walks REC 7850</p> <p>nwarchitects</p>	
<p>AMENDMENTS</p>		<p>NOTES</p> <p>LEGEND</p> <p>ORIENTATION</p>		<p>DETAILS</p>		<p>ARCHITECT</p>		<p>nwarchitects</p>	







REV	DATE	AMENDMENT	DESCRIPTION
A	11/04/17	31721	DEVELOPMENT APPLICATION
A	31/21	31721	DEVELOPMENT APPLICATION

AMENDMENTS

Document Set ID: 31717224  
Version: 1, Version Date: 12/12/2022

EXISTING SHADOW  
PROPOSED ADDITIONAL SHADOW  
APPROVED SHADOW FROM PREVIOUS DA 200800319 OC 40/11

NOTES  
LEGEND

ORIENTATION

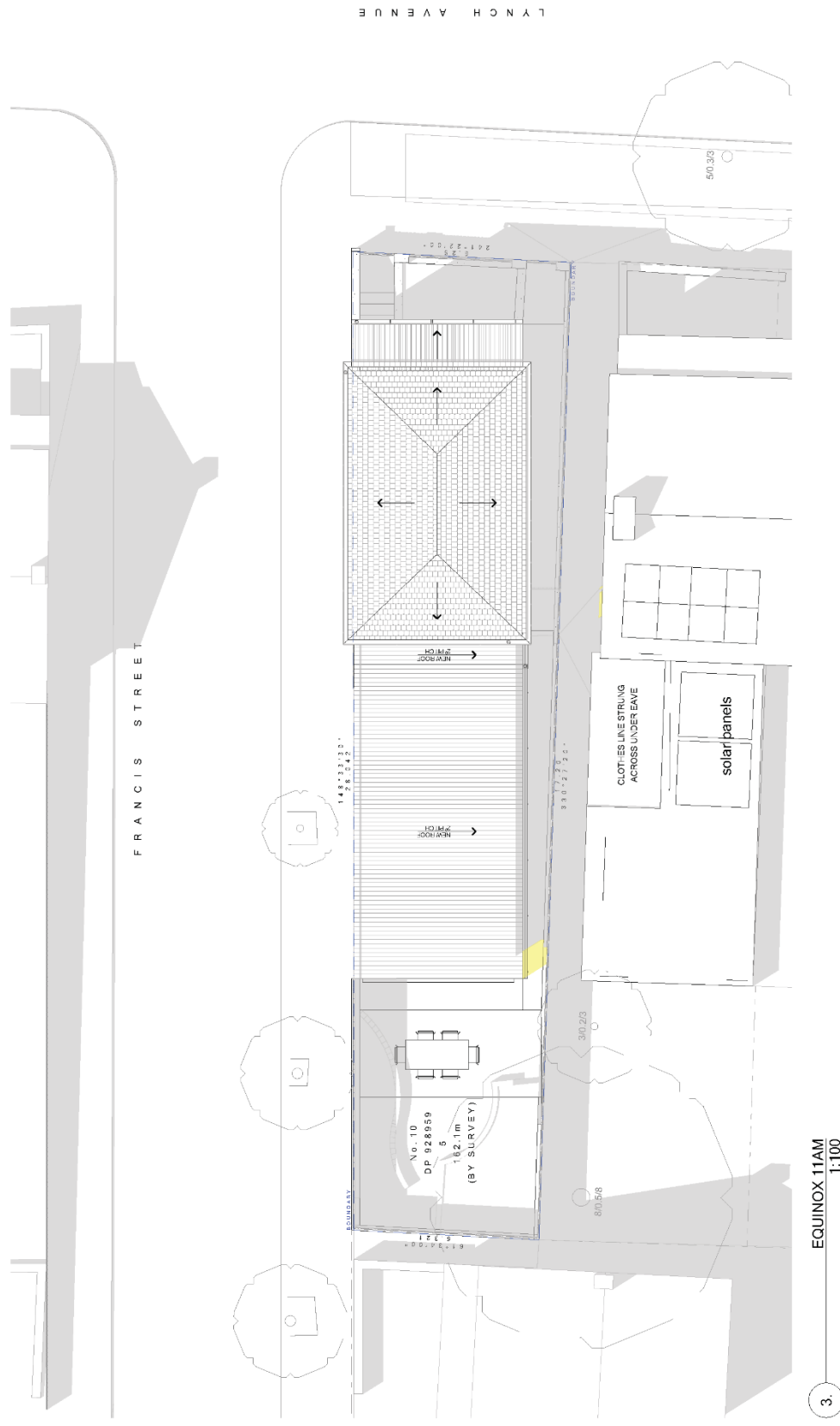
CLIENT NAME  
KINGWOOD ADDRESS  
10 LYNCH AVENUE ENMORE NSW 2042  
SCALE  
1:100 @ A3

ARCHITECT

DA 30  
DA 30

SHADOW DIAGRAM - 10AM 21ST MARCH

nwarchitects  
Shop 6/182 Darling St  
Enmore NSW 2042  
t 02 95550877  
m 0412 014 578  
e david@nwarchitects.com.au  
w www.nwarchitects.com.au  
ABN 88 716 932 248  
Thames Valley REC 7890



REV	DATE	AMENDMENT	DESCRIPTION
A.	11/06/17	31721	DEVELOPMENT APPLICATION
A.	31/12/17	31722	DEVELOPMENT APPLICATION

Document Set ID: 31717224  
Version: 1, Version Date: 12/12/2022

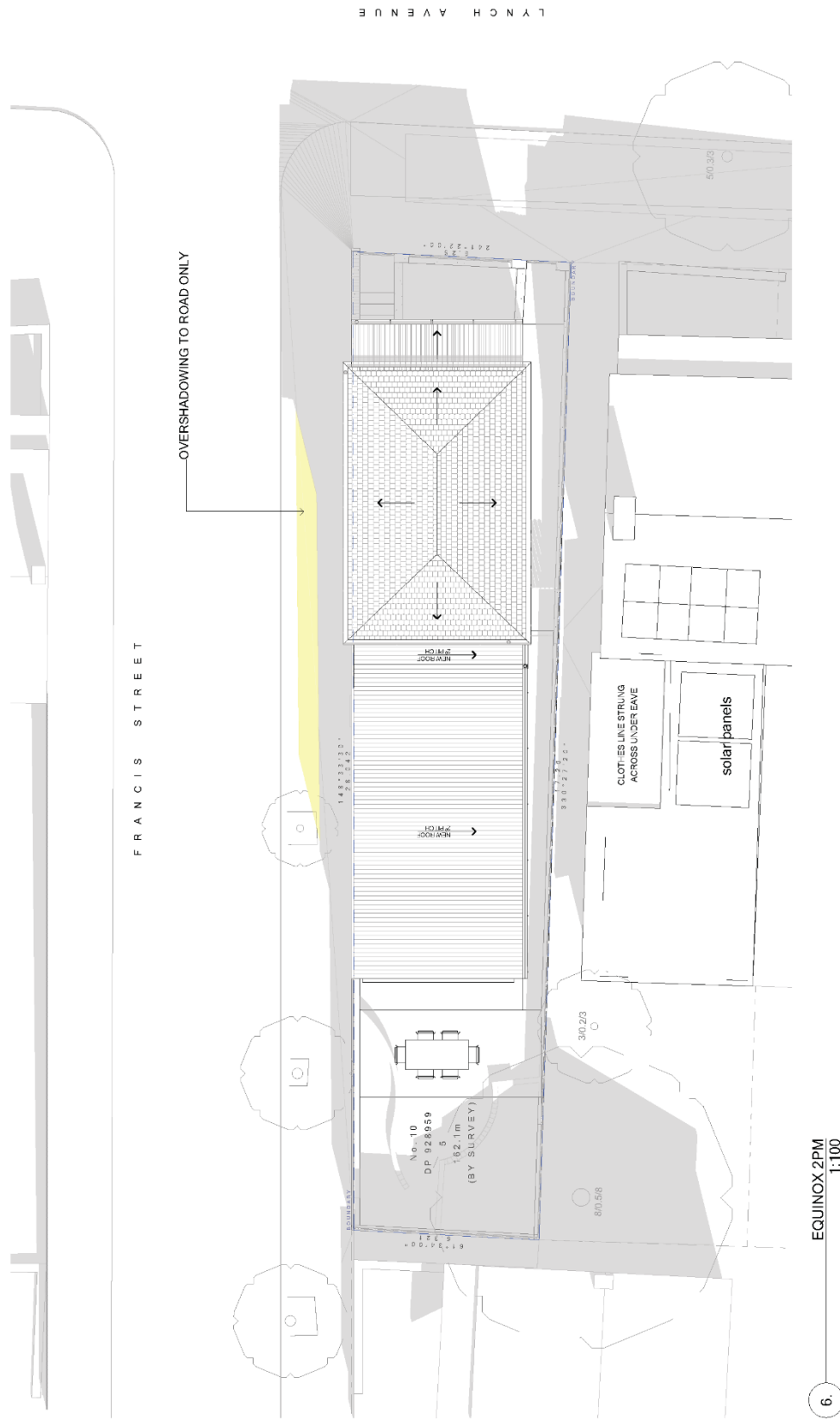
CLIENT NAME  
KINGWOOD ADDRESS  
10 LYNCH AVENUE, KINGWOOD NSW 2042  
SCALE  
1:100 @ A3

ARCHITECT  
nwarchitects  
Shop 6/182, Darling St  
KINGWOOD NSW 2042  
P 02 95554937  
M 0412 204 578  
WWW.NWARCHITECTS.COM.AU  
ABN 88 716 932 248  
THURMAN WILKS REC 7850

SHADOW DIAGRAM - 11AM 21ST MARCH  
DA 31







6. EQUINOX 2PM  
1:100

REV	DATE	AMENDMENT	DESCRIPTION
A.	11/04/17	31721	DEVELOPMENT APPLICATION
A.	31/12/21	31722	DEVELOPMENT APPLICATION

Document Set ID: 31717224  
Version: 1, Version Date: 12/12/2022

EXISTING SHADOW  
PROPOSED ADDITIONAL SHADOW  
APPROVED SHADOW FROM PREVIOUS DA 200800319 OC 40/11

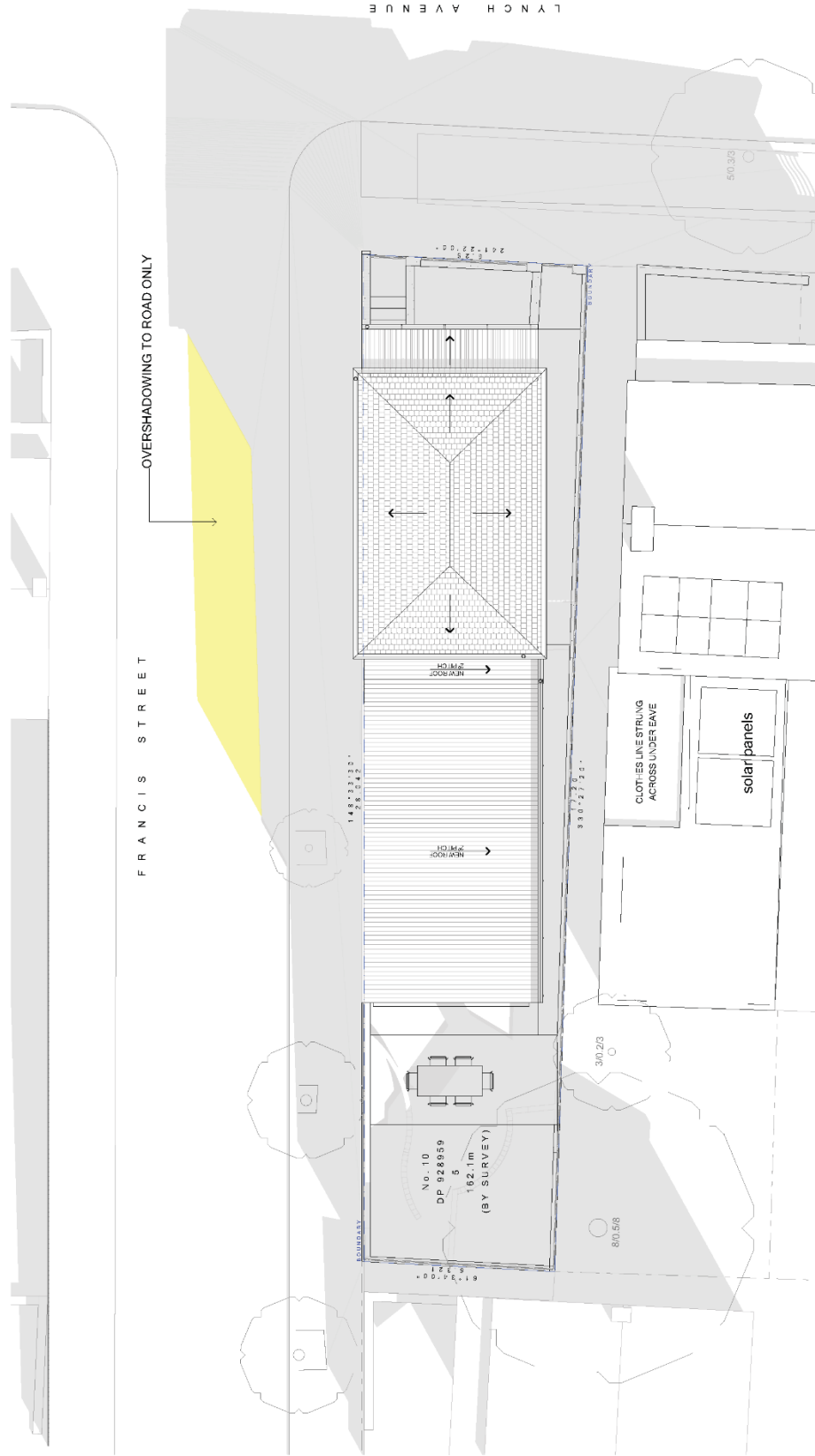
CLIENT NAME  
PROJECT ADDRESS  
SCALE  
1:100 @ A3

ARCHITECT  
Shop 5/182 Darling St  
Level 1  
PO BOX 925508/17  
M 0412 204 278  
E info@nwarchitects.com.au  
W www.nwarchitects.com.au  
ABN 88 716 932 248  
Thames Walk REC 7890

DA 34  
SHADOW DIAGRAM - 2PM 21ST MARCH

NOTES  
LEGEND  
ORIENTATION

nwarchitects



7. EQUINOX 3PM  
1:100

REV	DATE	AMENDMENT	DESCRIPTION
A.	11/04/17	31721	DEVELOPMENT APPLICATION
A.	31/12/21	31722	DEVELOPMENT APPLICATION

AMENDMENTS

Document Set ID: 31717224  
Version: 1, Version Date: 12/12/2022

EXISTING SHADOW  
PROPOSED ADDITIONAL SHADOW  
APPROVED SHADOW FROM PREVIOUS DA 200800319 OC 40/11

LEGEND

ORIENTATION

NOTES

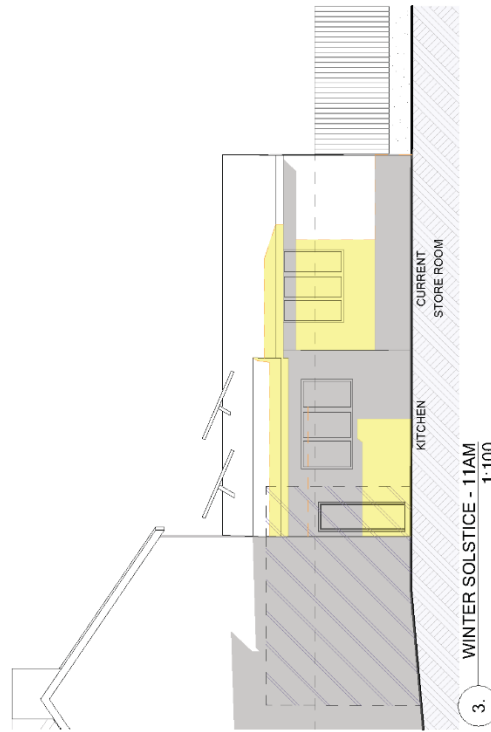
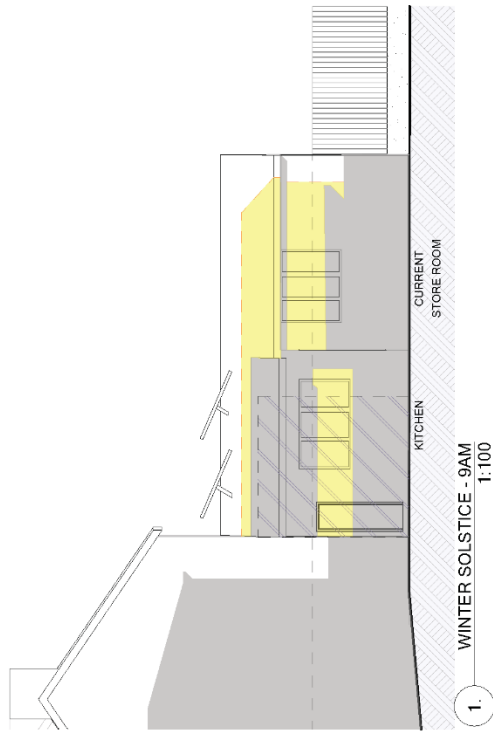
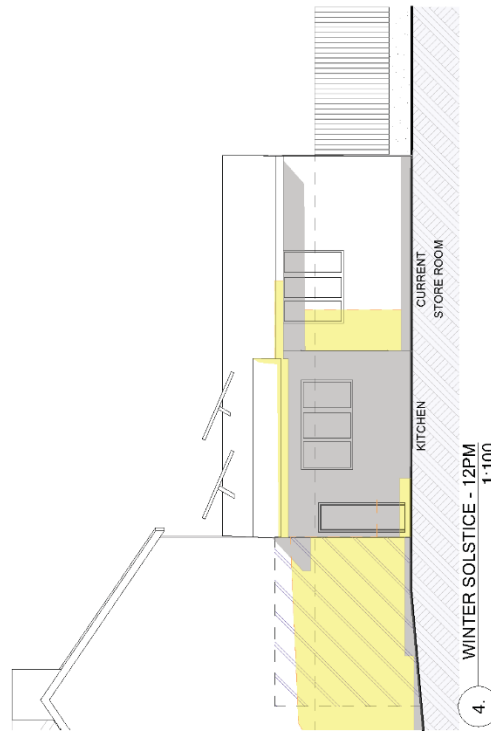
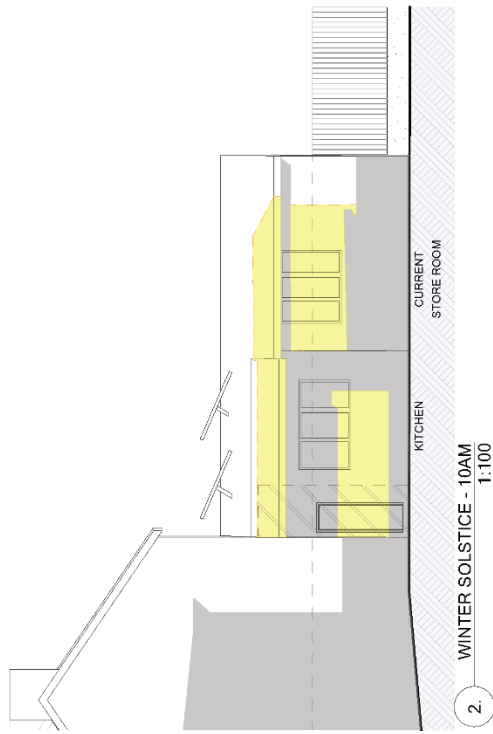
CLIENT NAME  
KFC BUILDING  
PROPOSED ADDRESS  
10 LYNCH AVENUE ENMORE NSW 2042  
SCALE  
1:100 @ A3

ARCHITECT

Shop 5/182 Darling St  
Enmore NSW 2042  
Ph: 95550877  
M: 04124042578  
www.nwarchitects.com.au  
ABN: 88 716 932 258  
Thomas Walks REC 7890

nwarchitects

DA 35  
DA 35  
SHADOW DIAGRAM - 3PM 21ST MARCH



**AMENDMENTS**

REV	DATE	AMENDMENT
A	11/04/17	DEVELOPMENT APPLICATION
A	31/12/21	DEVELOPMENT APPLICATION

Document Set ID: 37177224  
Version: 1, Version Date: 12/12/2022

**ORIENTATION**

**NOTES**

LEGEND

- PASTING SHADOW
- PROPOSED ADDITIONAL SHADOW
- APPROVED SHADOW FROM PREVIOUS DA 200802019 - DC 40/11

**DETAILS**

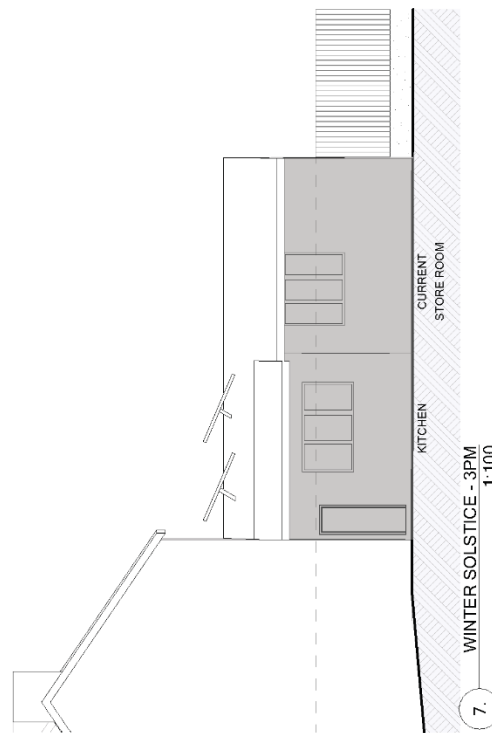
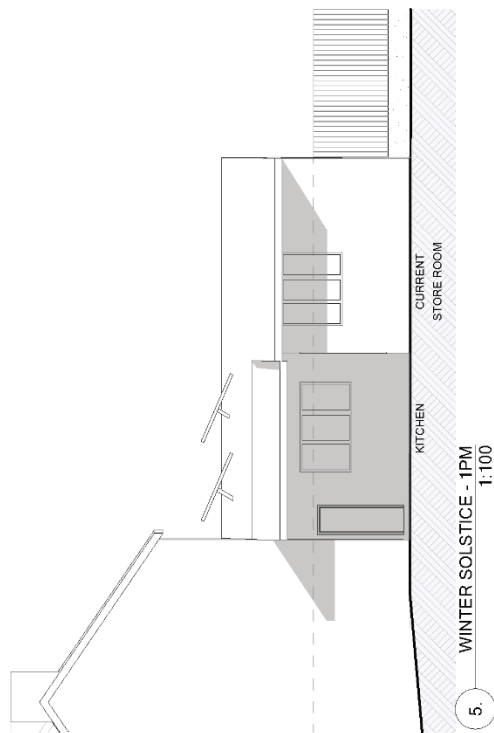
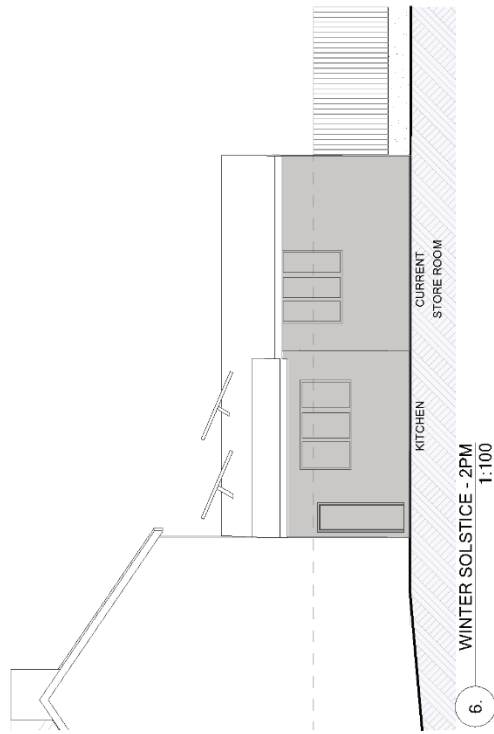
CLIENT NAME  
KFC/INDOOR  
PROPOSED ADDRESS  
10 LYNCH AVE/ENMORE NSW 2042  
SCALE  
1:100 @ A3

**ARCHITECT**

**DA 36**

**ELEVATIONAL SHADOW 21ST JUNE**

Shop 5/182 Darling St  
Enmore NSW 2042  
t 02 95550877  
m 0412 204 578  
e info@nwarchitects.com.au  
w www.nwarchitects.com.au  
ABN: 88 716 932 248  
Thames Walk REC 7850  
**nwarchitects**



**AMENDMENTS**

REV	DATE	AMENDMENT
A	11/04/17	DEVELOPMENT APPLICATION
A	31/12/21	DEVELOPMENT APPLICATION

Document Set ID: 37177224  
Version: 1, Version Date: 12/12/2022

**ORIENTATION**

**NOTES**

**LEGEND**

- EXISTING SHADOW
- PROPOSED ADDITIONAL SHADOW
- APPROVED SHADOW FROM PREVIOUS DA 200802019 - DC 4011

**DETAILS**

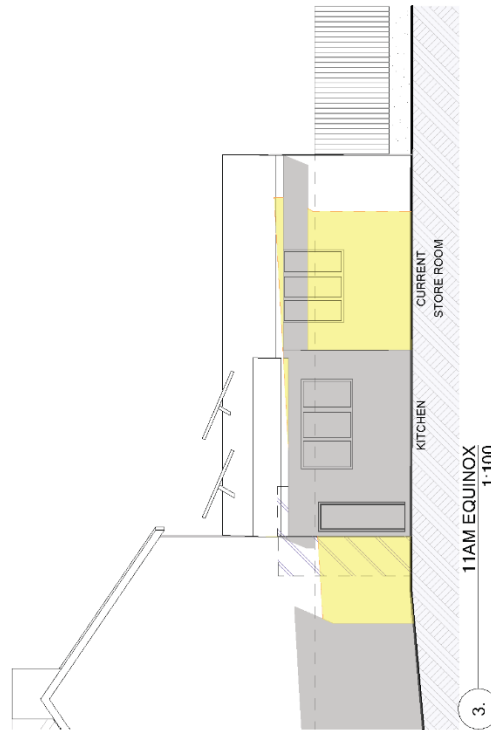
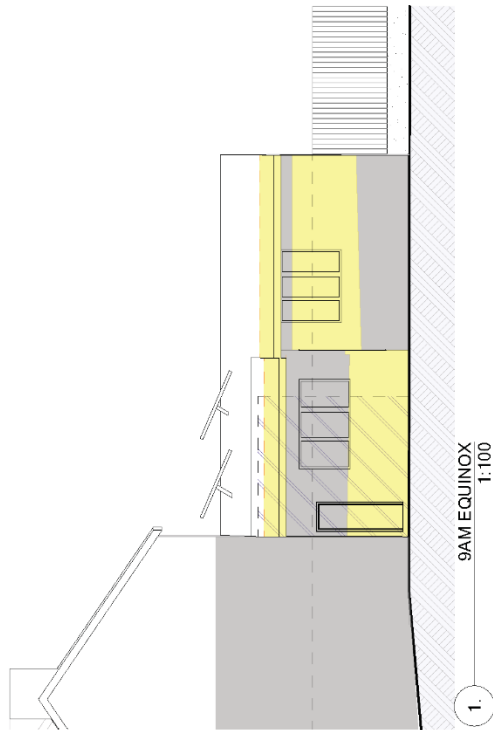
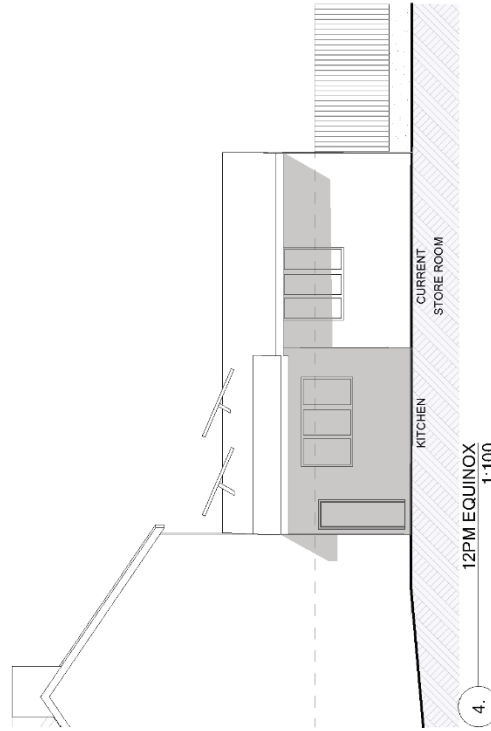
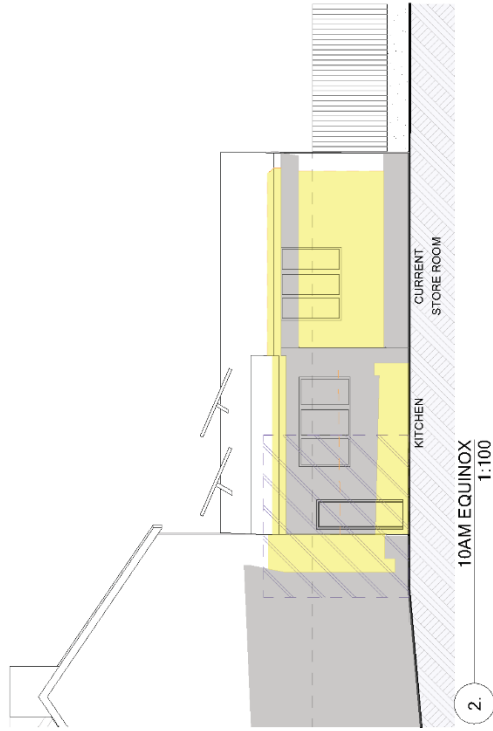
CLIENT NAME  
KITCHENWORK  
PROPOSED ADDRESS  
10 LYNCH AVE ENMORE NSW 2042  
SCALE  
1:100 @ A3

ARCHITECT

DA 37  
ELEVATIONAL SHADOW 21ST JUNE

Shop 5/182 Darling St  
Enmore NSW 2042  
t 02 95550877  
m 0412 204 578  
e info@nwarchitects.com.au  
w www.nwarchitects.com.au  
ABN: 55 716 932 248  
Thomas Walks REC 7890  
nwarchitects





**ARCHITECT**

**DA 38**

**ELEVATIONAL SHADOW - 21ST MARCH**

Shop 5/182 Darling St  
 Level 1  
 PO Box 95550817  
 M 0412 204 578  
 F 02 9555 0817  
 W www.nwarchitects.com.au  
 ABN 55 716 932 248  
 Thornesville VIC 3076

CLIENT NAME  
 PROJECT ADDRESS  
 SCALE

10 LYNCH AVE DENMORE NSW 2042  
 1:100 @ A3

EXISTING SHADOW  
 PROPOSED ADDITIONAL SHADOW  
 APPROVED SHADOW FROM PREVIOUS DA 200800319 DC 4011

NOTES  
 LEGEND

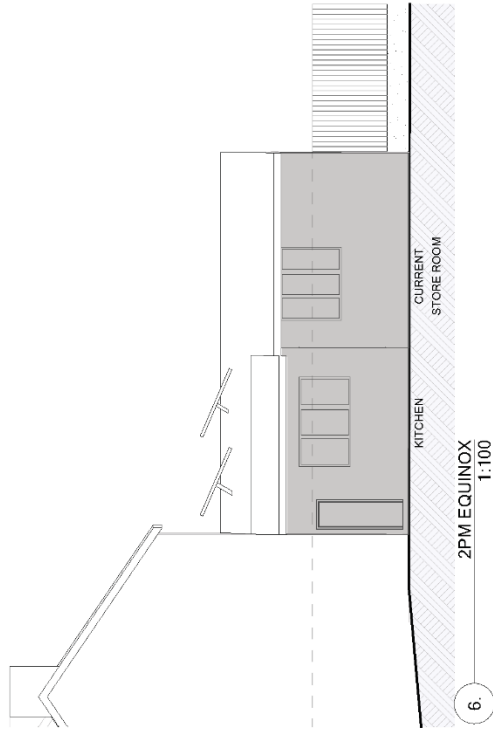
ORIENTATION

REVISIONS

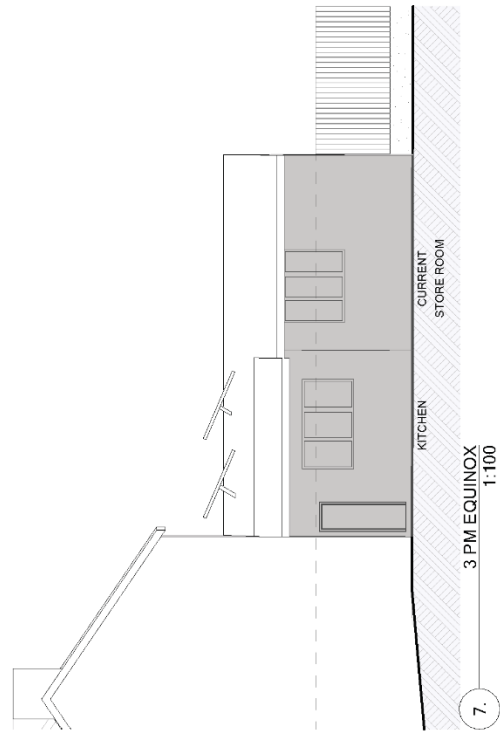
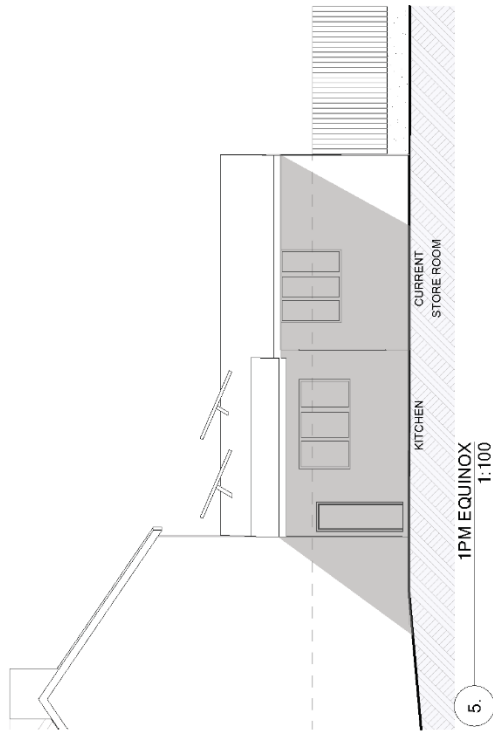
REV	DATE	AMENDMENT	APPLICATION
A	11/04/17	DEVELOPMENT APPLICATION	31724
A	3/17/21	DEVELOPMENT APPLICATION	

Document Set ID: 37177224  
 Version: 1, Version Date: 12/12/2022

**nwarchitects**



NO ADDITIONAL SHADOW IMPACT FROM 1PM-3PM

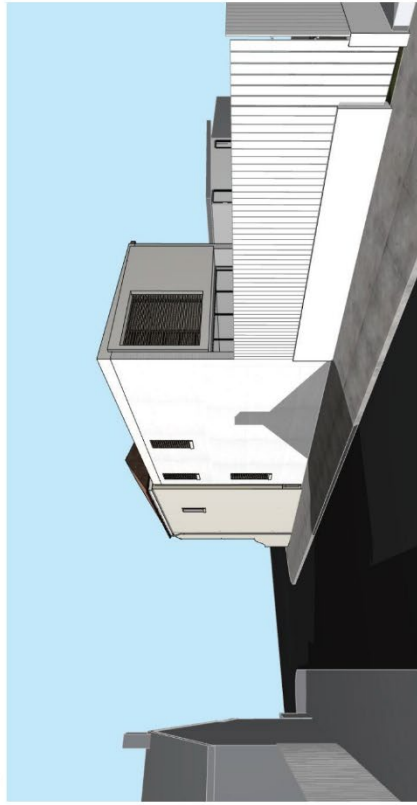


<p>Shop 5/182 Darling St                  1 m 02 95550877                  0412 204 578                  www.tnearchitects.com.au                  ABN 55 716 932 258                  Thornesville VIC 3080</p>		<p>ARCHITECT</p>	
<p>CLIENT NAME                  PACIFICORP                  PROPOSED ADDRESS                  10 LYNCH AVE ENMORE NSW 2042</p>		<p>DA 39                  DA 39                  ELEVATIONAL SHADOW 21ST MARCH</p>	
<p>SCALE                  1:100 @ A3</p>		<p>DETAILS</p>	
<p>EXISTING SHADOW                  PROPOSED ADDITIONAL SHADOW                  APPROVED SHADOW FROM PREVIOUS DA 200802019 OC 40/1</p>		<p>NOTES                  LEGEND</p>	
<p>REV DATE AMENDMENT APPLICATION                  A 11/04/17 DEVELOPMENT APPLICATION                  A 31/12/21 DEVELOPMENT APPLICATION</p>		<p>ORIENTATION</p>	
<p>AMENDMENTS</p>		<p>Document Set ID: 37177224                  Version: 1, Version Date: 12/12/2022</p>	





02. PROPOSED FRONT VIEW



02. PROPOSED REAR VIEW



01. EXISTING FRONT VIEW



01. EXISTING REAR VIEW

<b>REVISIONS</b> REV: A DATE: 11/04/22 AMENDMENT: DEVELOPMENT APPLICATION DEVELOPMENT APPLICATION		<b>ORIENTATION</b> 		<b>LEGEND</b> EXISTING BUILDING FABRIC: [Grey swatch] PROPOSED BUILDING FABRIC: [White swatch] BUILDING FABRIC TO BE DEMOLISHED: [Red swatch] BRICK: [Red swatch] TIMBER: [Yellow swatch] TILES: [Blue swatch]		<b>DETAILS</b> CONCRETE: [Grey swatch] METAL: [Blue swatch] GLASS: [Green swatch] PAINTED: [White swatch] SLATE: [Blue swatch]		<b>CLIENT NAME</b> KING ROBERT 10 LYNCH AVE ENMORE NSW 2042		<b>ARCHITECT</b> DA 41 3D VIEWS iwarchitects	
<b>AMENDMENTS</b> DATE: 11/04/22 AMENDMENT: DEVELOPMENT APPLICATION DEVELOPMENT APPLICATION		<b>NOTES</b> (Empty)		(Empty)		(Empty)		(Empty)		(Empty)	

Shop 6/192 Darling St  
 Enmore NSW 2042  
 t: 02 95588777  
 m: 0412 404 878  
 e: info@iwarchitects.com.au  
 w: www.iwarchitects.com.au  
 ABN: 93 718 932 248  
 Lic No: 15037-1960

Document Set ID: 3717224  
 Version: 1, Version Date: 12/12/2022

