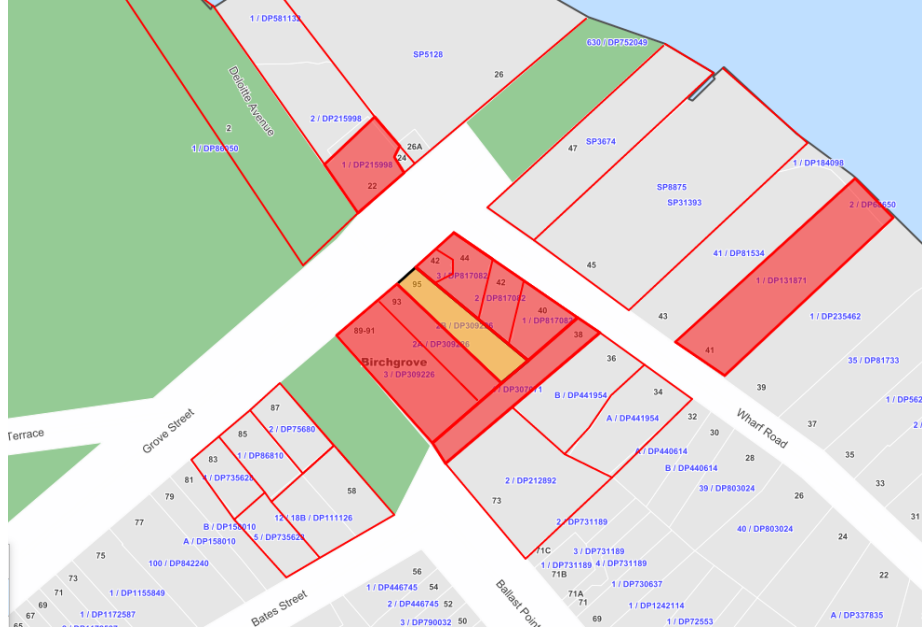




	
DEVELOPMENT ASSESSMENT REPORT	
<b>Application No.</b>	MOD/2021/0238
<b>Address</b>	95 Grove Street BIRCHGROVE NSW 2041
<b>Proposal</b>	Modification to approved alterations and additions, including changes to fenestration, materials, landscaping, internal modifications, skylight, & condition of consent 7(l)
<b>Date of Lodgement</b>	1 July 2021
<b>Applicant</b>	Edward Sarafian
<b>Owner</b>	Mrs Maureen M Qureshi Mr Christopher M Qureshi
<b>Number of Submissions</b>	20
<b>Value of works</b>	\$827,550.00 (Original Cost of Works)
<b>Reason for determination at Planning Panel</b>	Number of submissions to modification application exceeds 10 Modify Panel imposed condition
<b>Main Issues</b>	Condition 7(l)
<b>Recommendation</b>	Approval with Conditions
<b>Attachment A</b>	Recommended conditions of consent
<b>Attachment B</b>	Plans of proposed development
<b>Attachment C</b>	Consent as modified under MOD/2020/0293
<b>Attachment D</b>	Approved Plans of MOD/2020/0293
	
LOCALITY MAP	
Subject Site	
Notified Area	
Objectors	
Supporters	
Note: Due to scale of map, not all objectors could be shown.	

## 1. Executive Summary

This report is an assessment of the application to modify the approved alterations and additions to the dwelling house, including changes to fenestration, materials, landscaping, internal modifications, new skylight, & condition of consent 7(l).

The application was notified to surrounding properties and 20 submissions were received in response to the notification.

The main issues that have arisen from the application include:

- Certain of the proposed design modifications are not acceptable on heritage grounds.
- Reduction in Landscaped Area.
- Objector concern that the submitted plans do not reflect Condition 7(l) of the consent.
- Objector concern with the approved additions generally (not the subject of the current modification application).

The modifications are generally acceptable given that the amended plans the subject of this report relate to detail changes to the already approved alterations and additions. Subject to conditions deleting certain elements of the proposed modifications the application is recommended for approval.

## 2. Proposal

The proposal includes modifications to the alterations and additions to the dwelling approved under D/2019/252. The modifications include:

- Window changes to kitchen and master bed windows along eastern side elevation (reduced window sizes).
- Internal alterations including minor internal wall addition.
- Replace roofing outside master bed window with new external planter box.
- Enclose front living room with french door access.
- Change living room fireplace to gas (flued) not eco and add gas fireplace to master bedroom.
- Changes to landscaping
- Reinstate side pathway with new levels with stone pavers on pedestals in lieu of timber deck.
- Amendments to rear deck retaining wall following structural engineers advice and consent condition requirement for external surfaces to be 150mm below internal.
- New strip skylight to south-western side of existing main front roof section.
- Replace existing windows in north-eastern side elevation with new windows to match existing style and finish.
- Replacement of front façade living room window with functional window of same style and finish with stained glass panes to match existing entry door stained glass panel.
- Remedial works to front façade.
- Repair and repoint existing brickwork to street frontage wall of site.
- Repair of sandstone cladding to street frontage wall of site to cover damaged and unclad areas.
- Place sandstone cladding over existing damaged and cracked ashlar block wall at front of site.
- Replace existing balustrade to front site entry steps with flat bar balustrade.

- New front gate and letterbox
- Renewed landscaping within front setback
- Introduce new landscaping to north-eastern side pathway.
- External colour and material changes,
- Existing front site access steps and existing stone wall to be repaired.
- Clarification of condition 7(l) of the consent.

The approved development also remains subject to design amendments in accordance with certain conditions of the development consent (as modified by MOD/2020/0293). Specific design requirements are contained in condition 7 of the development consent, which reads as follows:

#### 7. Design Change

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans demonstrating the following:

- ~~a. All basement areas including the lower floor Storage room, stairwell to the storage room and adjacent void area must be deleted such that the floor levels of all new internal areas are at or above RL15.180m AHD.~~
- ~~b. The masonry parapet roof form above the rear single storey living room structure shall be deleted and the roof over this area shall be altered to be a low, shallow pitched skillion roof falling toward the side boundary with 93 Grove Street so as to reduce shadow impact to that property.~~
- ~~c. The gable ended roof at the rear of the first floor addition shall be modified to a partial hip, commencing at a point equal to 2.5m above finished floor level of the master bedroom/ensuite, and pitching at 30 degrees back towards the front of the site.~~
- d. The existing glazed enclosure of the front verandah shall be removed.
- e. Prior to the issue of a Construction Certificate, an amended schedule of colours and finishes is to be submitted to the Certifying Authority that demonstrates the use of light grey cladding (for element EF-02) and colour bond roofing (for element EF-04). The following equivalents of the mid to dark greys in the Australian Standard Colours AS2700 are not acceptable: N42 Storm Grey, N44 Bridge Grey, N52 Mid Grey, N54 Basalt, N55 Lead Grey, N63 Pewter, N64 Dark Grey and N65 Graphite Grey.
- f. The colorbond metal roofing is to have a medium (M) solar absorptance rating under the BCA.
- g. Existing face brickwork is not to be sealed or painted. Repairs to existing external brickwork are to be undertaken using the same type and strength of mortar as the existing. Hard cement mortar is not to be utilised.
- h. Sandstone walling is not to be sealed or painted. Repairs to existing sandstone walls are to be undertaken using Compo Mortar. Hard cement mortar is not to be utilised as this can hasten the deterioration of the surrounding stonework.
- i. Modern paint films are not to be employed on any building element dating from prior to 1930. Modern paint films trap moisture and salts and are prone to blistering and failure when applied to traditional building materials. Finishes such as lime wash or mineral paint that are designed to be breathable are to be utilised. Where render has been finished using a cement wash, this treatment should be continued.
- j. No penetrations for services through original brickwork are to be undertaken. Existing air vents are not to be reduced in size by pipework. The route of any new service lines are to be carefully worked out on site to minimise impact on significant internal fabric such as timber joinery or fibrous plaster ceilings.
- ~~k. Fixed horizontal louvres shall be installed above the solid balustrade of the side balcony serving the upper level master bedroom, achieving a height of 1600mm above the finished floor level.~~
- l. The setback of the south western wall shall be increased to be a minimum of 900mm from the boundary.

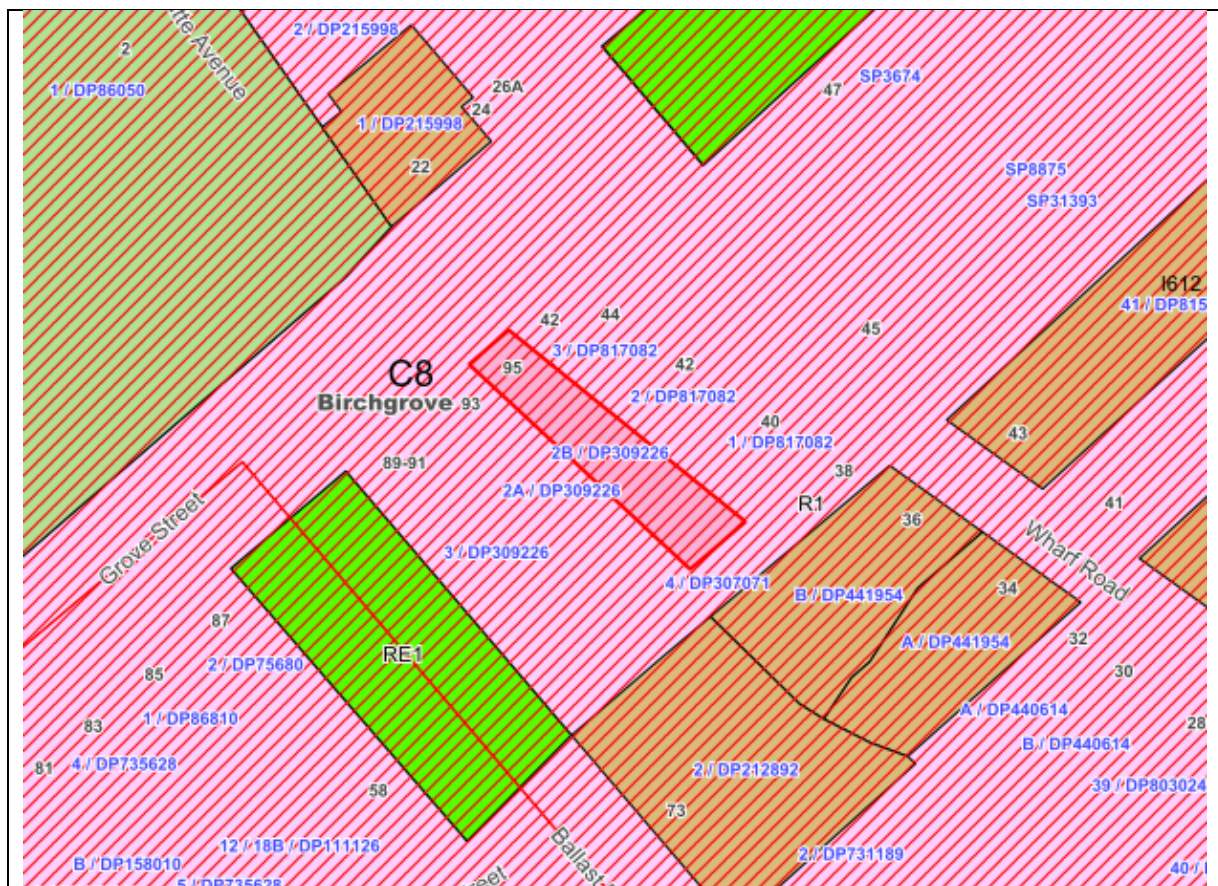
The current amended plans, the subject of this report, also include lowering the roof height of the rear projecting single-storey living room structure.

### 3. Site Description

The subject site is located on the south side of Grove Street close to the intersection of Wharf Road. The site area is 299.7sqm with a primary frontage to Grove Street of approximately 7m. An existing single storey dwelling is located on the site. The site, and its immediate south-western neighbour (93 Grove St) are located approximately five metres above the footpath level of Grove Street.

Surrounding land uses are predominantly one and two storey dwelling houses, with a contemporary three storey townhouse immediately adjacent to the north-eastern side boundary. Birchgrove Oval and park is opposite the site.

The subject site is zoned R1 - Residential and is located within a conservation area.



### 4. Background

#### 4(a) Site history

The following outlines the relevant development history of the subject site and any relevant applications on surrounding properties.

**Subject Site**

Application	Proposal	Decision & Date
D/2014/345	Alterations and additions to dwelling including detached studio at 95 Grove	Approved - 2014
PREDA/2018/282	Alterations and additions to dwelling	Issued - 2018
D/2019/252	Alterations and additions to dwelling	Approved - 8/4/2020
PREDA/2020/0164	Alterations and additions to dwelling	Issued - 2020
MOD/2020/0293	Modification to approved alterations and additions including extending the rear ground floor addition	Approved - 2/2/2021
CCP/2021/0610	Construction Certificate (Private Certifier)	Approved - 19/7/2021
CCP/2021/0698	Modified Construction Certificate (Private Certifier)	Approved - 1/9/2021

**Surrounding properties**

Nil relevant

**4(b) Application history**

The following table outlines the relevant history of the subject application.

Date	Discussion / Letter / Additional Information
Notified until 27 July 2021	20 objections received
1 Oct 2020	Applicant advised Council that modification to be altered to seek greater clarity with respect to the terms of condition 7(l) so as to read: <i>'The setback of the south-western wall shall be a minimum of 900mm from the boundary, only for that portion of wall which is approximately 3950mm in length, beginning from the rear building line.'</i>

**5. Assessment**

The following is a summary of the assessment of the application in accordance with Section 4.55(2) of the *Environmental Planning and Assessment Act 1979*.

**5(a) Environmental Planning Instruments**

The application has been assessed against the relevant Environmental Planning Instruments listed below:

- *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*
- *State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017*

The following provides further discussion of the relevant issues:

**5(a)(i) State Environmental Planning Policy (Building Sustainability Index:**

The application is accompanied by a BASIX certificate.

**5(a)(ii) State Environmental Planning Policy (Vegetation in Non-Rural Areas) (Vegetation SEPP)**

*Vegetation SEPP* concerns the protection/removal of vegetation identified under the SEPP and gives effect to the local tree preservation provisions of Council's DCP.

The modification does not include the removal of vegetation from within the site. The original development consent included the removal of a fruit tree, which is exempt development.

**5(a)(iii) Leichhardt Local Environment Plan 2013 (LLEP 2013)**

The application was assessed against the following relevant clauses of the *Leichhardt Local Environment Plan 2013*:

**Clause 1.2 - Aims of the Plan**

The proposal is consistent with the relevant aims of the plan and zone objectives as the design of the proposal is considered to be of a high standard and has a satisfactory impact on the private and public domain.

**Clause 2.3 - Land Use Table and Zone Objectives**

The site is zoned R1 – General Residential under the *LLEP 2013*.

The following table provides an assessment of the application against the development standards:

Standard	Proposal	non compliance	Complies
<b>Floor Space Ratio</b> Maximum permissible: 0.9:1 or 269.73sqm	0.57:1 or 170.7sqm	-	Yes
<b>Landscape Area</b> Minimum permissible: 20% or 59.94sqm	17.35% or 52sqm	13.25%	No
<b>Site Coverage</b> Maximum permissible: 60% or 179.82sqm	51.22% or 153.5sqm	-	Yes

**Clause 2.7 – Demolition**

The proposal satisfies the clause as the proposed demolition works are permissible with consent and standard conditions have been placed in the original development consent to manage impacts which may arise during demolition.

**Clause 4.3A - Landscaped areas for residential accommodation in Zone R1**

In order to satisfy the requirements of condition 23 (i) of the consent which reads:

*'23. Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with stormwater drainage design plans certified by a suitably qualified Civil*

*Engineer that the design of the site drainage system complies with the following specific requirements:*

....

- i. *A minimum 150mm step up shall be provided between all external finished surfaces and adjacent internal floor areas;'*

The rear ground level deck has been extended to both side boundaries by excavating the existing ground levels so as to allow stormwater drainage from the rear of the rear deck area to the overland flow path within the north-eastern side passage. Compliance with this requirement has resulted in the Landscaped Area being reduced to 17.35% of the site. This reduction results in a 13.25% breach of the 20% development standard contained in LLEP 2013. Offsetting this loss is a component of groundcover to be set between the proposed formed and poured concrete stepping stones within the side passage. However, although acting to soften the existing paved side passage, this provision does not constitute Landscape Area, as defined.

It is noted that part of the proposed reduction in Landscaped Area arises from the introduction of a timber seat in the rear deck area. This seat is set back into the rear yard resulting in the retaining wall extending further into the landscaped rear yard area. The seat structure results in a reduction in Landscaped Area of 3.3sqm. This seat is not required to satisfy the conditions of consent. Consequently, in order to maximise the maintenance of Landscaped Area within this site, the seat should be deleted by condition. This would result in a reduction in the breach of the standard to 7.7%.

The design incorporates 153.5sqm of site coverage which is compliant with the definition in LLEP 2013. This equates to 51.2% of the site area which is less than the maximum allowable of 60%, and therefore complies.

#### Clause 4.4 – Floor Space Ratio

The application proposes a compliant floor space ratio of 0.57:1 (170.7m<sup>2</sup>). The maximum permissible FSR for the site is 0.9:1, and therefore the proposal complies.

#### Clause 5.10 - Heritage Conservation

The subject property at 95 Grove Street, Birchgrove, is a contributory dwelling located within the Birchgrove and Ballast Point Road Heritage Conservation Area (C8 in Schedule 5 of the Leichhardt LEP 2013). It is also in the vicinity of the following heritage items at Clifton Villa, 73 Ballast Point Road, Exeter Villas, 34 & 36 Wharf Road.

A strip skylight is proposed in the south-western roof plane of the main gable roof form. Control C10 of Part C1.3 of the Leichhardt DCP requires that where rear additions are visible from the public domain the original roof form must be maintained and new additions are to be sympathetic to the original roof. Controls C3 b. and C6 of Part C1.4 of the DCP require development within conservation areas to retain whole roof forms. The proposed strip skylight is not supported as it will result in the loss of the original roof form and will be visible from the public domain and should be deleted.

It is proposed to replace the window in the front facade with a functional window of same style and finish with stained glass panes to match that of the existing entry door. The replacement window should be timber framed to ensure the material is complementary to characteristic window frame material within the conservation area.

Sandstone cladding is proposed to be applied to the existing damaged and cracked ashlar block wall at the front of the property and at front facade to cover damaged and unclad areas

at property boundary. This is not supported and is to be deleted from the proposed modification as it will only temporarily hide the damage caused by drainage seeping through the wall and may exacerbate the issue. The cause of the damage to the ashlar block wall will need to be determined and rectified. Once the cause has been identified and rectified, the ashlar block finish to the wall can be repaired and painted. The proposed sandstone cladding is not satisfactory.

There are generally no heritage concerns with the other proposed modifications because the subject areas are associated with the approved addition, are internal, or are located to the rear of the site, so there will be minimal impact on the significance of the Birchgrove and Ballast Point Road.

Subject to the following conditions being placed on any approval, the proposed modifications are considered acceptable as they will not detract from the heritage significance of the Birchgrove and Ballast Point Road Heritage Conservation Area:

- The strip skylight in the south western roof plane of the main gable roof form above the hallway is to be deleted.
- The replacement the window in the front façade is to be timber framed.
- The sandstone cladding proposed to be applied to the existing damaged and cracked ashlar block wall at the front of the property is to be deleted from the proposed works.

#### Clause 6.1 - Acid Sulfate Soils

The subject site is identified as containing Class 5 acid sulphate soils and is considered to adequately satisfy this clause as the site is on a raised rock area, whereby the application does not involve any works that would result in exposure of acid sulphate soils.

#### Clause 6.2 – Earthworks

In accordance with the conditions of the existing consent the proposal includes changes to levels within the rear of the additions to ensure both the finished floor levels are 150mm above finished external ground level and to provide an overland flow path is maintained through the north-eastern side passage. A section of landscaped area is to be excavated to a depth of up to approximately 0.7m adjacent to the paved area to the rear of the lounge room.

Further excavation and fill of up to 0.5m is proposed in the north-eastern side passage to allow the placement of two sets of steps between more level sections within this setback. It is also proposed to include the placement of ground cover between pavers in this passage.

The application is considered to adequately satisfy this clause. Subject to conditions the proposed earthworks are unlikely to have a detrimental impact on environmental functions.

#### Clause 6.4 - Stormwater management

As noted, the proposed modifications include changes to facilitate and maintain an overland flow path within the north-eastern side setback of the site. This is in accordance with condition 23 g. of the consent which requires:

- g. An overland flowpath must be provided within the setback to the north eastern side boundary between the rear of the dwelling and the Grove Street frontage. The rear*

*courtyard must be graded so that bypass flows from the site drainage system are directed to the overland flowpath. Surface flows must not be directed into adjoining properties.*

#### 5(b) Draft Inner West Local Environmental Plan 2020 (Draft IWLEP 2020)

The Draft IWLEP 2020 was placed on public exhibition commencing on 16 March 2020 and accordingly is a matter for consideration in the assessment of the application under *Section 4.15(1)(a)(ii) of the Environmental Planning and Assessment Act 1979*.

The amended provisions contained in the Draft IWLEP 2020 are not relevant to the assessment of the application. Accordingly, the development is considered acceptable having regard to the provisions of the Draft IWLEP 2020.

#### 5(c) Development Control Plans

The application has been assessed and the following provides a summary of the relevant provisions of Leichhardt Development Control Plan 2013.

<b>LDCP2013</b>	<b>Compliance</b>
<b>Part A: Introductions</b>	
Section 3 – Notification of Applications	Yes
<b>Part B: Connections</b>	
B1.1 Connections – Objectives	Yes
B2.1 Planning for Active Living	Yes
B3.1 Social Impact Assessment	Yes
B3.2 Events and Activities in the Public Domain (Special Events)	Yes
<b>Part C</b>	
C1.0 General Provisions	Yes
C1.1 Site and Context Analysis	Yes
C1.2 Demolition	Yes
C1.3 Alterations and additions	Yes
C1.4 Heritage Conservation Areas and Heritage Items	No – See discussion above under Clause 5.10 - Heritage Conservation
C1.5 Corner Sites	n/a
C1.6 Subdivision	n/a
C1.7 Site Facilities	Yes
C1.8 Contamination	Yes
C1.9 Safety by Design	Yes
C1.10 Equity of Access and Mobility	Yes
C1.11 Parking	Yes
C1.12 Landscaping	Yes
C1.13 Open Space Design Within the Public Domain	n/a
C1.14 Tree Management	Yes
C1.15 Signs and Outdoor Advertising	n/a
C1.16 Structures in or over the Public Domain: Balconies, Verandahs and Awnings	n/a
C1.17 Minor Architectural Details	n/a
C1.18 Laneways	n/a
C1.19 Rock Faces, Rocky Outcrops, Cliff Faces, Steep	Yes

Slopes and Rock Walls	
C1.20 Foreshore Land	n/a
C1.21 Green Roofs and Green Living Walls	n/a
<b>Part C: Place – Section 2 Urban Character</b>	
C2.2.2.6 – Birchgrove Distinctive Neighbourhood	Yes
<b>Part C: Place – Section 3 – Residential Provisions</b>	
C3.1 Residential General Provisions	Yes
C3.2 Site Layout and Building Design	Yes - See discussion below
C3.3 Elevation and Materials	Yes
C3.4 Dormer Windows	n/a
C3.5 Front Gardens and Dwelling Entries	Yes
C3.6 Fences	Yes
C3.7 Environmental Performance	Yes
C3.8 Private Open Space	Yes
C3.9 Solar Access	Yes
C3.10 Views	Yes
C3.11 Visual Privacy	Yes
C3.12 Acoustic Privacy	Yes
C3.13 Conversion of Existing Non-Residential Buildings	n/a
C3.14 Adaptable Housing	n/a
<b>Part D: Energy</b>	
Section 1 – Energy Management	Yes
Section 2 – Resource Recovery and Waste Management	
D2.1 General Requirements	Yes
D2.2 Demolition and Construction of All Development	Yes
D2.3 Residential Development	Yes
D2.4 Non-Residential Development	n/a
D2.5 Mixed Use Development	n/a
<b>Part E: Water</b>	
Section 1 – Sustainable Water and Risk Management	
E1.1 Approvals Process and Reports Required with Development Applications	Yes
E1.1.1 Water Management Statement	Yes
E1.1.2 Integrated Water Cycle Plan	n/a
E1.1.3 Stormwater Drainage Concept Plan	Yes
E1.1.4 Flood Risk Management Report	n/a
E1.1.5 Foreshore Risk Management Report	n/a
E1.2 Water Management	Yes
E1.2.1 Water Conservation	Yes
E1.2.2 Managing Stormwater within the Site	Yes
E1.2.3 On-Site Detention of Stormwater	n/a
E1.2.4 Stormwater Treatment	n/a
E1.2.5 Water Disposal	Yes
E1.2.6 Building in the vicinity of a Public Drainage System	Yes
E1.2.7 Wastewater Management	n/a
E1.3 Hazard Management	n/a
E1.3.1 Flood Risk Management	n/a
E1.3.2 Foreshore Risk Management	n/a

The following provides discussion of the relevant issues:

### C3.2 Site Layout and Building Design

The proposed modification does not result in any change to the external bulk of the approved development.

It is noted that Construction Certificates CCP/2021/0610 and CCP/2021/0698 were approved by private certifier on 19/7/2021 & 1/9/2021 respectively for the works the subject of the development consent. The modification application seeks clarification as to the requirements of condition 7 I.

A previous modification application [MOD/2020/0293] sought in part, to change the form of a rearward section of the approved additions including a variation of the south-western side setback of this portion of the approved additions. That modification application was recommended for approval with a side setback of the rearmost 3.949m section of the additions to be modified having a setback specified on plans as 609mm. The south-western side setback of the remainder of the rear additions approved by D/2019/0252 matched that of the existing side wall of the dwelling and was not proposed to be altered by MOD/2020/0293.

On 2/2/2021 the Inner West Local Planning Panel imposed an additional condition 7 I. which reads:

*1. The setback of the south western wall shall be increased to be a minimum of 900mm from the boundary.*

The applicant has sought further clarity of Condition 7 I as part of this application which was imposed by the Panel in its determination of MOD/2020/0293. In this regard, the condition does not refer to the rearmost 3.949m section of the additions the subject of that modification as the section of wall to be setback 900mm. This has resulted in differences in its interpretation as to the portion of the approved rear additions that were required to be setback by 900mm. The intention was the rearmost 3.949m section of the wall and not the entire wall.

It is considered appropriate that condition 7 I. be reworded to identify that section of the additions required to be setback 900mm by referring specifically to the rearmost 3.949m section of the additions, as follows:

*1. The setback of the rearmost 3.949m section of the south-western wall of the additions shall be increased to be a minimum of 900mm from the boundary.*

Further to the above it is noted that the architectural drawings submitted with the current modification application have not included the full dimensioning of the approved consent drawings. Consequently, any approval of the current modification application should include a condition as follows:

- That the drawings shall be amended to contain the full dimensioning of external building works as shown in the drawings approved under MOD/2020/0293.

### 5(d) The Likely Impacts

The assessment of the Development Application demonstrates that, subject to the recommended conditions, the proposal will have minimal impact in the locality.

### 5(e) The suitability of the site for the development

Provided that any adverse effects on adjoining properties are minimised, this site is considered suitable to accommodate the proposed development, and this has been demonstrated in the assessment of the application.

### 5(f) Any submissions

The application was notified in accordance with Leichhardt Development Control Plan 2013 for a period of 14 days to surrounding properties. 20 submissions were received in response to the notification.

In addition to the above issues, the submissions raised the following concerns which are discussed under the respective headings below:

- The plans contained in the modification do not reflect condition 7I. No application has been made to alter condition 7 I.

Comment: On 21/6/2021 the applicant requested that the terms of condition 7I. be clarified and the application was publicly notified as such.

The intent of condition 7 I. is to increase the setback of that portion of the additions proposed to be located 609mm that were the subject of modification application MOD/2020/0293. The submitted plans with the current modification application the subject of this report have been altered to reflect that condition.

- Metal Planter box in front setback is out of character.

Comment: The height and design details of the metal planter box have not been provided with the application. The planter box is shown on the submitted Landscape Plans but not the architectural drawings. The landscape plans have been annotated as follows: *'Proposed custom steel planter box with planting to screen neighbours entry path. Black painted finish to planter'*. Consequently the planter will be higher than the current balustrade surrounds of the front step on the boundary with No.93 Grove Street. Given the potential for this planter to form a screen within the front setback which may be visible in the streetscape within the conservation area and may also obstruct outlook from 93 Grove Street, this planter should be deleted.

- Privacy/ overlooking

Comment: The proposed modifications do not result in any change to the form or bulk of the approved dwelling that would give rise to any additional loss of visual privacy.

The windows in the north-eastern elevation serving the kitchen and master bedroom within the approved rear additions are proposed to be modified. This will result in a reduction in the overall extent of glazing, thereby contributing to a potential reduction in visual privacy impact.

The sidelight window in the north-eastern elevation serving the lounge room within the approved rear additions is proposed to be relocated. The drawings suggest that the area of glazing of this window is increased by approximately 7%. Given the relocation of this window toward the rear edge of the approved additions, the

repositioning and minor increase in glazed area would not result in any unsatisfactory privacy impacts.

- New front metal fence.

Comment: The modification includes a new letterbox and 1.5m high open metal front gate. The gate is proposed to be of the same height as the letterbox. The plans the subject of this modification have been assessed for compliance with Council's heritage controls and considered satisfactory subject to conditions. No objection is raised to the new front boundary metal gate.

- Smoke and embers from Freestanding Fire Pit

Comment: The landscape plan submitted with application proposes a freestanding fire pit, approximately 750mm in diameter, set in the rear yard. Such a fire pit is not prohibited. It is considered that the proposed fire pit is not of a size as would not be unusual in a domestic setting. Further, given that the usage of such a fire pit may well be infrequent, such a facility is considered satisfactory.

The following matters that were raised in submissions appear to relate to the alterations and additions to the site as a whole, rather than the modifications to the approved development that are the subject of the current modification application:

- Overdevelopment, bulk, height, scale, amenity impacts, compatibility with conservation area.

Comment: These objections relate to the approved form of development, not the modifications the subject of this modification application. The modifications proposed do not alter the height or bulk of the approved development.

- The rear additions are out of character with the streetscape

Comment: As the proposed changes to the detail of the approved additions at the rear of the site are not highly visible from the street, this objection appears to refer to the approved two-storey section of the originally approved additions, the bulk of which is not to be altered by the current modification application.

- Construction noise/ disturbance

Comment: The existing development consent contains advice that noise arising from the works must be controlled in accordance with the requirements of the Protection of the Environment Operations Act 1997 and guidelines contained in the New South Wales Environment Protection Authority Environmental Noise Control Manual.

- Stormwater design

Comment: The proposed changes to the detail of the approved additions at the rear of the site including the maintenance of an overland flow path are subject to conditions of the development consent.

#### 5(g) Section 4.55 of the Environmental Planning and Assessment Act 1979

Under Section 4.55 of the *Environmental Planning and Assessment Act, 1979*, the determining authority, when considering a request to modify a Determination, must:

- (a) be satisfied that the development as modified is substantially the same development as the development for which consent was originally granted;
- (b) consult with any relevant authority or approval body;
- (c) notify the application in accordance with the regulations;
- (d) consider any submissions made; and,
- (e) take into consideration the matters referred to in Section 4.15 as are of relevance to the development the subject of the application.

The above has been addressed during the assessment of the application as follows:

- The development being modified is substantially the same development as the development for which consent was originally granted;
- The application was notified in accordance with the regulations and Council's policy and the submissions addressed in this report; and
- Matters under Section 4.15 have been addressed within this assessment report.

#### 5(h) The Public Interest

The public interest is best served by the consistent application of the requirements of the relevant Environmental Planning Instruments, and by Council ensuring that any adverse effects on the surrounding area and the environment are appropriately managed.

The proposed modification is not contrary to the public interest.

## 6 Referrals

#### 6(a) Internal

The application was referred to the following internal sections/ officers and issues raised in those referrals have been discussed in section 5 above.

- Development Engineer
- Heritage Officer

#### 6(b) External

The application was not required to be referred to external bodies.

## 7. Section 7.11 Contributions/7.12 Levy

Section 7.11 contributions/7.12 levies are not payable for the proposed modification.

## 8. Conclusion

The proposal generally complies with the aims, objectives and design parameters contained in *Leichhardt Local Environmental Plan 2013* and *Leichhardt Development Control Plan 2013*.

The development will not result in any significant impacts on the amenity of the adjoining premises/properties and the streetscape and is considered to be in the public interest.

The application is considered suitable for approval subject to the imposition of appropriate conditions.

## 9. Recommendation

- A. That the Inner West Local Planning Panel exercising the functions of the Council as the consent authority, pursuant to section 4.55 of the *Environmental Planning and Assessment Act 1979*, grant consent to Modification Application No. MOD/2021/0238 for modification to the approved alterations and additions including changes to fenestration, materials, landscaping, internal modifications, & condition of consent 7(l) at 95 Grove Street BIRCHGROVE NSW 2041 subject to the conditions listed in Attachment A below.

## Attachment A – Recommended conditions of consent

### Attachment A – Recommended and Amended Conditions of Consent

#### A. That conditions 6 & 7 be amended in the following manner:

##### 6. Documents related to the consent

The development must be carried out in accordance with plans and documents listed below:

Plan, Revision and Issue No.	Plan Name	Date Issued	Prepared by
DA300/ <del>P11</del> <b>A</b>	Architectural Plans - Ground Floor	<del>3/11/2020</del> 5/6/2021	<del>DKO</del> ED Design
DA301/ <del>P11</del> <b>A</b>	Architectural Plans - First Floor	<del>3/11/2020</del> 5/6/2021	<del>DKO</del> ED Design
DA302/ <del>P9</del> <b>A</b>	Architectural Plans - Roof Plan	<del>3/11/2020</del> 5/6/2021	<del>DKO</del> ED Design
DA303/ <del>P10</del> <b>A</b>	Architectural Plans - <del>West Elevation Elevations</del>	<del>3/11/2020</del> 5/6/2021	<del>DKO</del> ED Design
DA304/ <del>P11</del> <b>A</b>	Architectural Plans - <del>East Elevation Elevations</del>	<del>3/11/2020</del> 5/6/2021	<del>DKO</del> ED Design
DA305/ <del>P10</del> <b>A</b>	Architectural Plans - <del>North Elevation Elevations</del>	<del>3/11/2020</del> 5/6/2021	<del>DKO</del> ED Design
DA306/ <del>P10</del> <b>A</b>	Architectural Plans - <del>South Elevation Elevations</del>	<del>3/11/2020</del> 5/6/2021	<del>DKO</del> ED Design
DA307/P11	Architectural Plans - Section S-03	3/11/2020	DKO
DA308/ <del>P9</del> <b>A</b>	Architectural Plans - <del>Section S-04 Sections</del>	<del>3/11/2020</del> 5/6/2021	<del>DKO</del> ED Design
DA309/P2	Architectural Plans - Section S-15	3/11/2020	DKO
L-000/E	<del>Landscape Plan - Coversheet</del>	5/8/2020	<del>Site Image Landscape Architects</del>
L-50/E	<del>Tree Removal Plan</del>	5/8/2020	<del>Site Image Landscape Architects</del>
L-100/E	<del>Landscape Plan</del>	5/8/2020	<del>Site Image Landscape Architects</del>
L-500/E	<del>Landscape - Typical Details</del>	5/8/2020	<del>Site Image Landscape Architects</del>
<b>LC-01/A</b>	<b>Landscape</b>	<b>4/6/2021</b>	<b>Secret Gardens</b>
SW-01-DA/0	Proposed Stormwater Drainage	2/4/2019	Calibre
SW-02-DA/0	Impervious Area	2/4/2019	Calibre
A342324_03	BASIX Certificate	21/10/2020	Ecomode Design
3234BXrpt/Rev1	Geotechnical Investigation	18/11/2019	JK Geotechnics

	Arboricultural Development Impact Assessment Report	14/05/2019	Birds Tree Consultancy
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As amended by the conditions of consent.

(As modified by MOD/2020/0238 on 8 November 2021)

#### 7. Design Change

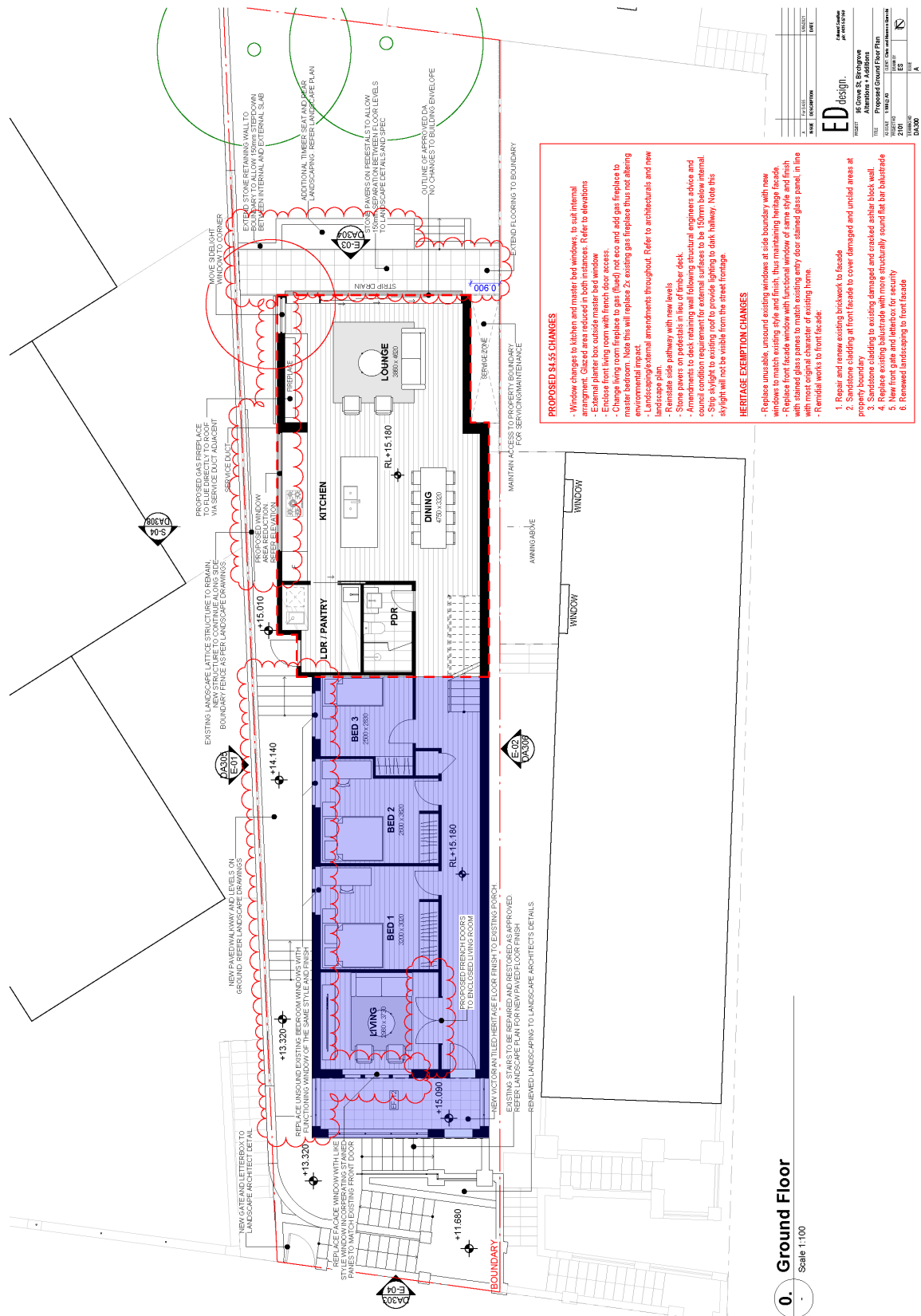
Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans demonstrating the following:

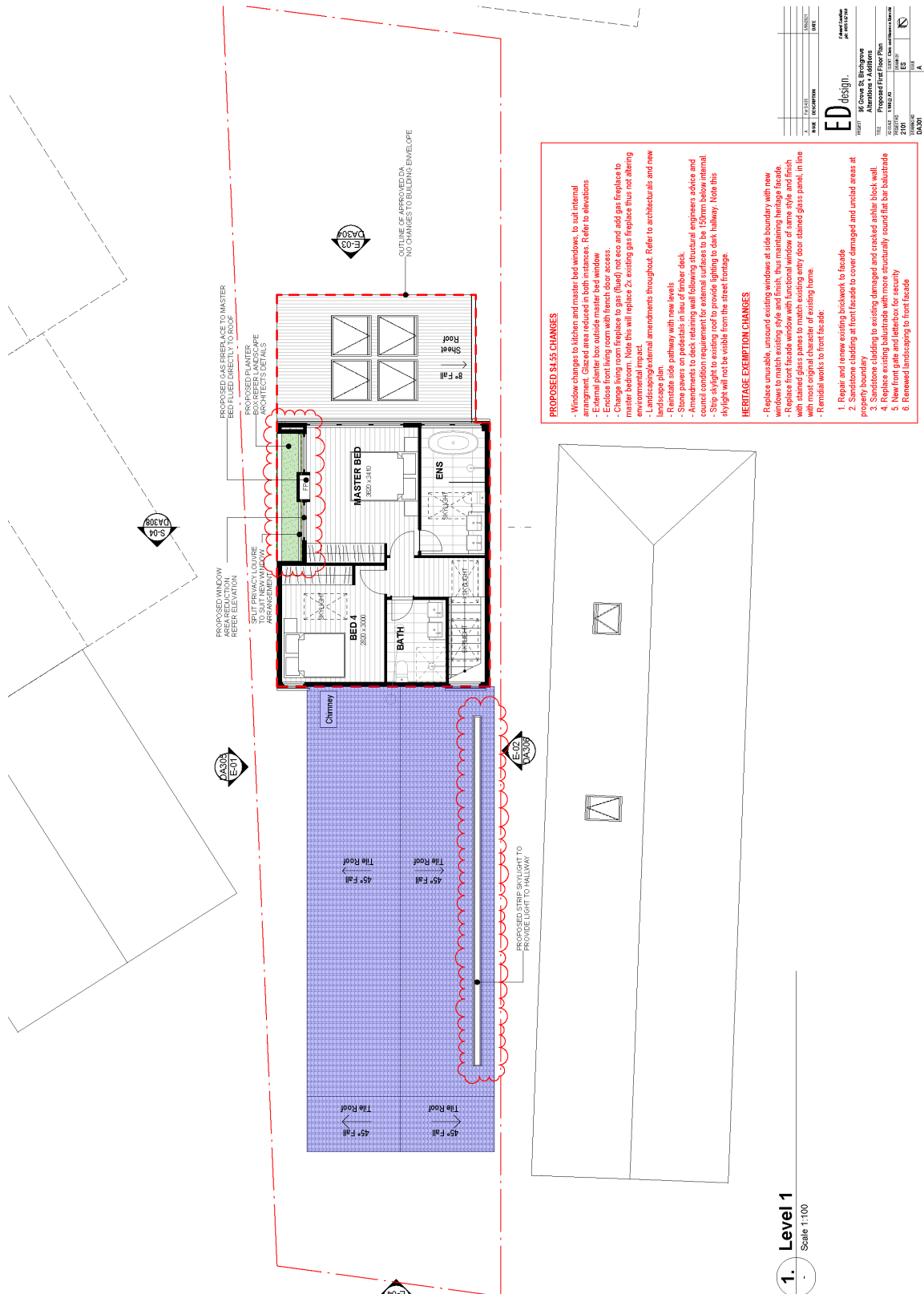
- a. ~~All basement areas including the lower floor Storage room, stairwell to the storage room and adjacent void area must be deleted such that the floor levels of all new internal areas are at or above RL15.180m AHD.~~
- b. ~~The masonry parapet roof form above the rear single storey living room structure shall be deleted and the roof over this area shall be altered to be a low, shallow pitched skillion roof falling toward the side boundary with 93 Grove Street so as to reduce shadow impact to that property.~~
- c. ~~The gable ended roof at the rear of the first floor addition shall be modified to a partial hip, commencing at a point equal to 2.5m above finished floor level of the master bedroom/ensuite, and pitching at 30 degrees back towards the front of the site.~~
- d. The existing glazed enclosure of the front verandah shall be removed.
- e. Prior to the issue of a Construction Certificate, an amended schedule of colours and finishes is to be submitted to the Certifying Authority that demonstrates the use of light grey cladding (for element EF-02) and colour bond roofing (for element EF-04). The following equivalents of the mid to dark greys in the Australian Standard Colours AS2700 are not acceptable: N42 Storm Grey, N44 Bridge Grey, N52 Mid Grey, N54 Basalt, N55 Lead Grey, N63 Pewter, N64 Dark Grey and N65 Graphite Grey.
- f. The colorbond metal roofing is to have a medium (M) solar absorptance rating under the BCA.
- g. Existing face brickwork is not to be sealed or painted. Repairs to existing external brickwork are to be undertaken using the same type and strength of mortar as the existing. Hard cement mortar is not to be utilised.
- h. Sandstone walling is not to be sealed or painted. Repairs to existing sandstone walls are to be undertaken using Compo Mortar. Hard cement mortar is not to be utilised as this can hasten the deterioration of the surrounding stonework.
- i. Modern paint films are not to be employed on any building element dating from prior to 1930. Modern paint films trap moisture and salts and are prone to blistering and failure when applied to traditional building materials. Finishes such as lime wash or mineral paint that are designed to be breathable are to be utilised. Where render has been finished using a cement wash, this treatment should be continued.
- j. No penetrations for services through original brickwork are to be undertaken. Existing air vents are not to be reduced in size by pipework. The route of any new service lines are to be carefully worked out on site to minimise impact on significant internal fabric such as timber joinery or fibrous plaster ceilings.

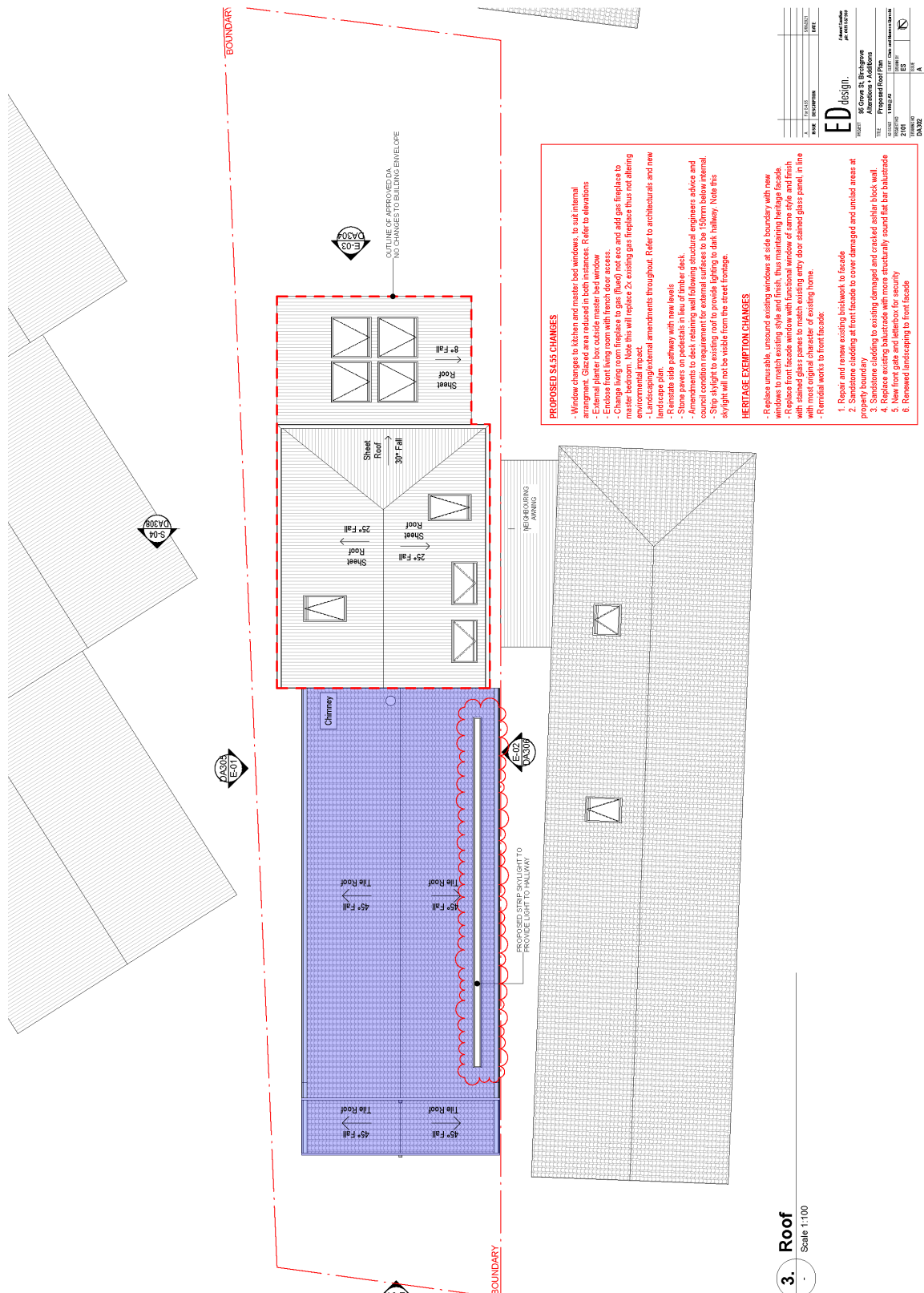
- ~~k. Fixed horizontal louvres shall be installed above the solid balustrade of the side balcony serving the upper level master bedroom, achieving a height of 1600mm above the finished floor level.~~
- ~~l. The setback of the south western wall shall be increased to be a minimum of 900mm from the boundary.~~ The setback of the rearmost 3.949m portion of the south-western wall of the rear additions shall be increased to be a minimum of 900mm from the side boundary.
- m. The strip skylight in the south western roof plane of the main gable roof form above the hallway is to be deleted.
- n. The replacement window in the front façade is to be timber framed.
- o. The sandstone cladding proposed to be applied to the existing damaged and cracked ashlar block wall at the front of the property is to be deleted from the proposed works.
- p. That the proposed cantilevered timber bench seat at the rear of the dwelling shall be deleted and that area maintained as landscaped area.
- q. That the proposed metal planter behind the garbage bin area within the front access steps shall be deleted.
- r. That the drawings shall be amended to contain the full dimensioning of external building works as shown in the drawings approved under MOD/2020/0293.
- s. That the drawings shall be amended to delete all references to '*Made Good*'.

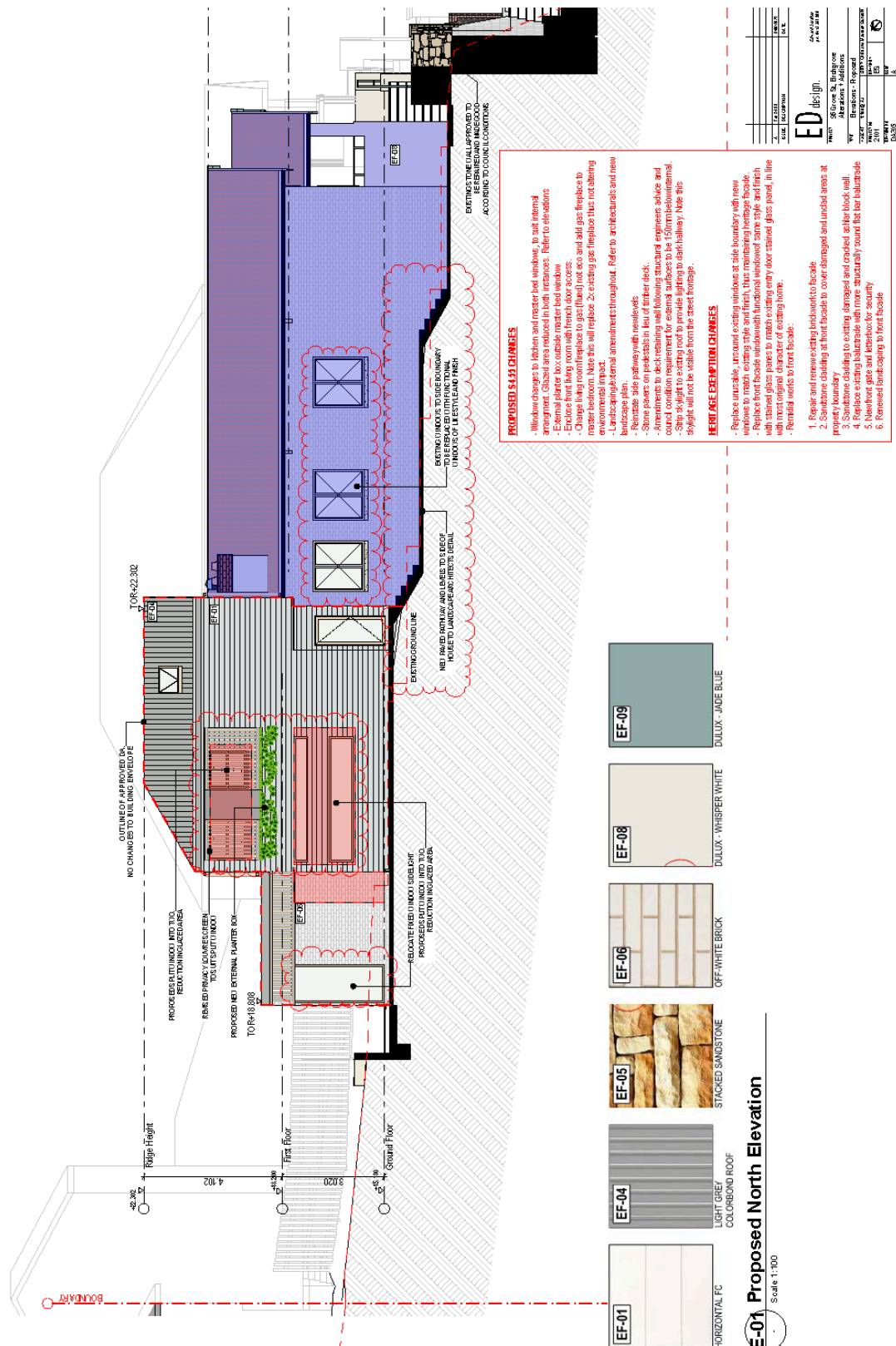
(As modified by MOD/2020/0238 on 9 November 2021)

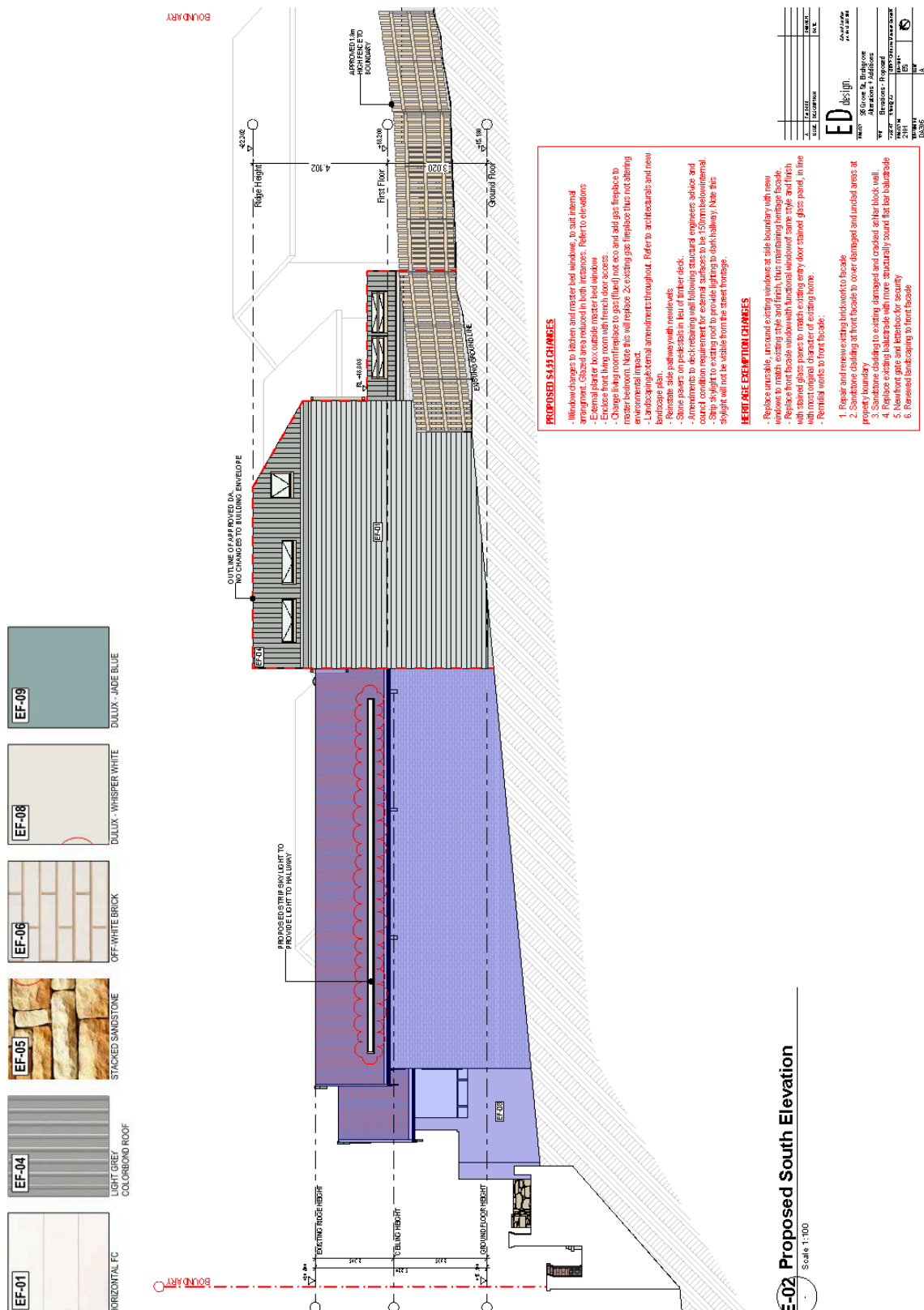
## Attachment B – Plans of proposed development

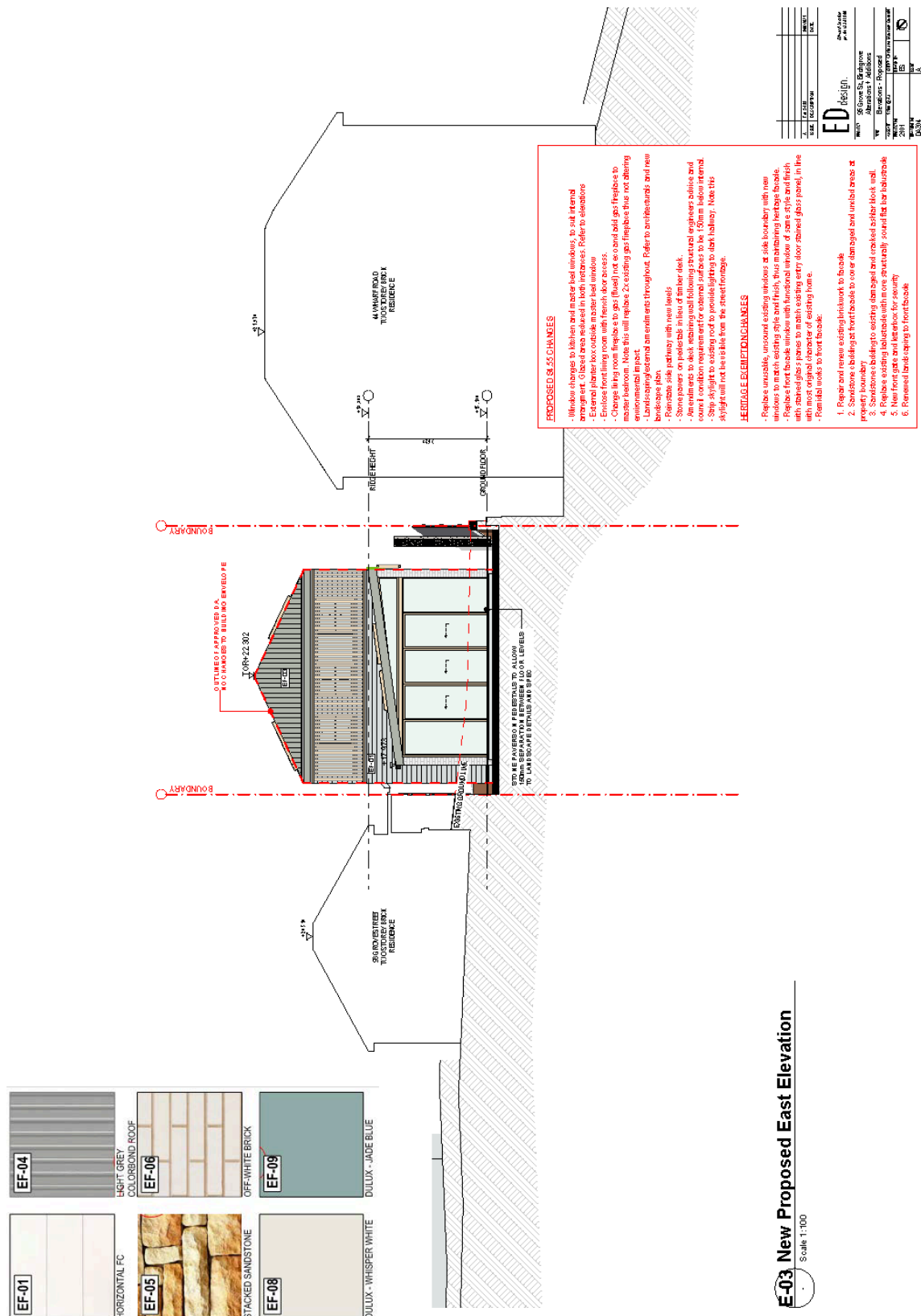


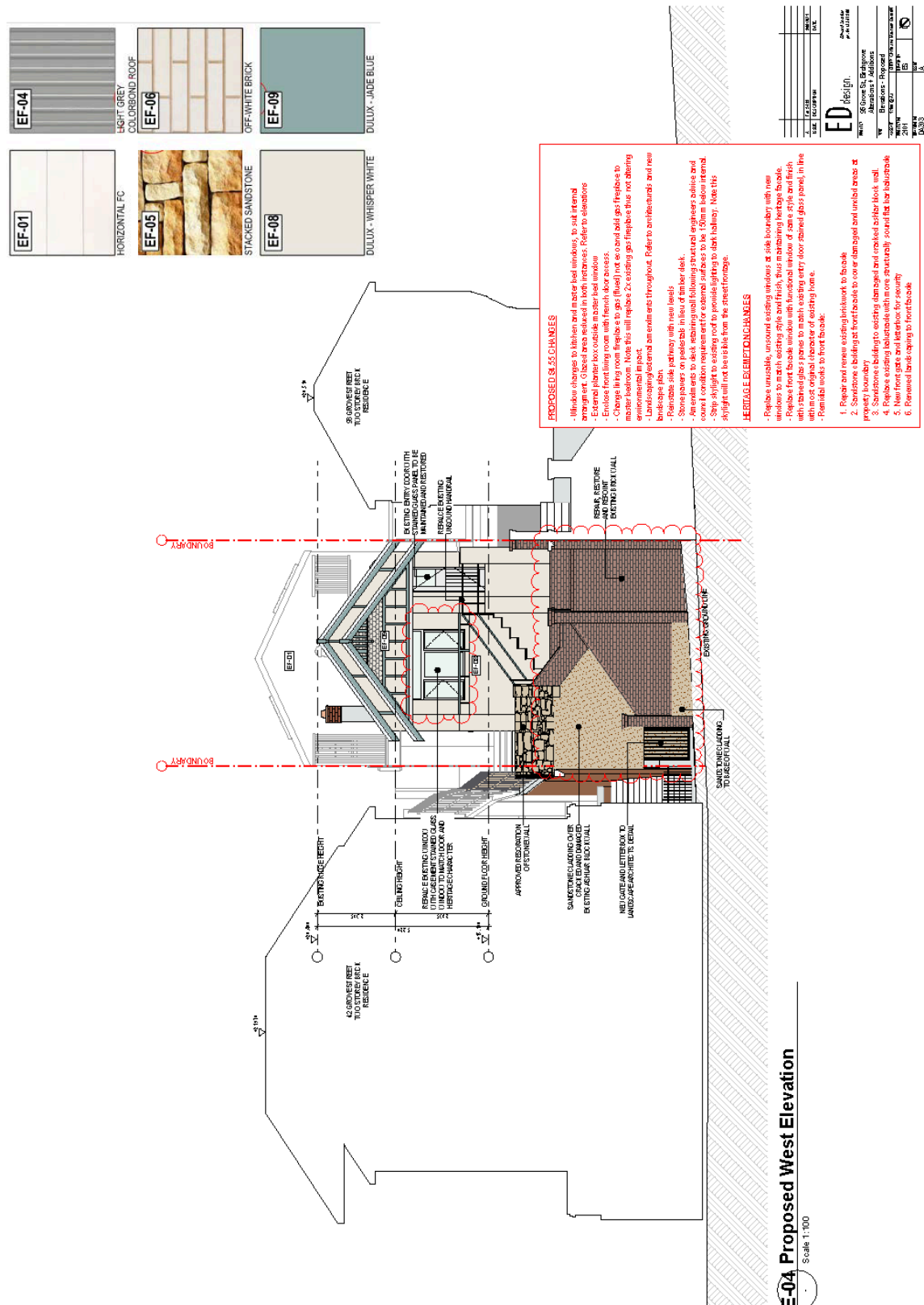


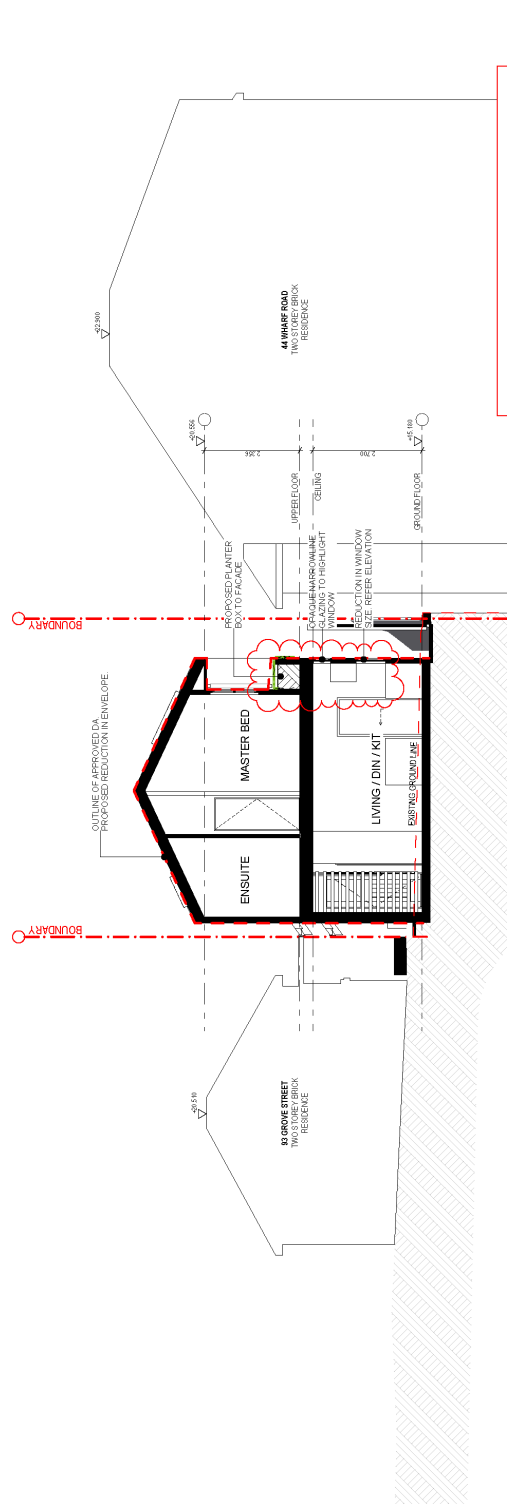












**S-04 PROPOSED SECTION**  
- Scale 1:100

					SIGNATURE	
A	PAY-SALES				DATE	
K-986	DESCRIPTION					

Edmund Leach  
for MGS-IA-7004

# ED

design.

PROJECT     36 Grove St Birchgrove  
**Alterations + Additions**

TITLE	Sections	CHECKED BY	DRAWN BY	SCALE
ALFAGE 1	1 IN @ 1/2"	GENTY Chen and Marcus Samir		
PROJECTIONS			ES	
2101				
DA-308				A

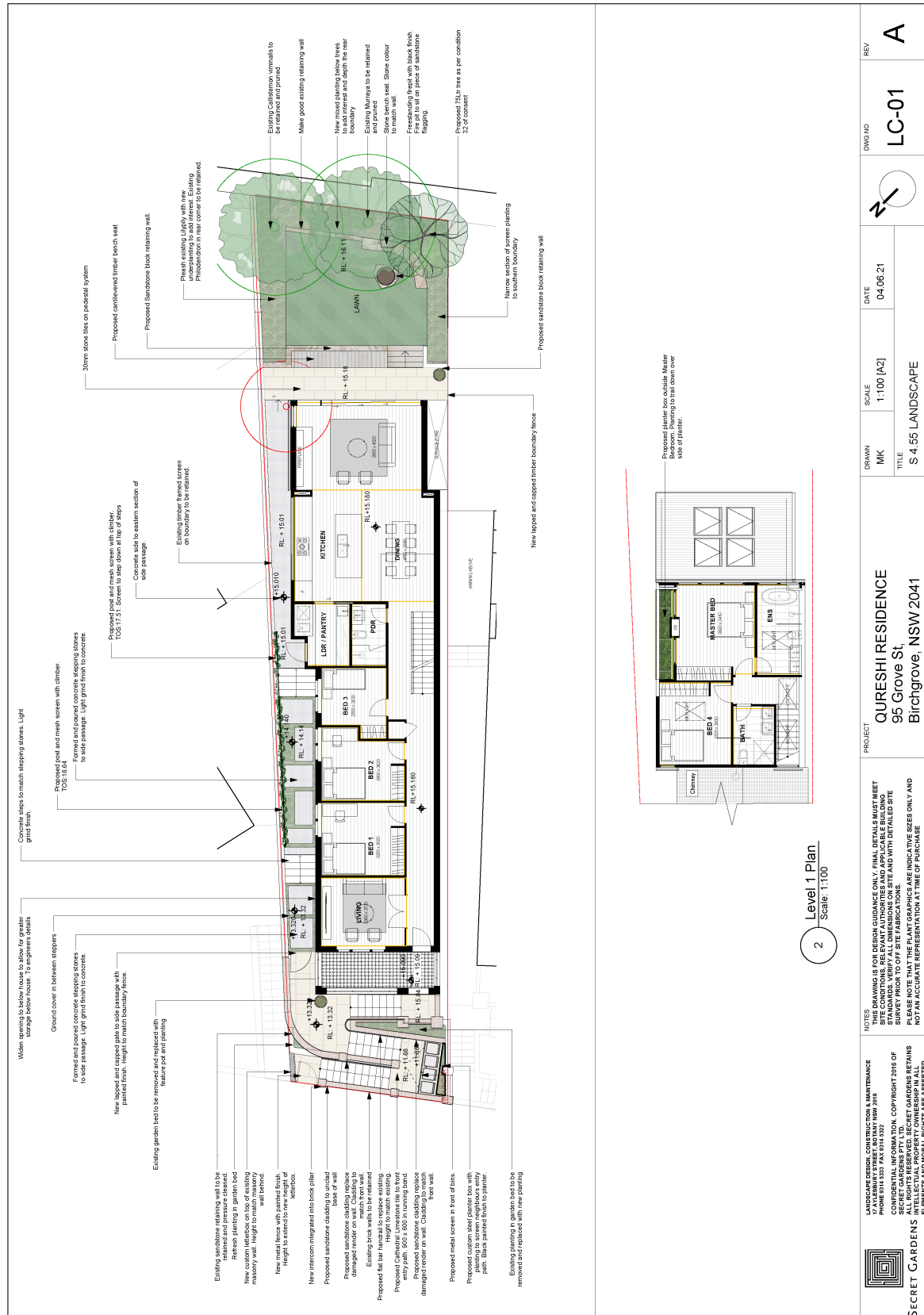
**PROPOSED \$4.55 CHANGES**

- Window changes to kitchen and master bed windows, to suit internal arrangement. Glazed area reduced in both instances. Refer to elevations for details.
- External front porch with French door and window.
- Change living room fireplace to gas (flued) not eco and add gas fireplace to master bedroom. Note this will replace 2 existing gas fireplaces thus not altering environmental impact.
- Landscaping/external amendments throughout. Refer to architectural and new landscape plan.
- Reinstate side pathway with new levels.
- Store powers on pedestals in lieu of timber deck.
- Amendments to deck retaining wall following structural engineers advice and to suit new landscaping.
- Amend front entrance to be a 3000mm wide French door to existing kitchen. Note this is a 3000mm wide French door, not a 3000mm wide sliding door to existing kitchen (see hallway). Note this sliding will not be visible from the street facade.

## HERITAGE EXEMPTION CHANGES

- Replace unusable, unsound existing windows at side boundary with new windows to match existing style and finish, thus maintaining heritage facade.
- Replace front facade window with functional window of same style and finish with stained glass panes to match existing entry door stained glass panel, in line with most original character of existing home.
- Remedial works to front facade:

1. Repair and renew existing brickwork to facade
2. Sandstone cladding at front facade to cover damaged and unclad areas at property boundary
3. Sandstone cladding to existing damaged and cracked ashlar block wall.
4. Replace existing balustrade with more structurally sound flat bar balustrade
5. New front gate and letterbox for security
6. Renewed landscaping to front facade



## Attachment C – Consent as modified under MOD/2020/0293

**NOTICE OF DETERMINATION - APPROVAL**

*Issued under Section S4.55 of the Environmental Planning and Assessment Act 1979*

<b>Development Application No.</b>	D/2019/252
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<b>Applicant</b>	Mr Christopher M Qureshi
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<b>Land to be developed</b>	95 Grove Street BIRCHGROVE NSW 2041
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<b>Approved development</b>	Alterations and additions to dwelling.
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<b>Cost of development</b>	\$827,550.00
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<b>Determination</b>	This S4.55(1A) modification application was determined by Local Planning Panel and was granted consent <b>subject to the conditions attached.</b>
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<b>Other Approvals</b>	Before commencing <i>building work</i> or <i>subdivision work</i> , a relevant Construction Certificate must be obtained from Council or an Accredited Certifier. Council must be appointed the Principal Certifier for any <i>subdivision work</i> under the Act.
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<b>Date of Development Consent:</b>	08 April 2020
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<b>Date of Modification of Consent:</b>	02 February 2021
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<b>Modification Number:</b>	MOD/2020/0293
-----------------------------	---------------

**Inner West Council**  
innerwest.nsw.gov.au  
02 9392 5000

council@innerwest.nsw.gov.au  
PO Box 14, Petersham NSW 2049

Document Set ID: 34568556  
Version: 1, Version Date: 15/02/2021

**Reasons for conditions**

To protect the environmental amenity of the area and the public interest.

**Right of appeal**

If you are dissatisfied with this decision, Section 8.9 of the *Environmental Planning and Assessment Act 1979* gives you the right to appeal to the Land and Environment Court in accordance with the timeframes set out in [Section 8.10](#) of the *Environmental Planning and Assessment Act 1979*. In addition to the above, third party appeal rights are set out in the *Environmental Planning and Assessment Act 1979* and may be applicable.

Section 8.2 of the *Environmental Planning and Assessment Act 1979* provides that the applicant may request the Council to review the determination. Section 8.2 does not apply to complying development, designated development, a determination made by Council under Section 4.2 in respect of Crown applications, or a decision that is already subject to a Section 8.2 review.

For further information please contact **Eamon Egan** on **02 9392 5253** or **[eamon.egan@innerwest.nsw.gov.au](mailto:eamon.egan@innerwest.nsw.gov.au)**.

Yours faithfully



Luke Murtas  
**Manager Development Assessment (South)**

**CONDITIONS OF CONSENT****FEES****1. Long Service Levy**

Prior to the issue of a Construction Certificate, written evidence must be provided to the Certifying Authority that the long service levy in accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986* has been paid at the prescribed rate of 0.35% of the total cost of the work to either the Long Service Payments Corporation or Council for any work costing \$25,000 or more.

**2. Security Deposit - Standard**

Prior to the commencement of demolition works or issue of a Construction Certificate, the Certifying Authority must be provided with written evidence that a security deposit and inspection fee has been paid to Council to cover the cost of making good any damage caused to any Council property or the physical environment as a consequence of carrying out the works and as surety for the proper completion of any road, footpath and drainage works required by this consent.

<b>Security Deposit:</b>	\$2,152.50
<b>Inspection Fee:</b>	\$230.65

Payment will be accepted in the form of cash, bank cheque, EFTPOS/credit card (to a maximum of \$10,000) or bank guarantee. Bank Guarantees must not have an expiry date.

The inspection fee is required for the Council to determine the condition of the adjacent road reserve and footpath prior to and on completion of the works being carried out.

Should any of Council's property and/or the physical environment sustain damage during the course of the demolition or construction works, or if the works put Council's assets or the environment at risk, or if any road, footpath or drainage works required by this consent are not completed satisfactorily, Council may carry out any works necessary to repair the damage, remove the risk or complete the works. Council may utilise part or all of the security deposit to restore any damages, and Council may recover, in any court of competent jurisdiction, any costs to Council for such restorations.

A request for release of the security may be made to the Council after all construction work has been completed and a final Occupation Certificate issued.

The amount nominated is only current for the financial year in which the consent was issued and is revised each financial year. The amount payable must be consistent with Council's Fees and Charges in force at the date of payment.

**GENERAL CONDITIONS****3. Heritage Conservation Area - Colour Palette**

Prior to the issue of a Construction Certificate, an amended schedule of colours and finishes is to be submitted to the Certifying Authority that demonstrates the use of light grey cladding (for element EF-02) and colour bond roofing (for element EF-04). The following equivalents of the mid to dark greys in the Australian Standard Colours AS2700 are **not** acceptable: N42 Storm Grey, N44 Bridge Grey, N52 Mid Grey, N54 Basalt, N55 Lead Grey, N63 Pewter, N64 Dark Grey and N65 Graphite Grey.

The colourbond metal roofing is to have a medium (M) solar absorptance rating under the BCA.

**4. Heritage – Face Brickwork**

Existing face brickwork is not to be sealed or painted. Repairs to existing external brickwork are to be undertaken using the same type and strength of mortar as the existing. Hard cement mortar is not to be utilised.

**5. Heritage – Sandstone Repair**

Sandstone walling is not to be sealed or painted. Repairs to existing sandstone walls are to be undertaken using Compo Mortar. Hard cement mortar is not to be utilised as this can hasten the deterioration of the surrounding stonework.

**6. Documents related to the consent**

The development must be carried out in accordance with plans and documents listed below:

Plan, Revision and Issue No.	Plan Name	Date Issued	Prepared by
DA300/P11	Architectural Plans - Ground Floor	3/11/2020	DKO
DA301/P11	Architectural Plans - First Floor	3/11/2020	DKO
DA302/P9	Architectural Plans - Roof Plan	3/11/2020	DKO
DA303/P10	Architectural Plans - West Elevation	3/11/2020	DKO
DA304/P11	Architectural Plans - East Elevation	3/11/2020	DKO
DA305/P10	Architectural Plans - North Elevation	3/11/2020	DKO
DA306/P10	Architectural Plans - South Elevation	3/11/2020	DKO
DA307/P11	Architectural Plans - Section S-03	3/11/2020	DKO
DA308/P9	Architectural Plans - Section S-04	3/11/2020	DKO
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	Arboricultural Development Impact Assessment Report	14/05/2019	Birds Tree Consultancy

As amended by the conditions of consent.  
(As modified by MOD/2020/0293)

As amended by the conditions of consent.

#### 7. Design Change

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans demonstrating the following:

- a. ~~All basement areas including the lower floor Storage room, stairwell to the storage room and adjacent void area must be deleted such that the floor levels of all new internal areas are at or above RL15.180m AHD.~~
- b. ~~The masonry parapet roof form above the rear single-storey living room structure shall be deleted and the roof over this area shall be altered to be a low, shallow pitched skillion roof falling toward the side boundary with 93 Grove Street so as to reduce shadow impact to that property.~~
- c. ~~The gable ended roof at the rear of the first floor addition shall be modified to a partial hip, commencing at a point equal to 2.5m above finished floor level of the master bedroom/ensuite, and pitching at 30 degrees back towards the front of the site.~~
- d. The existing glazed enclosure of the front verandah shall be removed.
- e. Prior to the issue of a Construction Certificate, an amended schedule of colours and finishes is to be submitted to the Certifying Authority that demonstrates the use of light grey cladding (for element EF-02) and colour bond roofing (for element EF-04). The following equivalents of the mid to dark greys in the Australian Standard Colours AS2700 are not acceptable: N42 Storm Grey, N44 Bridge Grey, N52 Mid Grey, N54 Basalt, N55 Lead Grey, N63 Pewter, N64 Dark Grey and N65 Graphite Grey.
- f. The colorbond metal roofing is to have a medium (M) solar absorptance rating under the BCA.
- g. Existing face brickwork is not to be sealed or painted. Repairs to existing external brickwork are to be undertaken using the same type and strength of mortar as the existing. Hard cement mortar is not to be utilised.
- h. Sandstone walling is not to be sealed or painted. Repairs to existing sandstone walls are to be undertaken using Compo Mortar. Hard cement mortar is not to be utilised as this can hasten the deterioration of the surrounding stonework.
- i. Modern paint films are not to be employed on any building element dating from prior to 1930. Modern paint films trap moisture and salts and are prone to blistering and failure when applied to traditional building materials. Finishes such as lime wash or mineral paint that are designed to be breathable are to be utilised. Where render has been finished using a cement wash, this treatment should be continued.
- j. No penetrations for services through original brickwork are to be undertaken. Existing air vents are not to be reduced in size by pipework. The route of any new service lines are to be carefully worked out on site to minimise impact on significant internal fabric such as timber joinery or fibrous plaster ceilings.

~~k. Fixed horizontal louvres shall be installed above the solid balustrade of the side balcony serving the upper level master bedroom, achieving a height of 1600mm above the finished floor level.~~

l. The setback of the south western wall shall be increased to be a minimum of 900mm from the boundary.

(As modified by MOD/2020/0293)

#### **8. Waste Management Plan**

Prior to the commencement of any works (including any demolition works), the Certifying Authority is required to be provided with a Recycling and Waste Management Plan (RWMP) in accordance with the relevant Development Control Plan.

#### **9. Erosion and Sediment Control**

Prior to the issue of a commencement of any works (including any demolition works), the Certifying Authority must be provided with an erosion and sediment control plan and specification. Sediment control devices must be installed and maintained in proper working order to prevent sediment discharge from the construction site.

#### **10. Standard Street Tree Protection**

Prior to the commencement of any work, the Certifying Authority must be provided with details of the methods of protection of all street trees adjacent to the site during demolition and construction.

#### **11. Verification of Levels and Location**

Prior to the pouring of the ground floor slab or at dampcourse level, whichever is applicable or occurs first, the Principal Certifier must be provided with a survey levels certificate prepared by a Registered Surveyor indicating the level of the slab and the location of the building with respect to the boundaries of the site to AHD.

#### **12. Works Outside the Property Boundary**

This development consent does not authorise works outside the property boundaries on adjoining lands.

#### **13. Boundary Alignment Levels**

Alignment levels for the site at all pedestrian and vehicular access locations must match the existing back of footpath levels at the boundary.

#### 14. Tree Protection

No trees on public property (footpaths, roads, reserves etc.) are to be removed or damaged during works unless specifically approved in this consent or marked on the approved plans for removal.

Prescribed trees protected by Council's Management Controls on the subject property and/or any vegetation on surrounding properties must not be damaged or removed during works unless specific approval has been provided under this consent.

Any public tree within five (5) metres of the development must be protected in accordance with Council's *Development Fact Sheet—Trees on Development Sites*.

No activities, storage or disposal of materials taking place beneath the canopy of any tree (including trees on neighbouring sites) protected under Council's Tree Management Controls at any time.

The trees identified below are to be retained and protected in accordance with the conditions of consent or approved Tree Protection Plan throughout the development (note: tree numbers must correspond with approved Tree Protection Plan if conditioned) :

Tree No.	Botanical/Common Name	Location
1	<i>Callistemon viminalis</i> (Weeping Bottlebrush)	Located in the rear property
2	<i>Murraya paniculata</i> (Orange Jessamine)	Located in the rear property

Details of the trees must be included on all Construction Certificate plans and shall be annotated in the following way:

- Green for trees to be retained;
- Red for trees to be removed;
- Blue for trees to be pruned; and
- Yellow for trees to be transplanted.

#### 15. Project Arborist

Prior to the commencement of any demolition or construction works within close proximity to protected trees a Project Arborist must be engaged for the duration of the site preparation, demolition, construction and landscaping to supervise works. Details of the Project Arborist must be submitted to the Certifying Authority before work commences.

#### 16. Works to Trees

Approval is given for the following works to be undertaken to trees on the site after the issuing of a Construction Certificate:

Tree/location	Approved works
---------------	----------------

Citrus spp. (Citrus tree) located in the rear of the site.	Removal
--	---------

Removal or pruning of any other tree (that would require consent of Council) on the site is not approved and shall be retained and protected in accordance with Council's *Development Fact Sheet—Trees on Development Sites*.

#### **PRIOR TO ANY DEMOLITION**

##### **17. Dilapidation Report**

Prior to any works commencing (including demolition), the Certifying Authority and owners of identified properties, must be provided with a colour copy of a dilapidation report prepared by a suitably qualified person. The report is required to include colour photographs of all the adjoining properties to the Certifying Authority's satisfaction. In the event that the consent of the adjoining property owner cannot be obtained to undertake the report, copies of the letter/s that have been sent via registered mail and any responses received must be forwarded to the Certifying Authority before work commences.

##### **18. Advising Neighbors Prior to Excavation**

At least 7 days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.

##### **19. Construction Fencing**

Prior to the commencement of any works (including demolition), the site must be enclosed with suitable fencing to prohibit unauthorised access. The fencing must be erected as a barrier between the public place and any neighbouring property.

#### **PRIOR TO CONSTRUCTION CERTIFICATE**

##### **20. Structural Certificate for retained elements of the building**

Prior to the issue of a Construction Certificate, the Certifying Authority is required to be provided with a Structural Certificate prepared by a practising structural engineer, certifying the structural adequacy of the property and its ability to withstand the proposed additional, or altered structural loads during all stages of construction. The certificate must also include all details of the methodology to be employed in construction phases to achieve the above requirements without result in demolition of elements marked on the approved plans for retention.

**21. Sydney Water – Tap In**

Prior to the issue of a Construction Certificate, the Certifying Authority is required to ensure approval has been granted through Sydney Water's online 'Tap In' program to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met.

*Note: Please refer to the web site <http://www.sydneywater.com.au/tapin/index.htm> for details on the process or telephone 13 20 92*

**22. Dilapidation Report – Pre-Development – Minor**

Prior to the issue of a Construction Certificate or any demolition, the Certifying Authority must be provided with a dilapidation report including colour photos showing the existing condition of the footpath and roadway adjacent to the site.

**23. Stormwater Drainage System – Minor Developments (OSD is not required)**

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with stormwater drainage design plans certified by a suitably qualified Civil Engineer that the design of the site drainage system complies with the following specific requirements:

- a. Stormwater runoff from all roof areas within the property being collected in a system of gutters, pits and pipeline and be discharged, together with overflow pipelines from any rainwater tank(s), by gravity to the kerb and gutter of a public road or directly to the Council stormwater pit on Grove Street;
- b. Comply with Council's Stormwater Drainage Code, Australian Rainfall and Runoff (A.R.R.), Australian Standard AS3500.3-2018 'Stormwater Drainage' and Council's DCP;
- c. Pipe and channel drainage systems must be designed to cater for the twenty (20) year Average Recurrence Interval (ARI) storm in the case of low and medium residential developments, the twenty (20) year ARI Storm in the case of high-density residential development and commercial and/or industrial developments and the fifty (50) year ARI Storm in the case of heavy industry. In all cases, the major event surface flow paths must be designed to cater for the one hundred (100) year ARI Storm;
- d. Charged or pump-out stormwater drainage systems are not permitted including for roof drainage;
- e. To provide for adequate site drainage all roof and surface stormwater from the site and any catchment external to the site that presently drains to it, must be collected in a system of pits and pipelines/channels and major storm event surface flow paths and being discharged to a stormwater drainage system in accordance with the requirements of Council's DCP.
- f. The design plans must detail the existing and proposed site drainage layout, size, class and grade of pipelines, pit types, roof gutter and downpipe sizes;
- g. An overland flowpath must be provided within the setback to the north eastern side boundary between the rear of the dwelling and the Grove Street frontage. The rear

courtyard must be graded so that bypass flows from the site drainage system are directed to the overland flowpath. Surface flows must not be directed into adjoining properties.

- h. The stormwater system must not be influenced by backwater effects or hydraulically controlled by the receiving system;
- i. A minimum 150mm step up shall be provided between all external finished surfaces and adjacent internal floor areas;
- j. The design must make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands;
- k. No nuisance or concentration of flows to other properties;
- l. The stormwater system must not be influenced by backwater effects or hydraulically controlled by the receiving system;
- m. The design plans must specify that any components of the existing system to be retained must be certified during construction to be in good condition and of adequate capacity to convey the additional runoff generated by the development and be replaced or upgraded if required;
- n. An inspection opening or stormwater pit must be installed inside the property, adjacent to the boundary, for all stormwater outlets;
- o. Only a single point of discharge is permitted to the kerb and gutter, per frontage of the site;
- p. New pipelines within the footpath area that are to discharge to the kerb and gutter must be hot dipped galvanised steel hollow section with a minimum wall thickness of 4.0mm and a maximum section height and width of 100mm ;
- q. All redundant pipelines within footpath area must be removed and footpath/kerb reinstated;

#### **DURING DEMOLITION AND CONSTRUCTION**

##### **24. Construction Hours – Class 1 and 10**

Unless otherwise approved by Council, excavation, demolition, construction or subdivision work are only permitted between the hours of 7:00am to 5:00pm, Mondays to Saturdays (inclusive) with no works permitted on, Sundays or Public Holidays.

##### **25. Survey Prior to Footings**

Upon excavation of the footings and before the pouring of the concrete, the Certifying Authority must be provided with a certificate of survey from a registered land surveyor to verify that the structure will not encroach over the allotment boundaries.

## 26. Tree Protection Zone

To protect the following tree/s, no work must commence until its/their Protection Zone is fenced off at the specified radius from the trunk/s to prevent any activities, storage or the disposal of materials within the fenced area in accordance with Council's *Development Fact Sheet—Trees on Development Sites*. The fence/s (including existing boundary fencing) must be maintained intact until the completion of all demolition/building work on site.

Tree No.	Botanical/Common Name	Radius in metres
1	<i>Callistemon viminalis</i> (Weeping Bottlebrush) located in rear property.	5.0
2	<i>Murraya paniculata</i> (Orange Jessamine) located in the rear property.	4.0

## 27. Inspections by Project Arborist

The trees to be retained must be inspected, monitored and treated by the Project Arborist during and after completion of development works to ensure their long-term survival. Regular inspections and documentation from the Project Arborist to the Certifying Authority are required at the following times or phases of work:

Tree No./ Botanical/ Common Name/ Location	Time of Inspection	Key stage/ Hold point
1. <i>Callistemon viminalis</i> (Weeping Bottlebrush) located in rear property.  2. <i>Murraya paniculata</i> (Orange Jessamine) located in the rear property.	Prior to commencement of works	<ul style="list-style-type: none"> <li>Inspection and sign off installation of tree protection measures.</li> </ul>
	During Works	<ul style="list-style-type: none"> <li>Supervise all site preparation and demolition works within the TPZ;</li> <li>Supervise all works inside or above the TPZ;</li> <li>Supervise all excavation, trenching works, landscaping works and tree/planting</li> </ul>

		replenishment within the TPZ; • Supervise all tree work.
	• All tree protection measures must be undertaken in accordance with submitted <i>Arboricultural Development Impact Assessment Report</i> , prepared by <i>Birds Tree Consultancy</i> , dated 14/05/2019 and section 4 of AS4970— <i>Protection of trees on development sites</i> .	

Recommendations to ensure the tree/s long term survival must be carried out immediately upon receipt of the report.

**28. Limited Root Pruning**

No tree roots of 30mm or greater in diameter located within the specified radius of the trunk/s of the following tree/s must be severed or injured in the process of any works during the construction period:

Tree No.	Botanical/Common Name	Radius in metres
1	<i>Callistemon viminalis</i> (Weeping Bottlebrush)	5.0
2	<i>Murraya paniculata</i> (Orange Jessamine)	4.0

All excavation within the specified radius of the trunk(s) of the following tree(s) being hand dug to a depth of one (1) metre under direct supervision of the Project Arborist and then by mechanical means as agreed by the Project Arborist. If tree roots less than 30mm diameter are required to be severed for the purposes of constructing the approved works, they must be cut cleanly using a sharp and *fit for purpose tool*. The pruning must be undertaken by a practicing Arborist.

**PRIOR TO OCCUPATION CERTIFICATE**

**29. Smoke Alarms - Certification of upgrade to NCC requirements**

Prior to the issue of any Occupation Certificate, the Principal Certifier is required to be satisfied the existing building has been upgraded to comply with the provisions of the National Construction Code (Building Code of Australia) in relation to smoke alarm systems.

**30. No Encroachments**

Prior to the issue of an Occupation Certificate, the Principal Certifier must ensure that any encroachments on to Council road or footpath resulting from the building works have been removed, including opening doors, gates and garage doors with the exception of any awnings or balconies approved by Council.

**31. Works as Executed – Site Stormwater Drainage System**

Prior to the issue of an Occupation Certificate, the Principal Certifier must be provided with Certification by a suitably qualified Civil Engineer that:

- a. The stormwater drainage system has been constructed in accordance with the approved design and relevant Australian Standards; and
- b. Works-as-executed plans of the stormwater drainage system certified by a Registered Surveyor, to verify that the drainage system has been constructed in accordance with the approved design and relevant Australian Standards have been submitted to Council. The works-as-executed plan(s) must show the as built details in comparison to those shown on the drainage plans approved with the Construction Certificate. All relevant levels and details indicated must be marked in red on a copy of the Principal Certifier stamped Construction Certificate plans.

**32. Certification of Tree Planting**

Prior to the issue of any Occupation Certificate, the Principal Certifier is to be provided with evidence certified by a person holding a minimum qualification of AQF3 Certificate of Horticulture or Arboriculture that:

A minimum of 1 x seventy five (75) litre size additional tree, which will attain a minimum mature height of six (6) metres, must be planted in a more suitable location within the property at a minimum of 1.5 metres from any boundary or structure and allowing for future tree growth. The tree is to conform to AS2303—*Tree stock for landscape use*. Trees listed on the species list from Council's Tree Management Controls, palms, fruit trees and species recognised to have a short life span will not be accepted as suitable replacements.

If the replacement trees are found to be faulty, damaged, dying or dead within twelve (12) months of planting then they must be replaced with the same species (up to 3 occurrences). If the trees are found dead before they reach a height where they are protected by Council's Tree Management Controls, they must be replaced with the same species.

**33. Project Arborist Certification**

Prior to the issue of any Occupation Certificate, the Principal Certifier is to be provided with certification from the project arborist the requirements of the conditions of consent related to the landscape plan and the role of the project arborist have been complied with.

**ON-GOING****34. Maintenance of tree plantings**

The tree/s planted as part of this consent is/are to be maintained in a healthy and vigorous condition for 12 months from the issue of an Occupation Certificate. If any of the tree/s is/are found faulty, damaged, dying or dead within 12 months of the issue of an Occupation Certificate it/they must be replaced with the same species within one (1) month (up to 3 occurrences).

**ADVISORY NOTES****Prescribed Conditions**

This consent is subject to the prescribed conditions of consent within clause 98-98E of the *Environmental Planning and Assessment Regulations 2000*.

**Notification of commencement of works**

At least 7 days before any demolition work commences:

- a. the Council must be notified of the following particulars:
  - i. the name, address, telephone contact details and licence number of the person responsible for carrying out the work; and
  - ii. the date the work is due to commence and the expected completion date; and
- b. a written notice must be placed in the letter box of each directly adjoining property identified advising of the date the work is due to commence.

**Storage of Materials on public property**

The placing of any materials on Council's footpath or roadway is prohibited, without the prior consent of Council.

**Other Approvals may be needed**

Approvals under other acts and regulations may be required to carry out the development. It is the responsibility of property owners to ensure that they comply with all relevant legislation. Council takes no responsibility for informing applicants of any separate approvals required.

**Failure to comply with conditions**

Failure to comply with the relevant provisions of the *Environmental Planning and Assessment Act 1979* and/or the conditions of this consent may result in the serving of penalty notices or legal action.

**Other works**

Works or activities other than those approved by this Development Consent will require the submission of a new Development Application or an application to modify the consent under Section 4.55 of the *Environmental Planning and Assessment Act 1979*.

**Obtaining Relevant Certification**

This development consent does not remove the need to obtain any other statutory consent or approval necessary under any other Act, such as (if necessary):

- a. Application for any activity under that Act, including any erection of a hoarding;
- b. Application for a Construction Certificate under the *Environmental Planning and Assessment Act 1979*;
- c. Application for an Occupation Certificate under the *Environmental Planning and Assessment Act 1979*;
- d. Application for a Subdivision Certificate under the *Environmental Planning and Assessment Act 1979* if land (including stratum) subdivision of the development site is proposed;
- e. Application for Strata Title Subdivision if strata title subdivision of the development is proposed;
- f. Development Application for demolition if demolition is not approved by this consent; or
- g. Development Application for subdivision if consent for subdivision is not granted by this consent.

**National Construction Code (Building Code of Australia)**

A complete assessment of the application under the provisions of the National Construction Code (Building Code of Australia) has not been carried out. All building works approved by this consent must be carried out in accordance with the requirements of the National Construction Code.

**Notification of commencement of works**

Residential building work within the meaning of the *Home Building Act 1989* must not be carried out unless the PCA (not being the council) has given the Council written notice of the following information:

- a. In the case of work for which a principal contractor is required to be appointed:
  - i. The name and licence number of the principal contractor; and
  - ii. The name of the insurer by which the work is insured under Part 6 of that Act.

- b. In the case of work to be done by an owner-builder:
  - i. The name of the owner-builder; and
  - ii. If the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

**Dividing Fences Act**

The person acting on this consent must comply with the requirements of the *Dividing Fences Act 1991* in respect to the alterations and additions to the boundary fences.

**Permits from Council under Other Acts**

Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent must obtain all applicable Permits from Council in accordance with Section 68 (Approvals) of the *Local Government Act 1993* and/or Section 138 of the *Roads Act 1993*. Permits are required for the following activities:

- a. Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application;
- b. A concrete pump across the roadway/footpath;
- c. Mobile crane or any standing plant;
- d. Skip bins;
- e. Scaffolding/Hoardings (fencing on public land);
- f. Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.;
- g. Awning or street verandah over footpath;
- h. Partial or full road closure; and
- i. Installation or replacement of private stormwater drain, utility service or water supply.

Contact Council's Road Access team to ensure the correct Permit applications are made for the various activities. A lease fee is payable for all occupations.

**Noise**

Noise arising from the works must be controlled in accordance with the requirements of the *Protection of the Environment Operations Act 1997* and guidelines contained in the New South Wales Environment Protection Authority Environmental Noise Control Manual.

**Lead-based Paint**

Buildings built or painted prior to the 1970's may have surfaces coated with lead-based paints. Recent evidence indicates that lead is harmful to people at levels previously thought safe. Children particularly have been found to be susceptible to lead poisoning and cases of acute child lead poisonings in Sydney have been attributed to home renovation activities involving the removal of lead based paints. Precautions should therefore be taken if painted surfaces are to be removed or sanded as part of the proposed building alterations, particularly where children or pregnant women may be exposed, and work areas should be thoroughly cleaned prior to occupation of the room or building.

**Dial before you dig**

Contact "Dial Prior to You Dig" prior to commencing any building activity on the site.

**Useful Contacts**

BASIX Information	1300 650 908 weekdays 2:00pm - 5:00pm <a href="http://www.basix.nsw.gov.au">www.basix.nsw.gov.au</a>
Department of Fair Trading	13 32 20 <a href="http://www.fairtrading.nsw.gov.au">www.fairtrading.nsw.gov.au</a> Enquiries relating to Owner Builder Permits and Home Warranty Insurance.
Dial Prior to You Dig	1100 <a href="http://www.dialprior toyoudig.com.au">www.dialprior toyoudig.com.au</a>
Landcom	9841 8660 To purchase copies of Volume One of "Soils and Construction"
Long Service Corporation	Payments 131441 <a href="http://www.lspc.nsw.gov.au">www.lspc.nsw.gov.au</a>
NSW Food Authority	1300 552 406 <a href="http://www.foodnotify.nsw.gov.au">www.foodnotify.nsw.gov.au</a>
NSW Government	<a href="http://www.nsw.gov.au/fibro">www.nsw.gov.au/fibro</a> <a href="http://www.diysafe.nsw.gov.au">www.diysafe.nsw.gov.au</a> Information on asbestos and safe work practices.
NSW Office of Environment and Heritage	131 555 <a href="http://www.environment.nsw.gov.au">www.environment.nsw.gov.au</a>
Sydney Water	13 20 92 <a href="http://www.sydneywater.com.au">www.sydneywater.com.au</a>
Waste Service - Environmental Solutions	SITA 1300 651 116 <a href="http://www.wasteservice.nsw.gov.au">www.wasteservice.nsw.gov.au</a>

Water Efficiency Labelling and Standards (WELS) [www.waterrating.gov.au](http://www.waterrating.gov.au)

WorkCover Authority of NSW 13 10 50

[www.workcover.nsw.gov.au](http://www.workcover.nsw.gov.au)

Enquiries relating to work safety and asbestos removal and disposal.

### Asbestos Removal

A demolition or asbestos removal contractor licensed under the Work Health and Safety Regulations 2011 must undertake removal of more than 10m<sup>2</sup> of bonded asbestos (or otherwise specified by WorkCover or relevant legislation).

Removal of friable asbestos material must only be undertaken by a contractor that holds a current Class A Friable Asbestos Removal Licence.

Demolition sites that involve the removal of asbestos must display a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS' measuring not less than 400mm x 300mm is to be erected in a prominent visible position on the site to the satisfaction of Council's officers. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos has been removed from the site to an approved waste facility.

All asbestos waste must be stored, transported and disposed of in compliance with the Protection of the Environment Operations (Waste) Regulation 2014. All receipts detailing method and location of disposal must be submitted to Council as evidence of correct disposal.

### Permits

Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent must obtain all applicable Permits from Council in accordance with Section 68 (Approvals) of the *Local Government Act 1993* and/or Section 138 of the *Roads Act 1993*. Permits are required for the following activities:

- a. Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application;
- b. A concrete pump across the roadway/footpath;
- c. Mobile crane or any standing plant;
- d. Skip Bins;
- e. Scaffolding/Hoardings (fencing on public land);
- f. Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.;
- g. Awning or street veranda over the footpath;
- h. Partial or full road closure; and

- i. Installation or replacement of private stormwater drain, utility service or water supply.

If required contact Council's Road Access team to ensure the correct Permit applications are made for the various activities. Applications for such Permits must be submitted and approved by Council prior to the commencement of the works associated with such activity.

**Arborists standards**

All tree work must be undertaken by a practicing Arborist. The work must be undertaken in accordance with AS4373—*Pruning of amenity trees* and the Safe Work Australia Code of Practice—*Guide to Managing Risks of Tree Trimming and Removal Work*. Any works in the vicinity of the Low Voltage Overhead Network (including service lines—pole to house connections) must be undertaken by an approved Network Service Provider contractor for the management of vegetation conflicting with such services. Contact the relevant Network Service Provider for further advice in this regard.

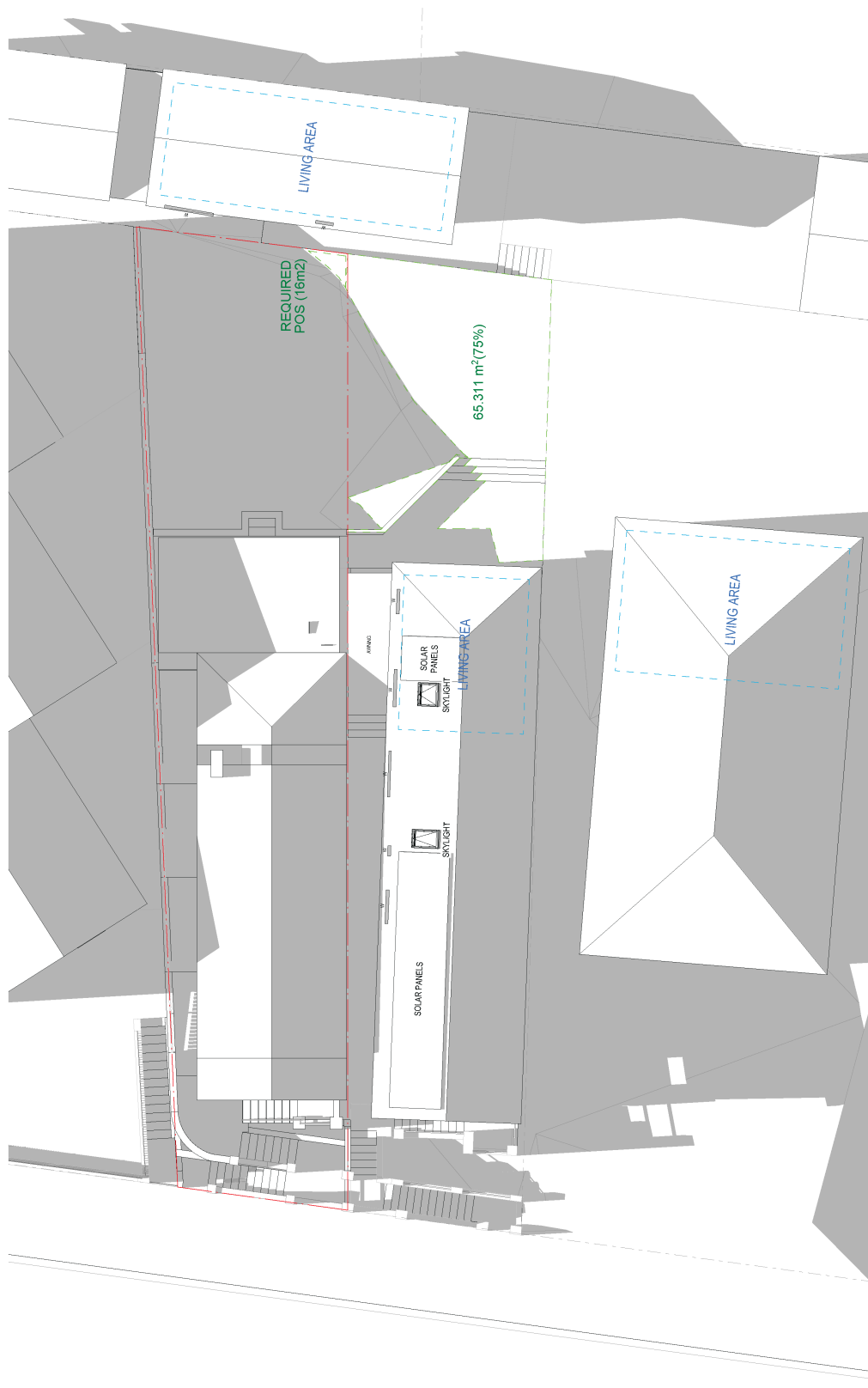
**Tree Protection Works**

All tree protection for the site must be undertaken in accordance with Council's *Development Fact Sheet—Trees on Development Sites* and AS4970—*Protection of trees on development sites*.

**Tree Pruning or Removal (including root pruning/mapping)**

Removal or pruning of any other tree (that would require consent of Council) on the site is not approved and must be retained and protected in accordance with Council's *Development Fact Sheet—Arborist Reports*.

# Attachment D – Approved Plans of MOD/2020/0293



1 JUNE 21 9AM EXISTING

Scale 1:100

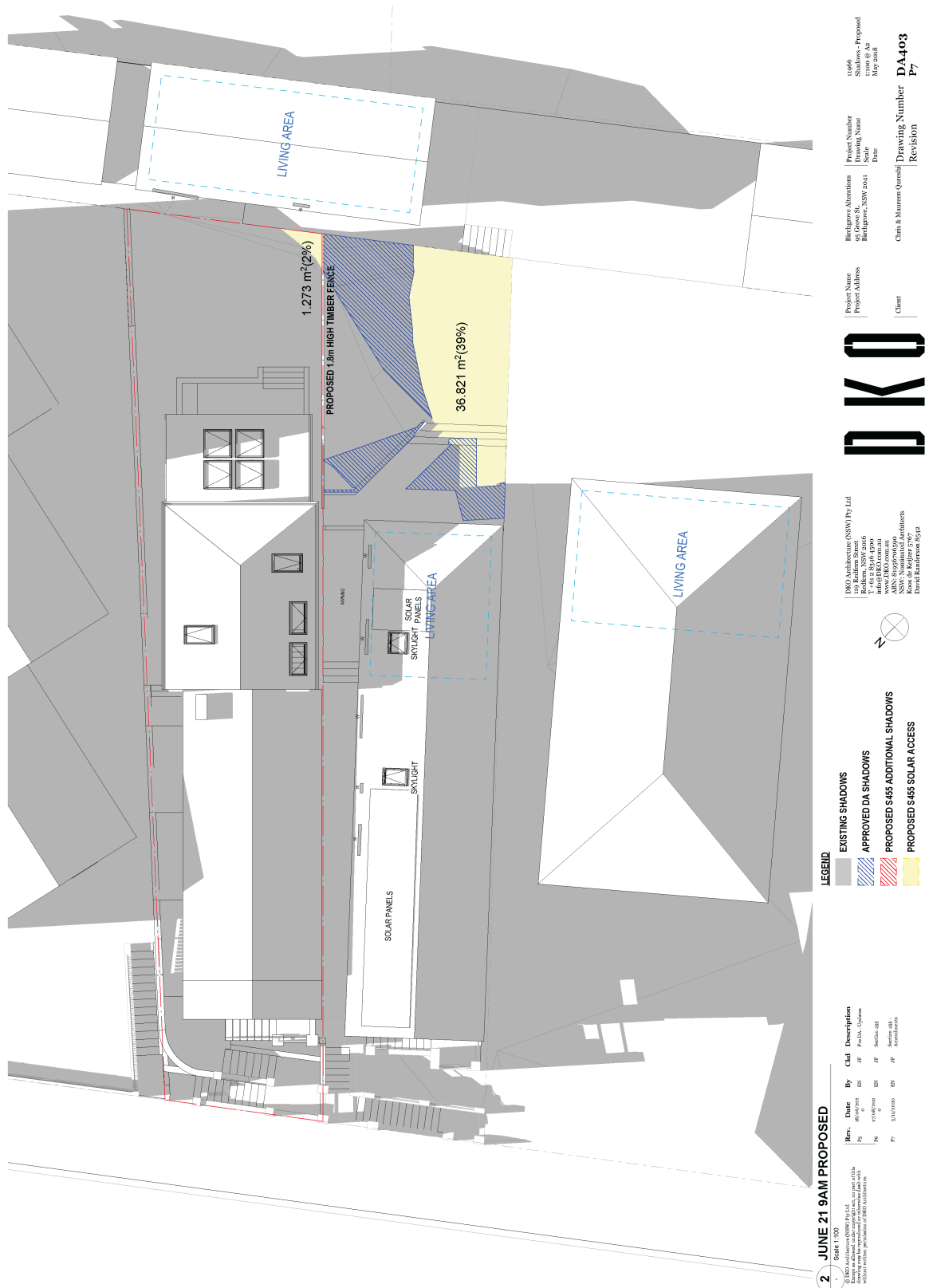
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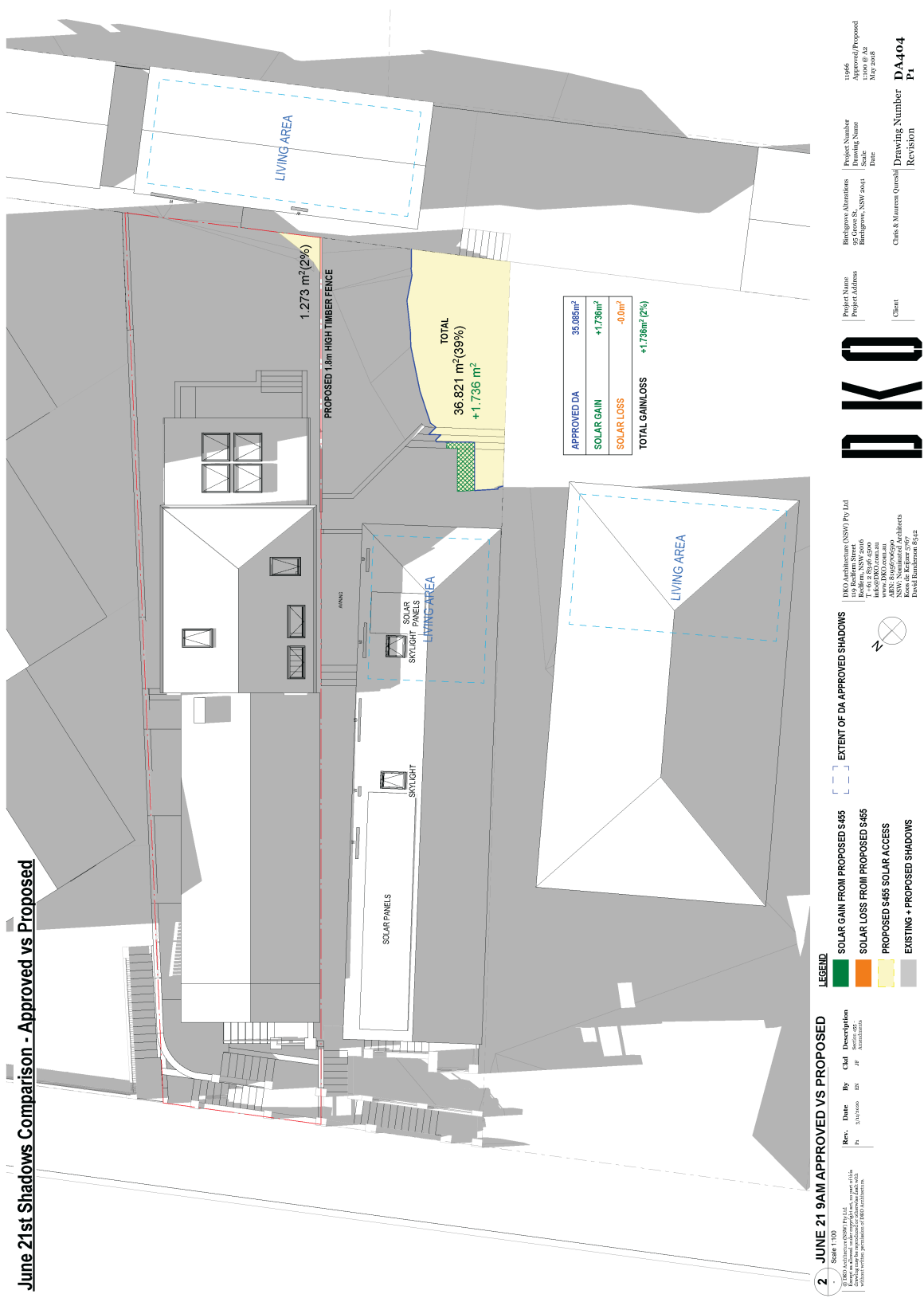
Rev.	Date	By	Clad	Description
01	21/06/2020	DKS	JP	Final AIA Update
02	21/06/2020	DKS	JP	Section 485 - Annotations

DKO Architects (NSW) Pty Ltd  
 1/100-110/112  
 Redfern, NSW 2016  
 Tel: 02 9247 4400  
 info@dko.com.au  
 www.dko.com.au  
 NSW Registered Architects  
 David Rasmussen (Reg)

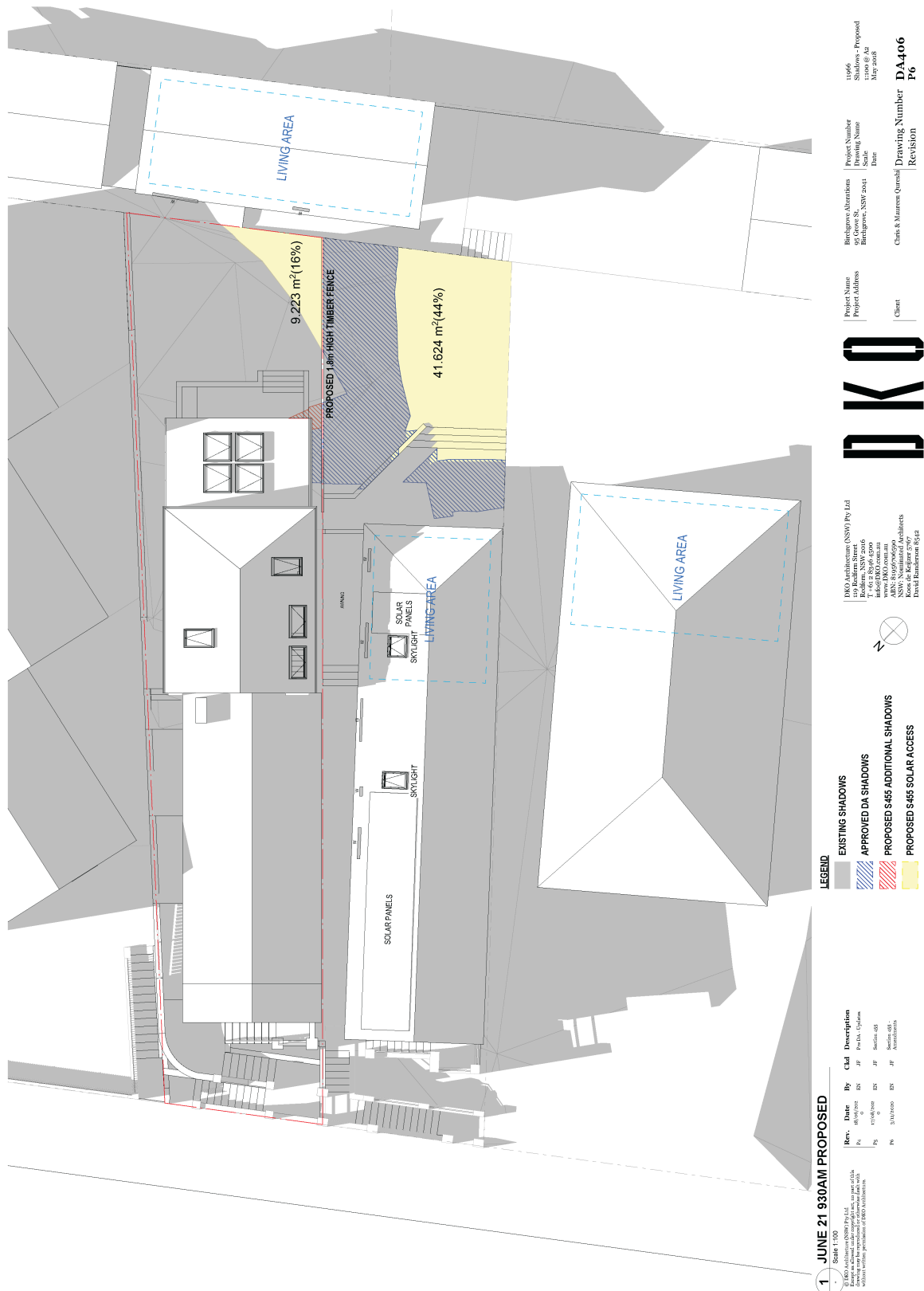
**DKO**

Project Name: Bridgegrove Alterations  
 Project Address: Bridgegrove, NSW 2041  
 Client: Chris & Maureen Quinlan  
 Project Number: 11966  
 Drawing Name: 11966 01 A3  
 Scale: May 2018  
 Date: May 2018  
 Drawing Number: DA402  
 Revision: P10

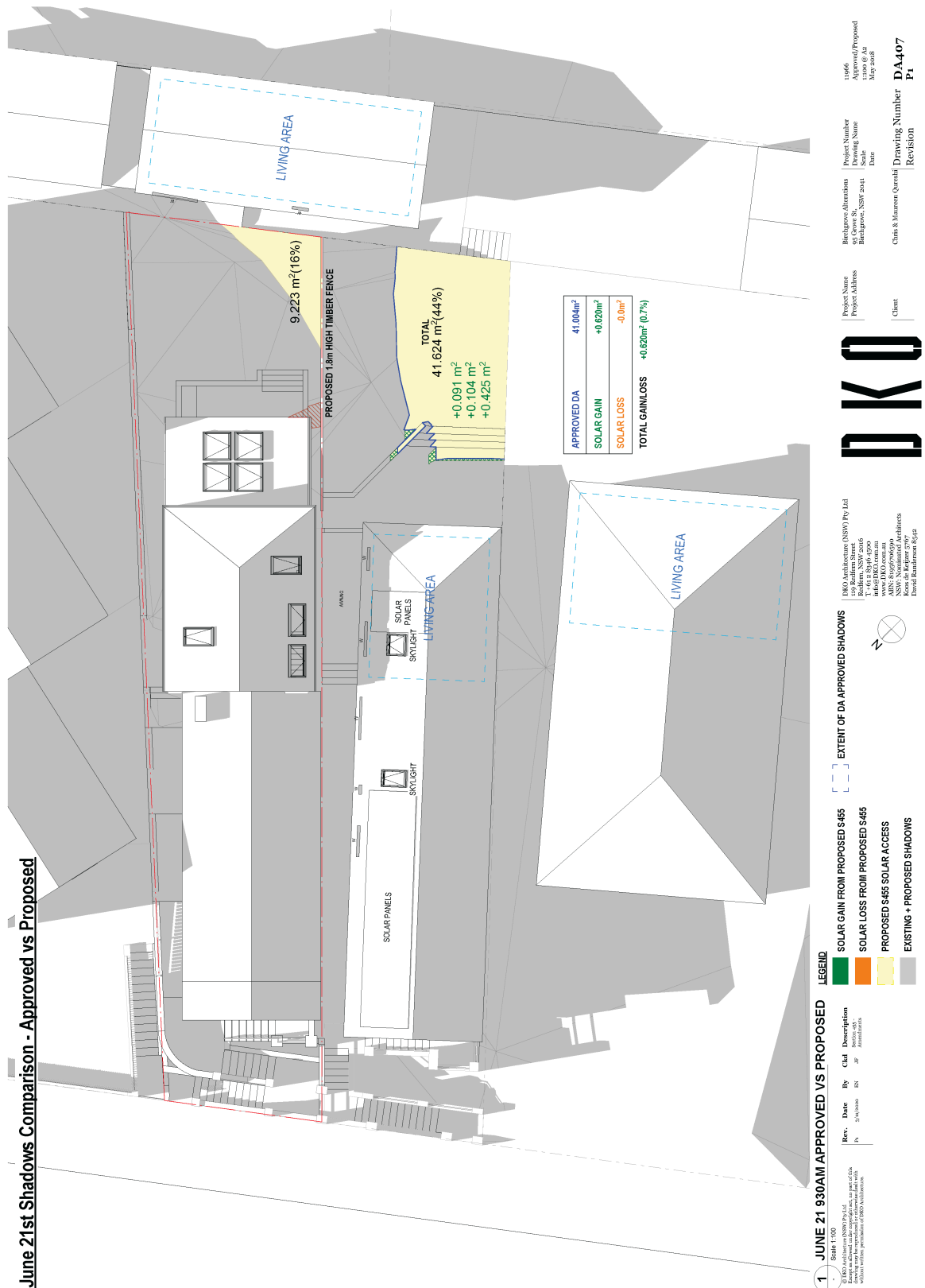


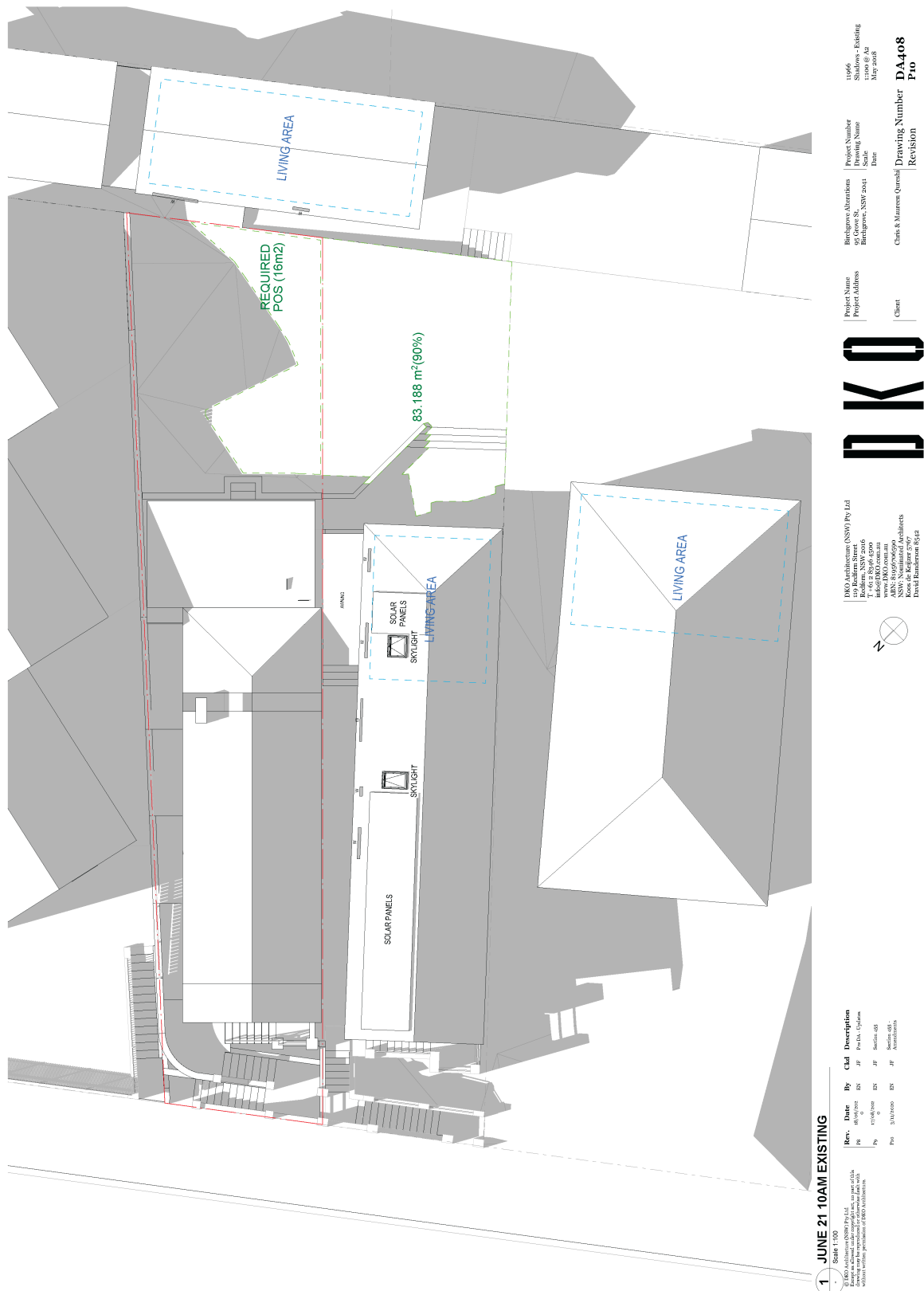


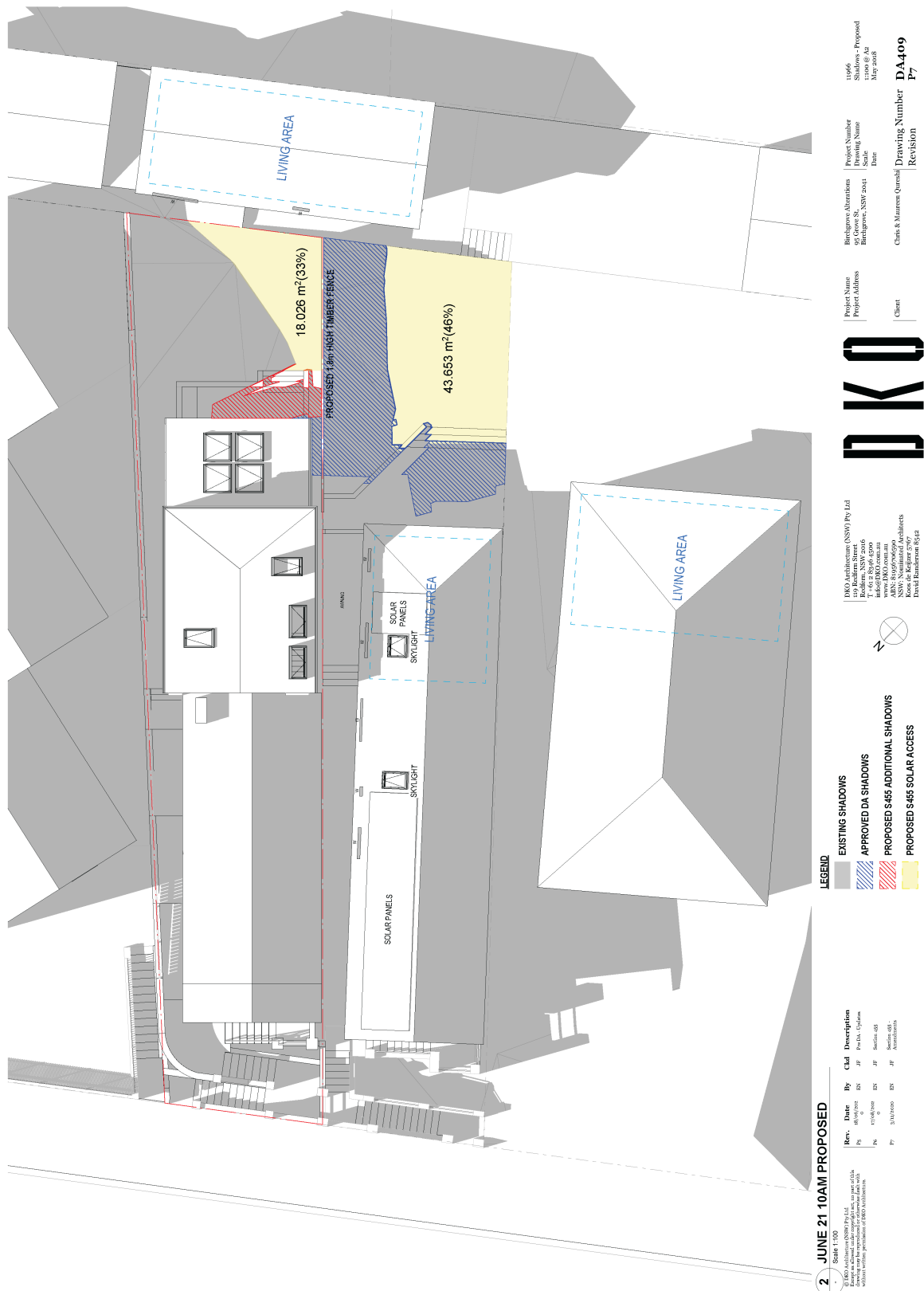




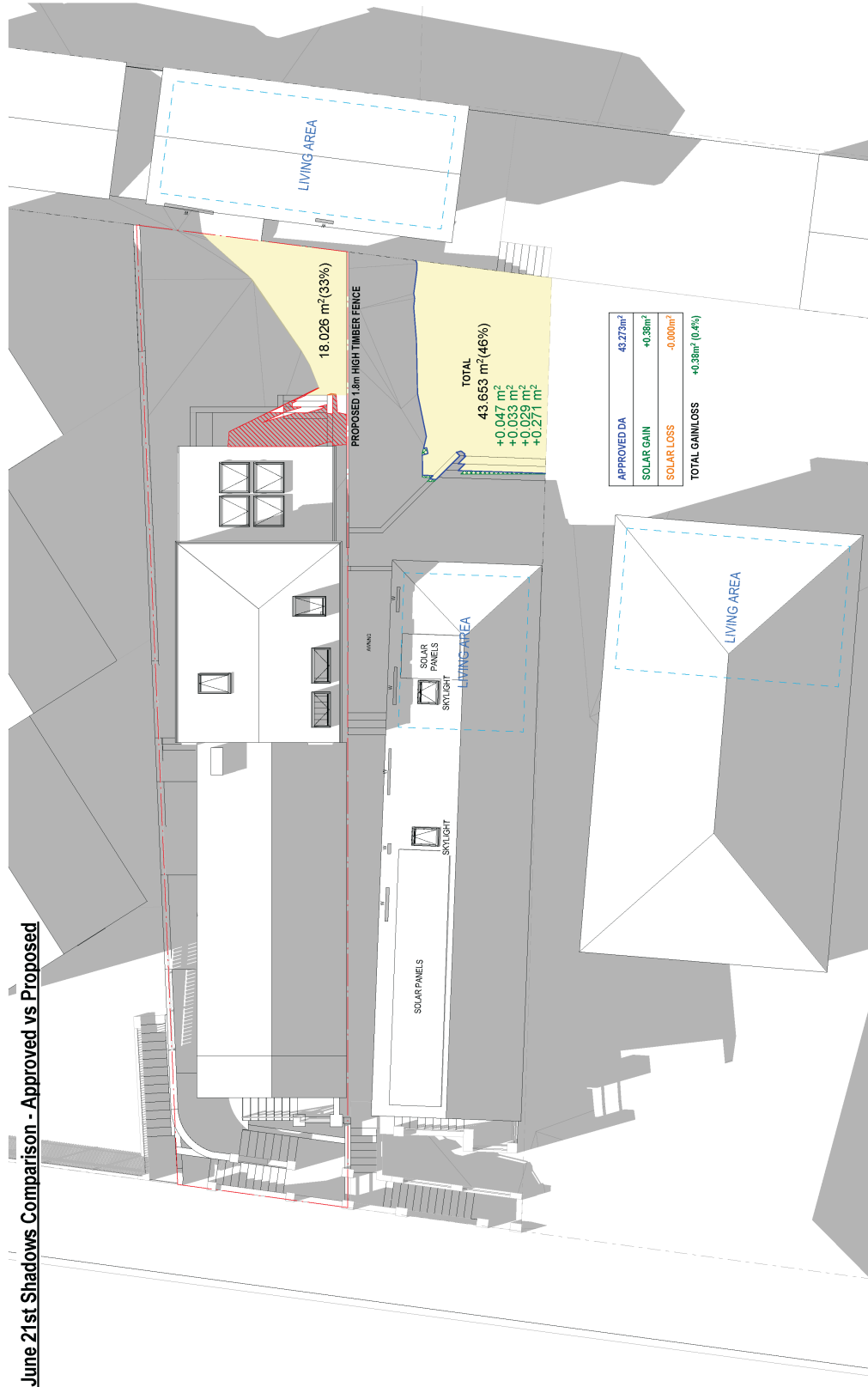
### June 21st Shadows Comparison - Approved vs Proposed







June 21st Shadows Comparison - Approved vs Proposed



2 JUNE 21 10AM APPROVED VS PROPOSED

Scale 1:100

DA410 is a preliminary design and is not a final design. It is subject to change without notice. The final design will be determined by the Local Planning Panel.

Rev.	Date	By	Clk	Description
1	21/06/2020	DA	JP	Approved

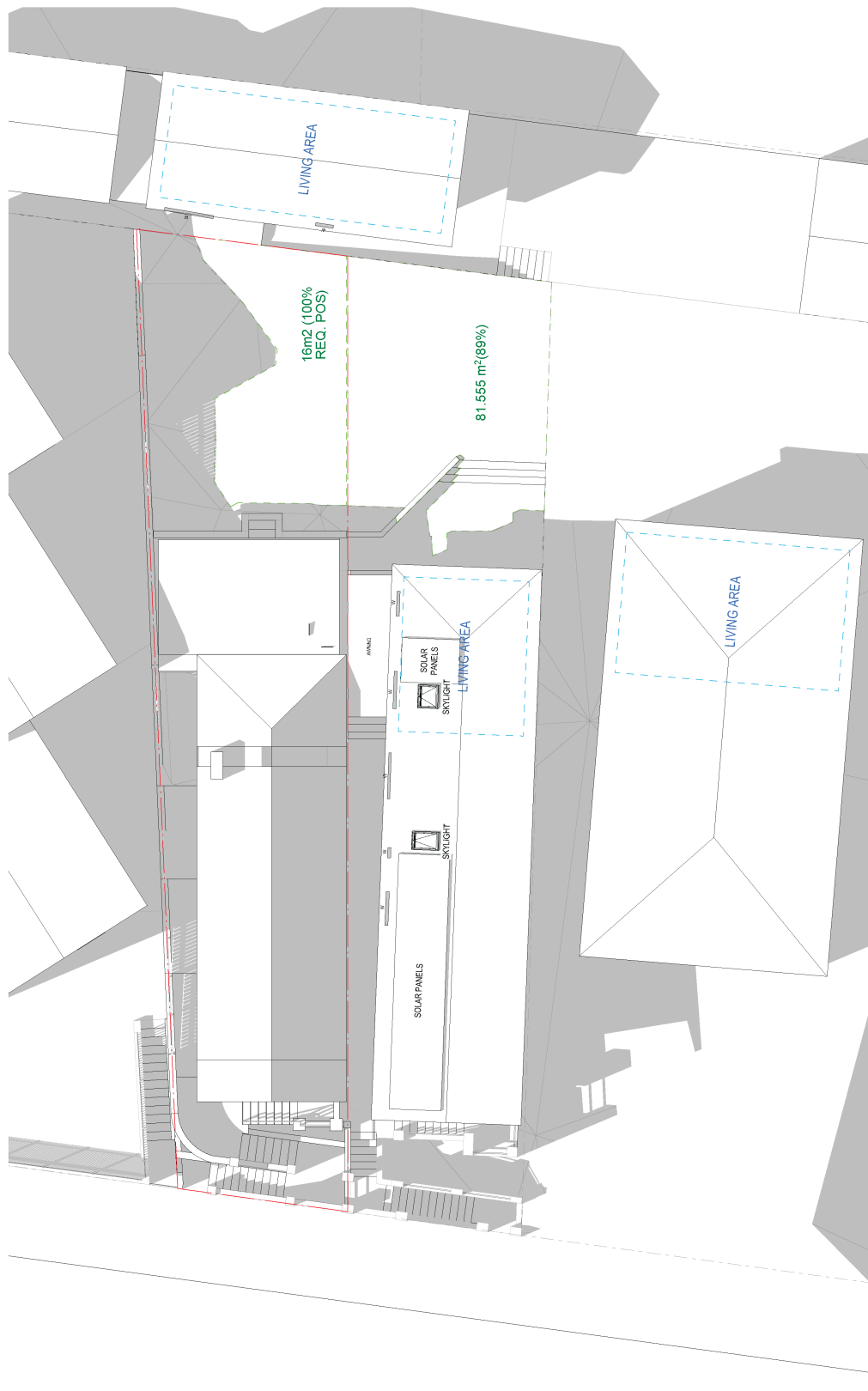
- LEGEND
- SOLAR GAIN FROM PROPOSED \$465
  - SOLAR LOSS FROM PROPOSED \$465
  - PROPOSED \$465 SOLAR ACCESS
  - EXISTING + PROPOSED SHADOWS



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NSW Registered Engineers

DKO

Project Name  
Project Address  
Project Number  
Drawing Name  
Scale  
Date  
Barilgove Alterations  
Barilgove, NSW 2041  
Chris & Maureen O'Neill  
Drawing Number  
Revision  
DA410  
P1



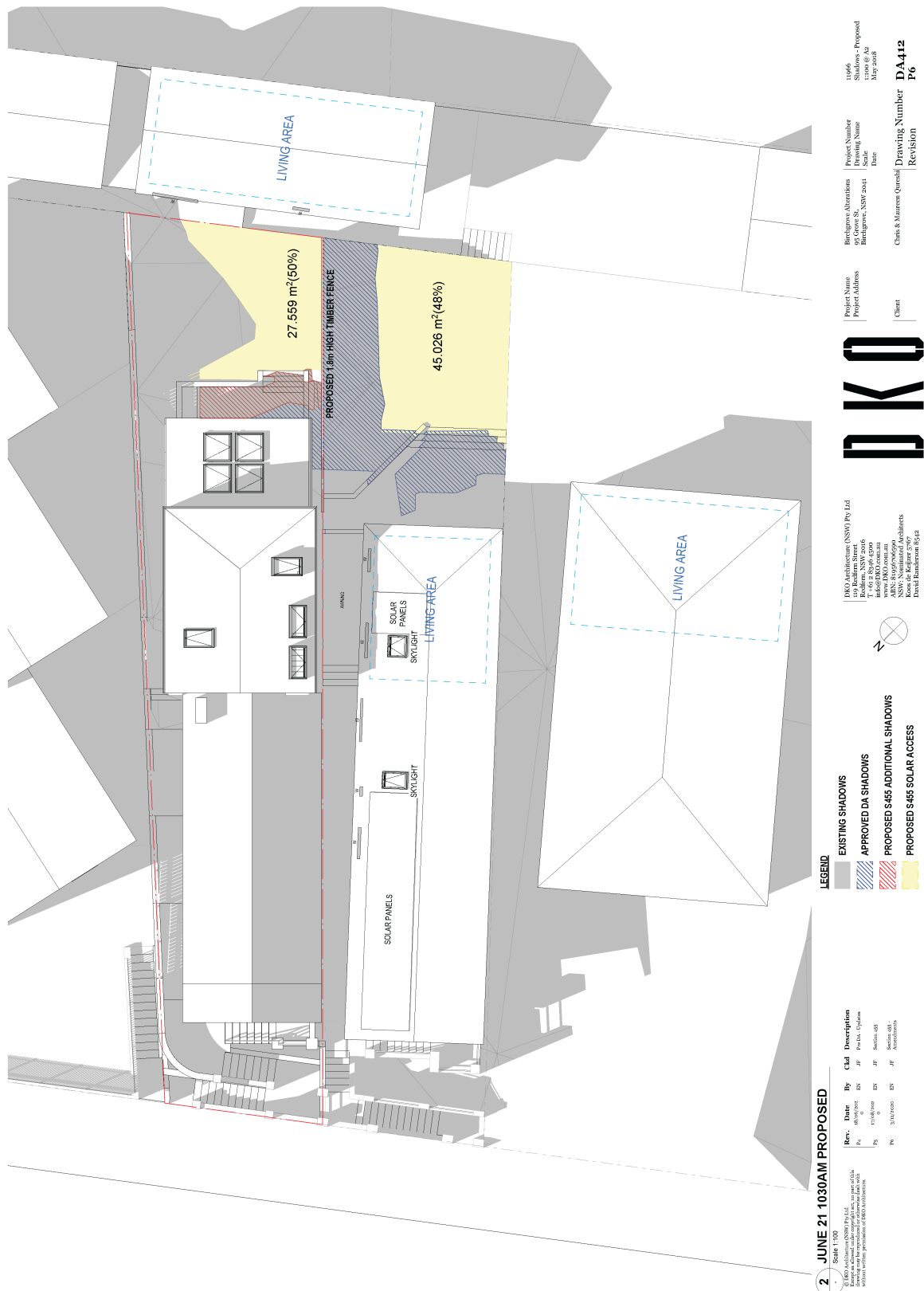
Rev.	Date	By	Cld	Description
P1	10/09/2002	EN	JF	Prn DA - Update
P3	07/08/2000	EN	JF	Sweden d35
P6	31/01/2000	EN	JF	Sweden d35 - Amendments

1 JUNE 21 1030AM EXISTING  
Scale 1:100

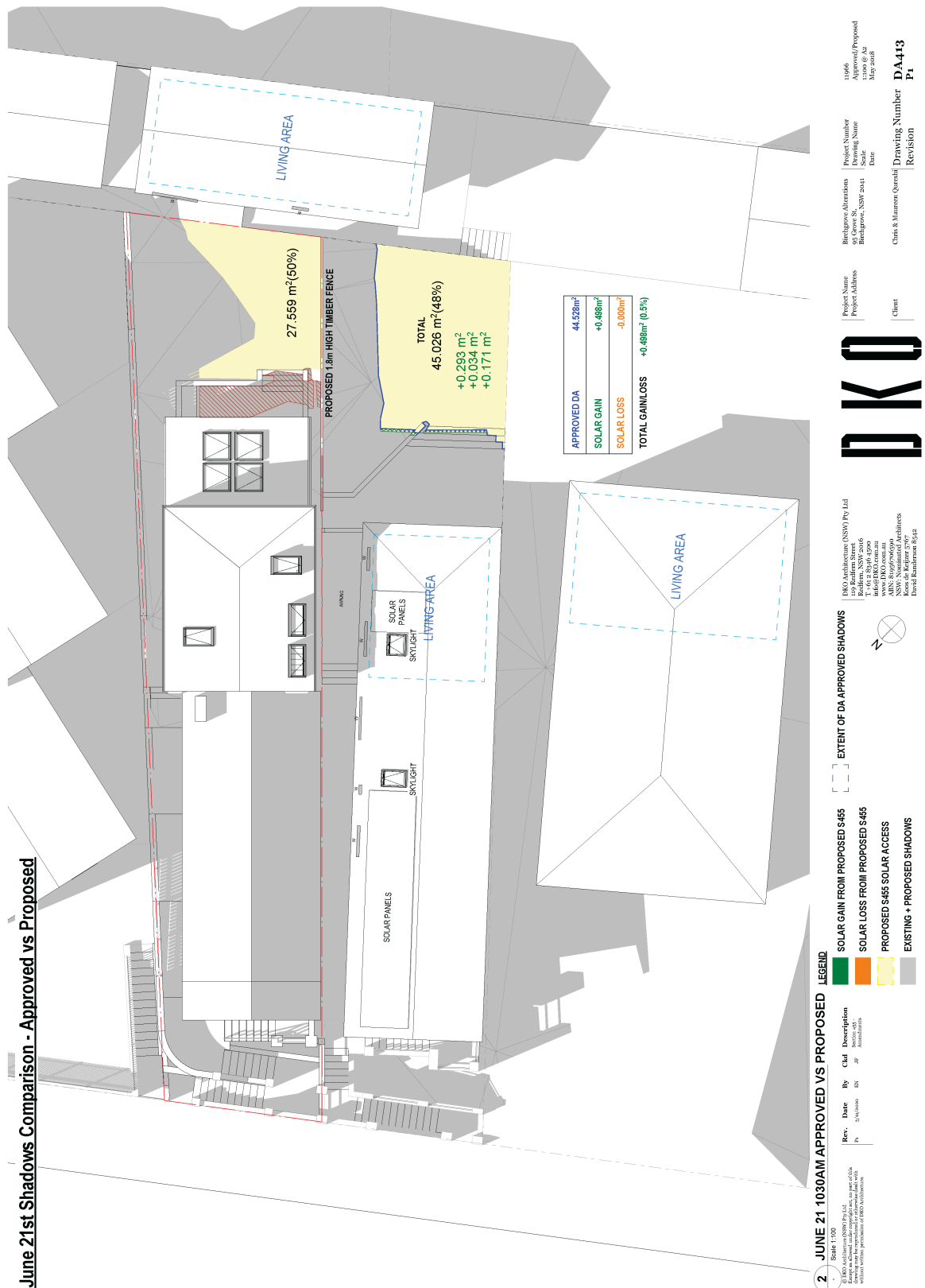
DKO Architecture (NSW) Pty Ltd  
119 Redfern Street  
Redfern, NSW 2016  
T +61 2 8346 4500  
info@dko.com.au  
www.dko.com.au  
ABN: 81956706590  
NSW: Nominated Architects  
Kosco de Keijzer 5767  
David Randerson 8542

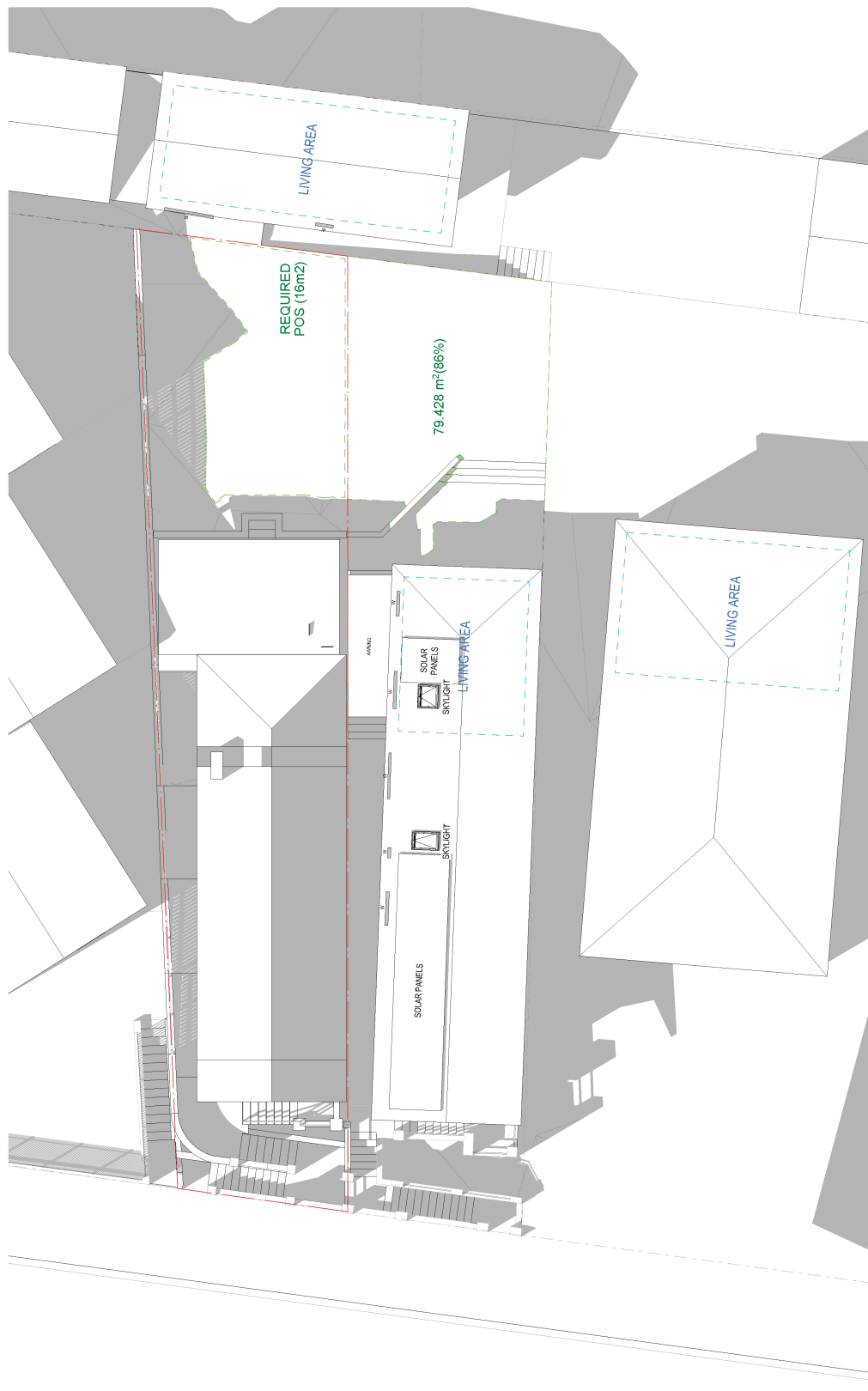
Project Name	
Project Address	
Client	

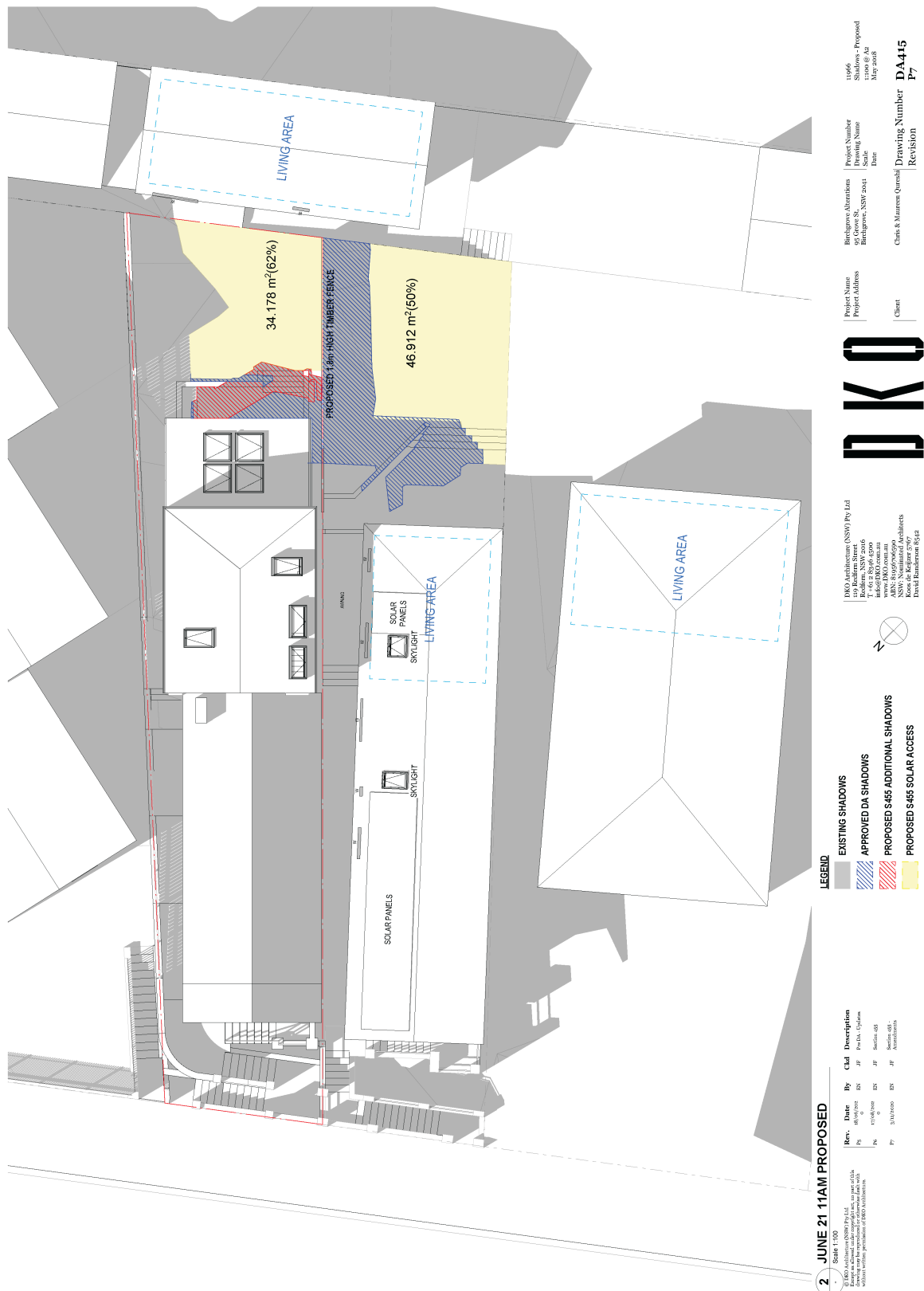
Birchgrove Alterations 95 Grove St, Birchgrove, NSW 2041	Project Number Drawing Name Scale Date	11966 Shadows - Existing 1:100 @ A2 May 2018
Chris & Maureen Qureshi	Drawing Number Revision	<b>DA411</b> <b>P6</b>



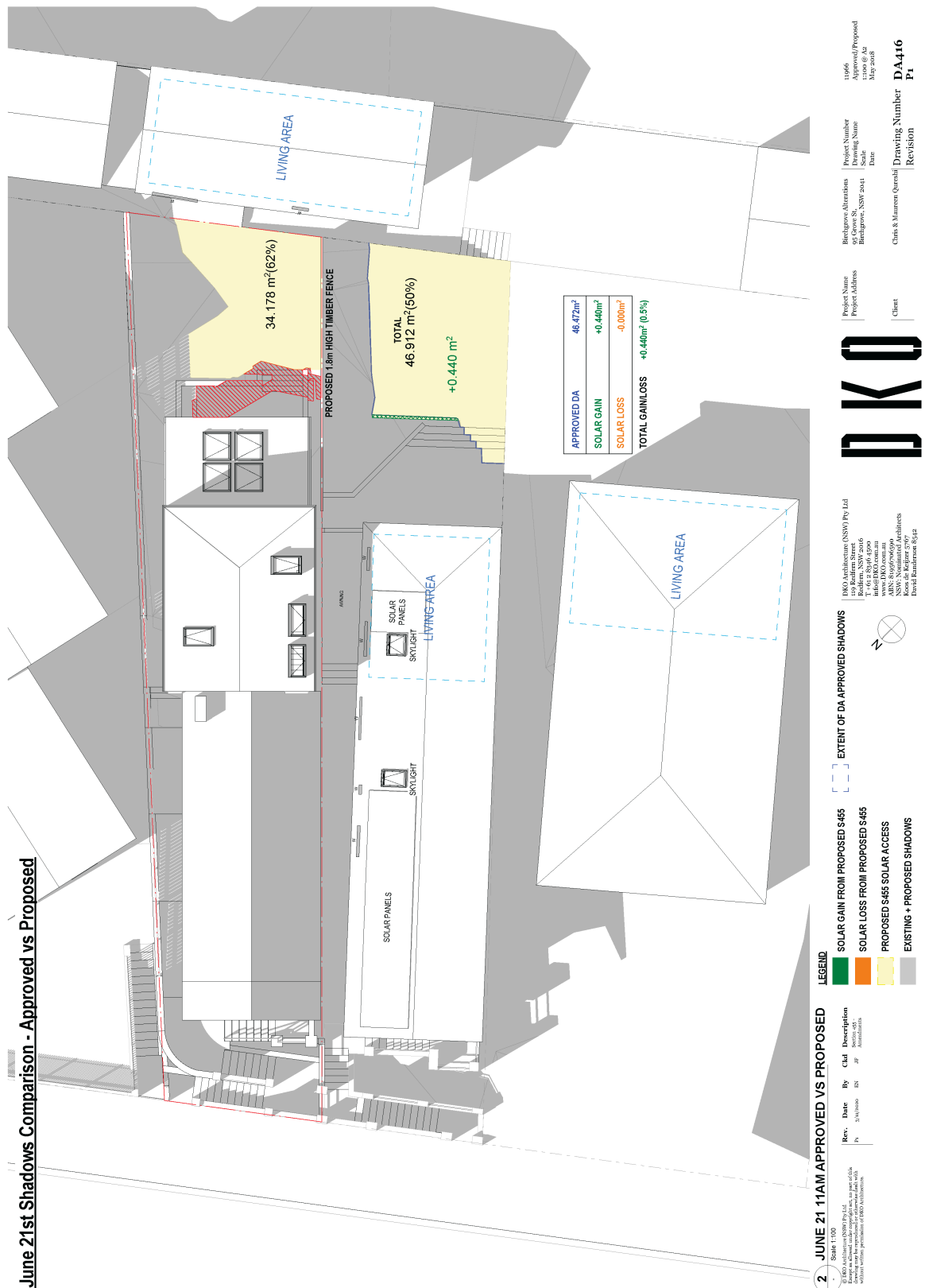
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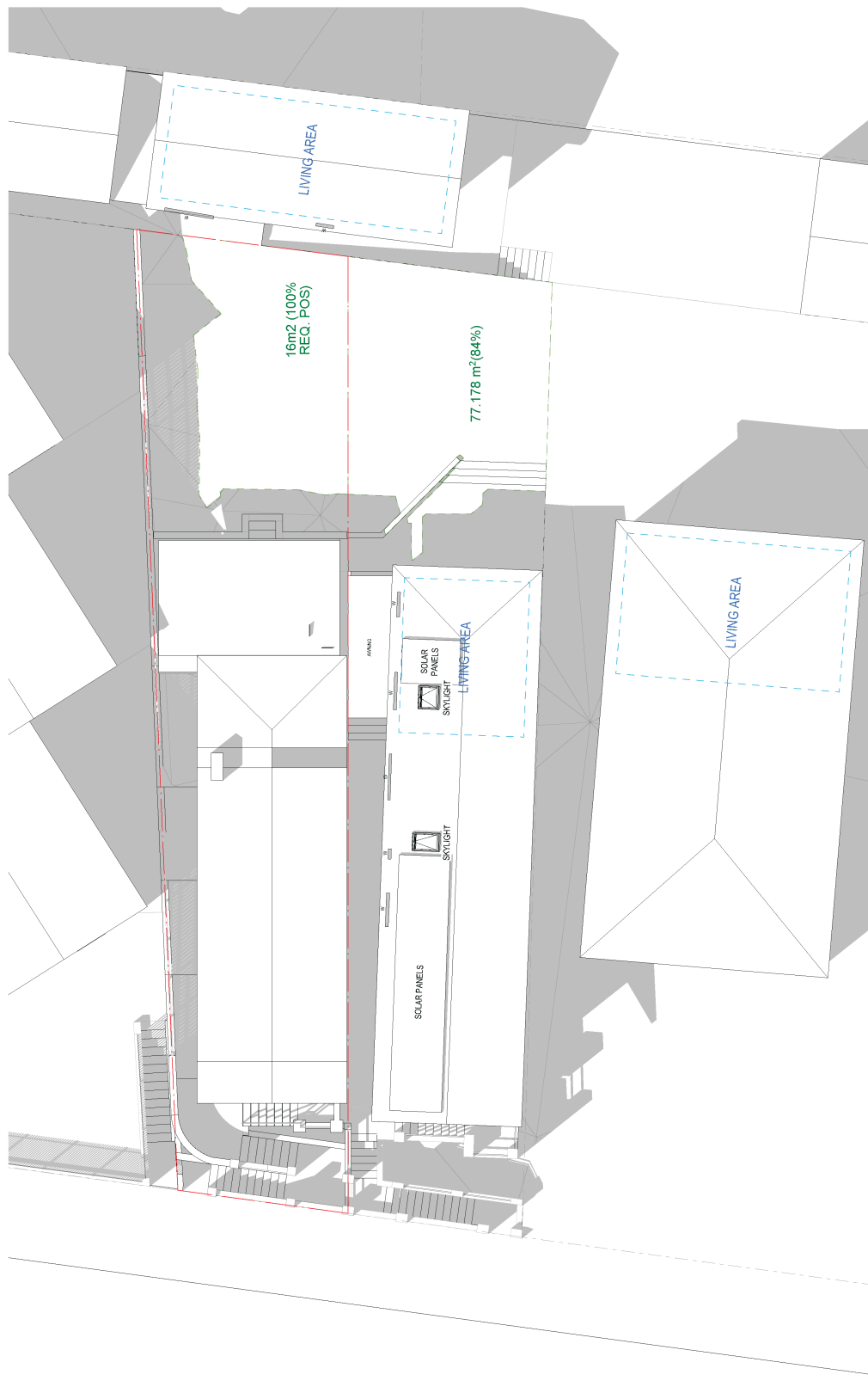


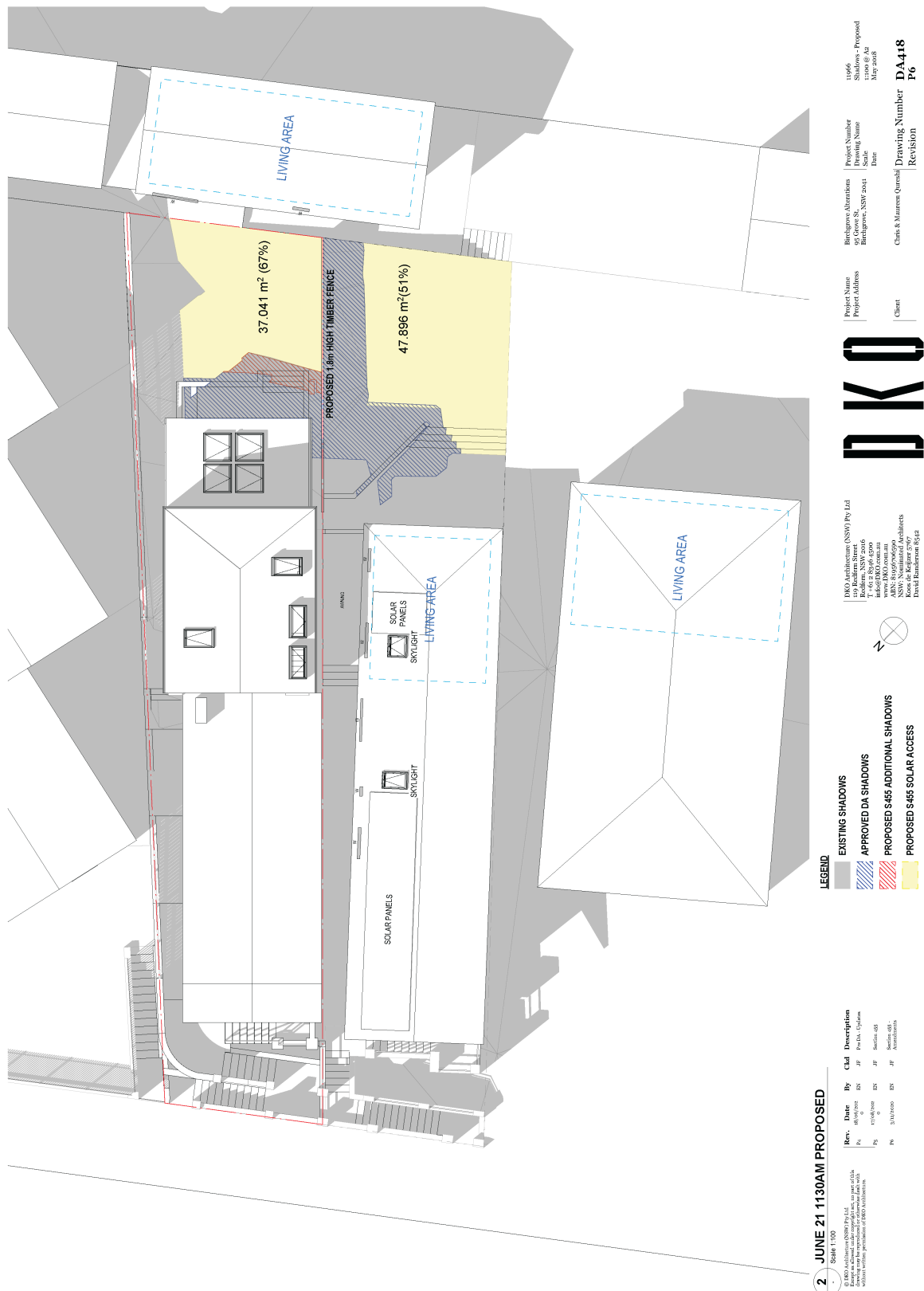


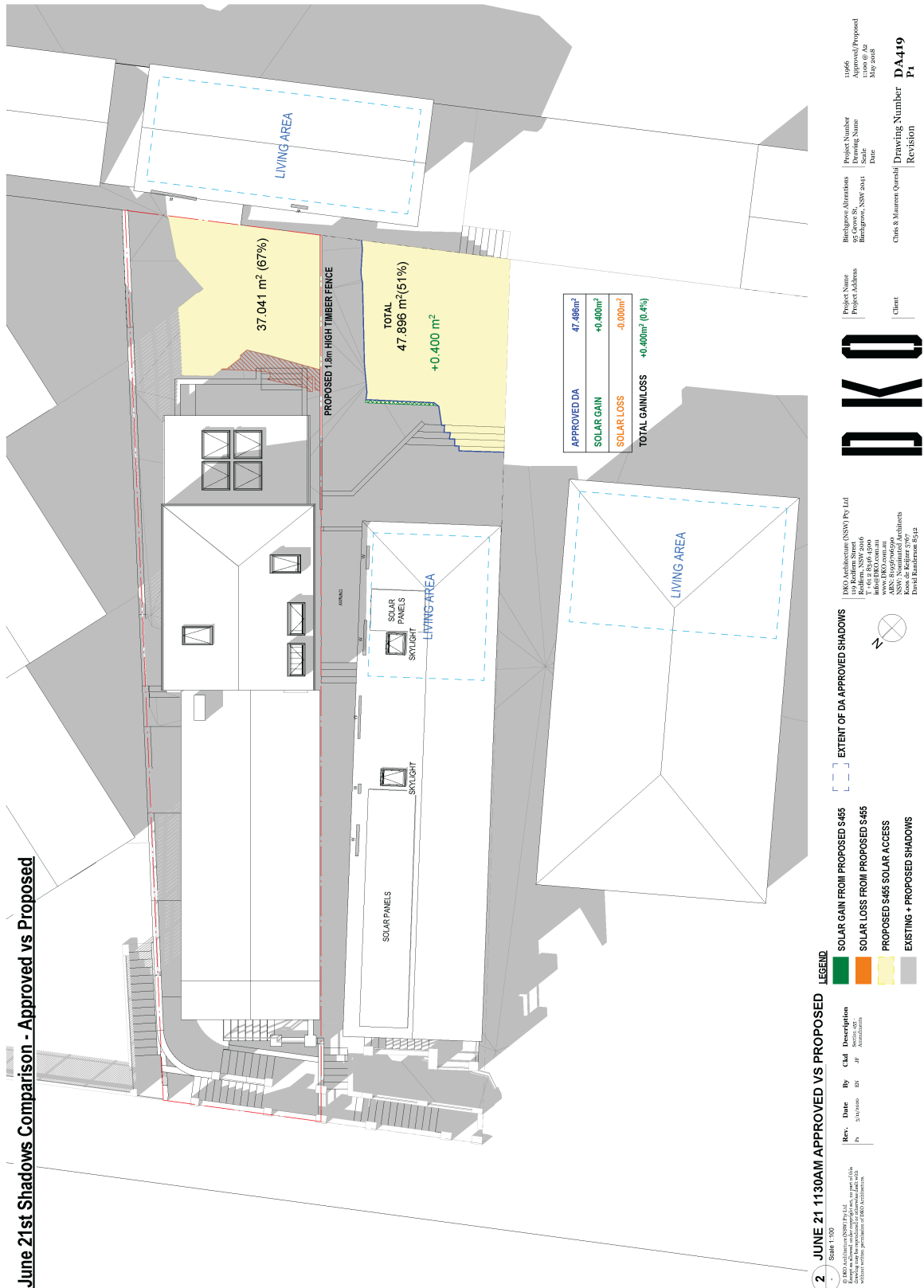


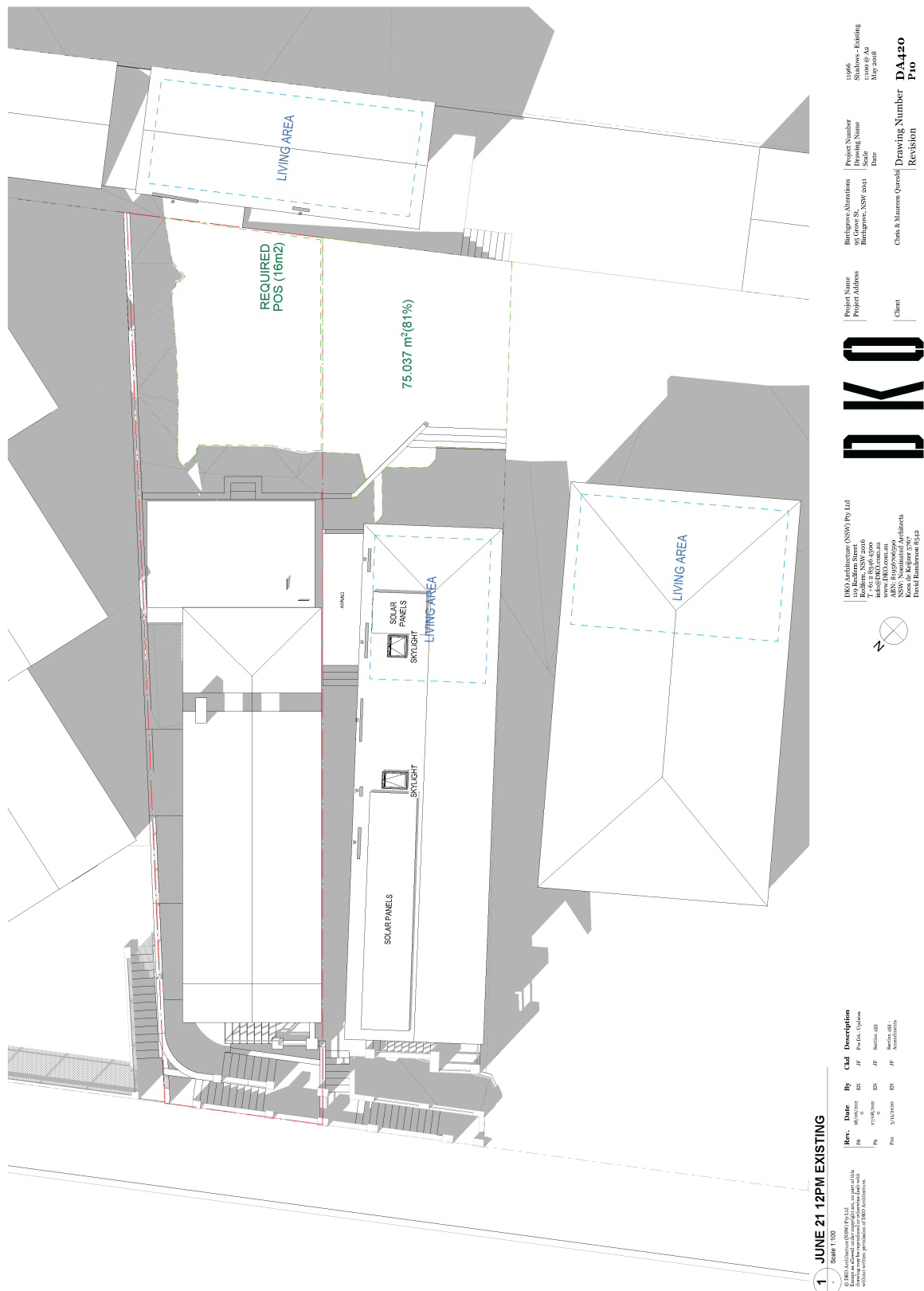
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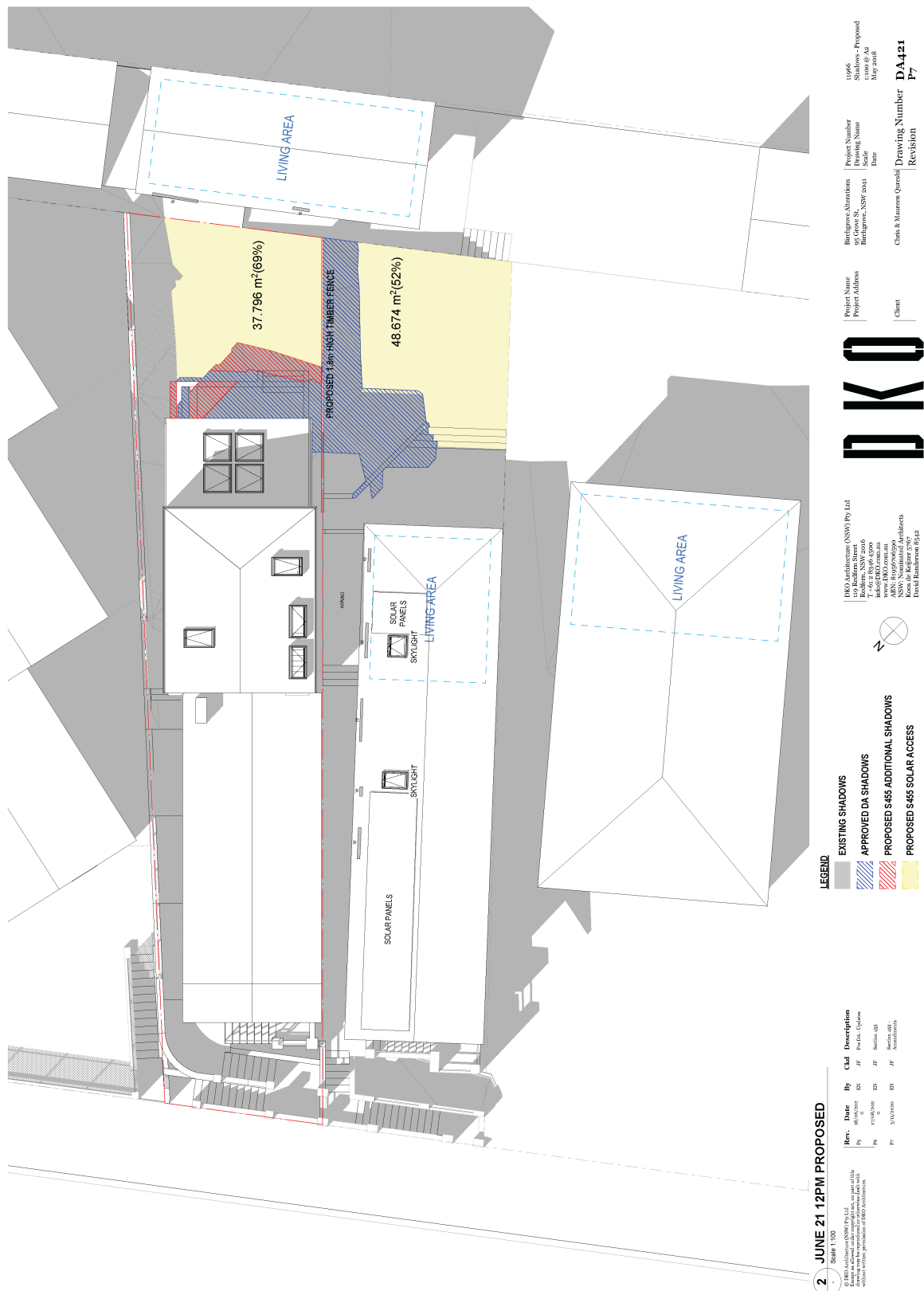


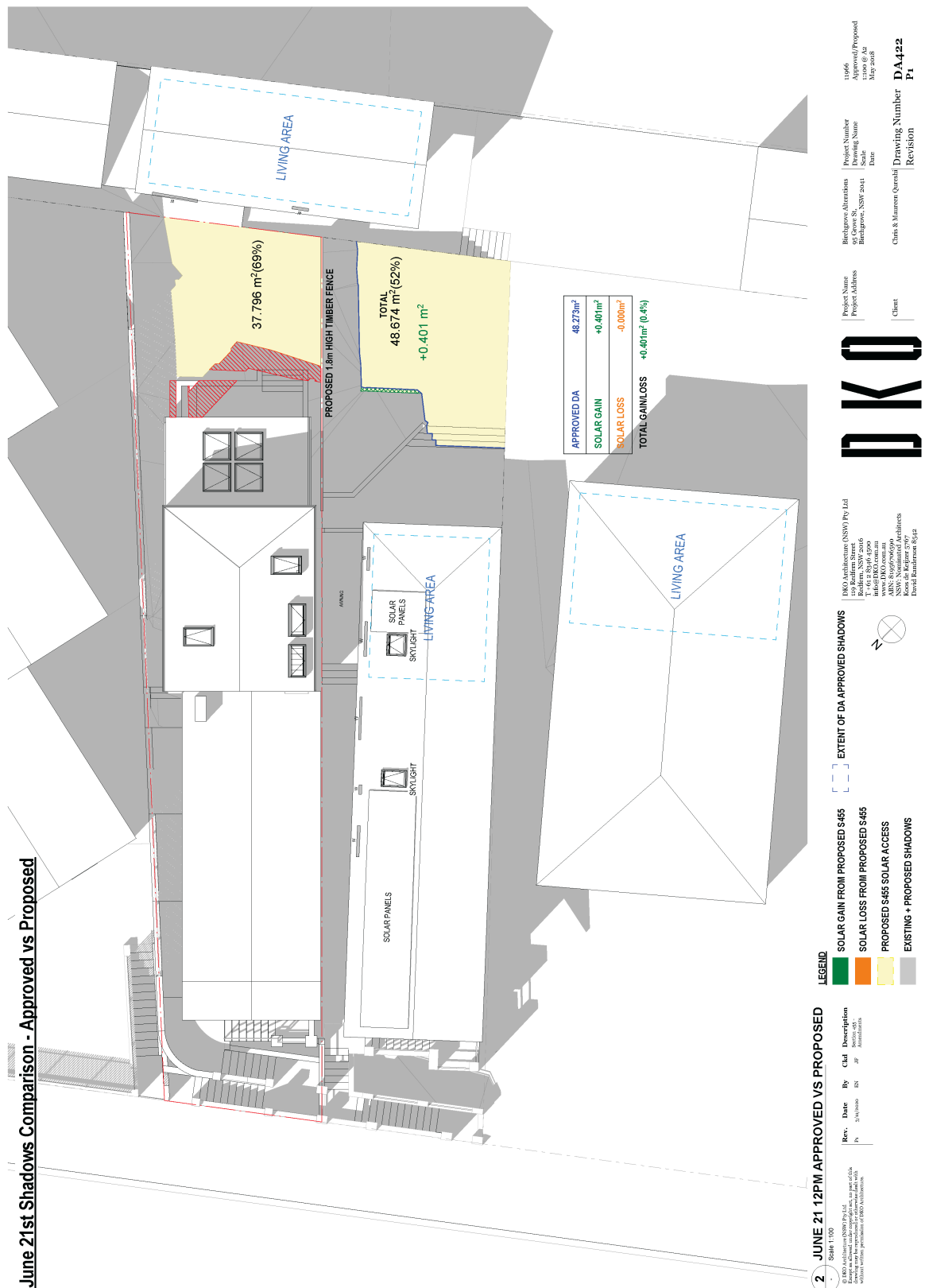


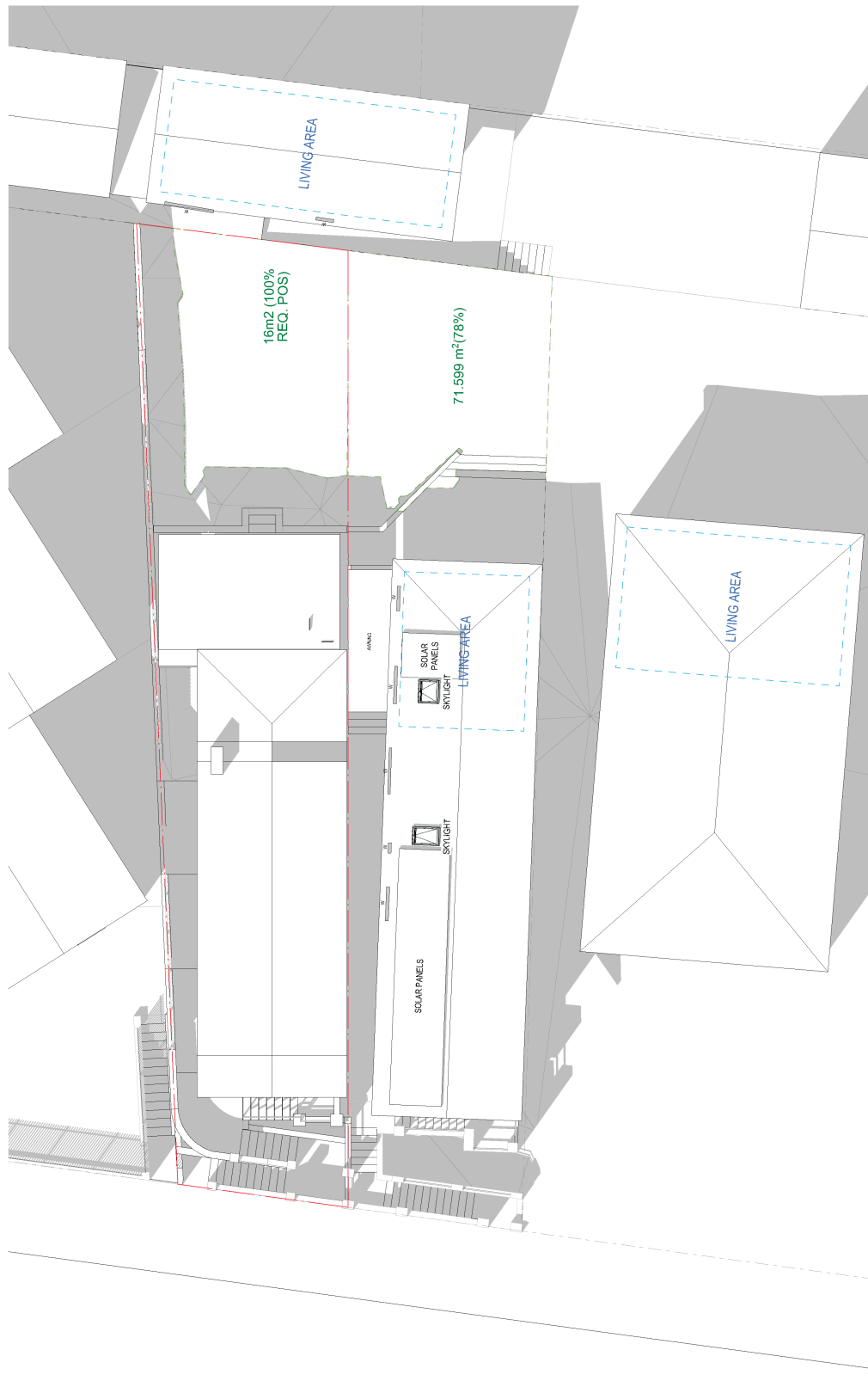


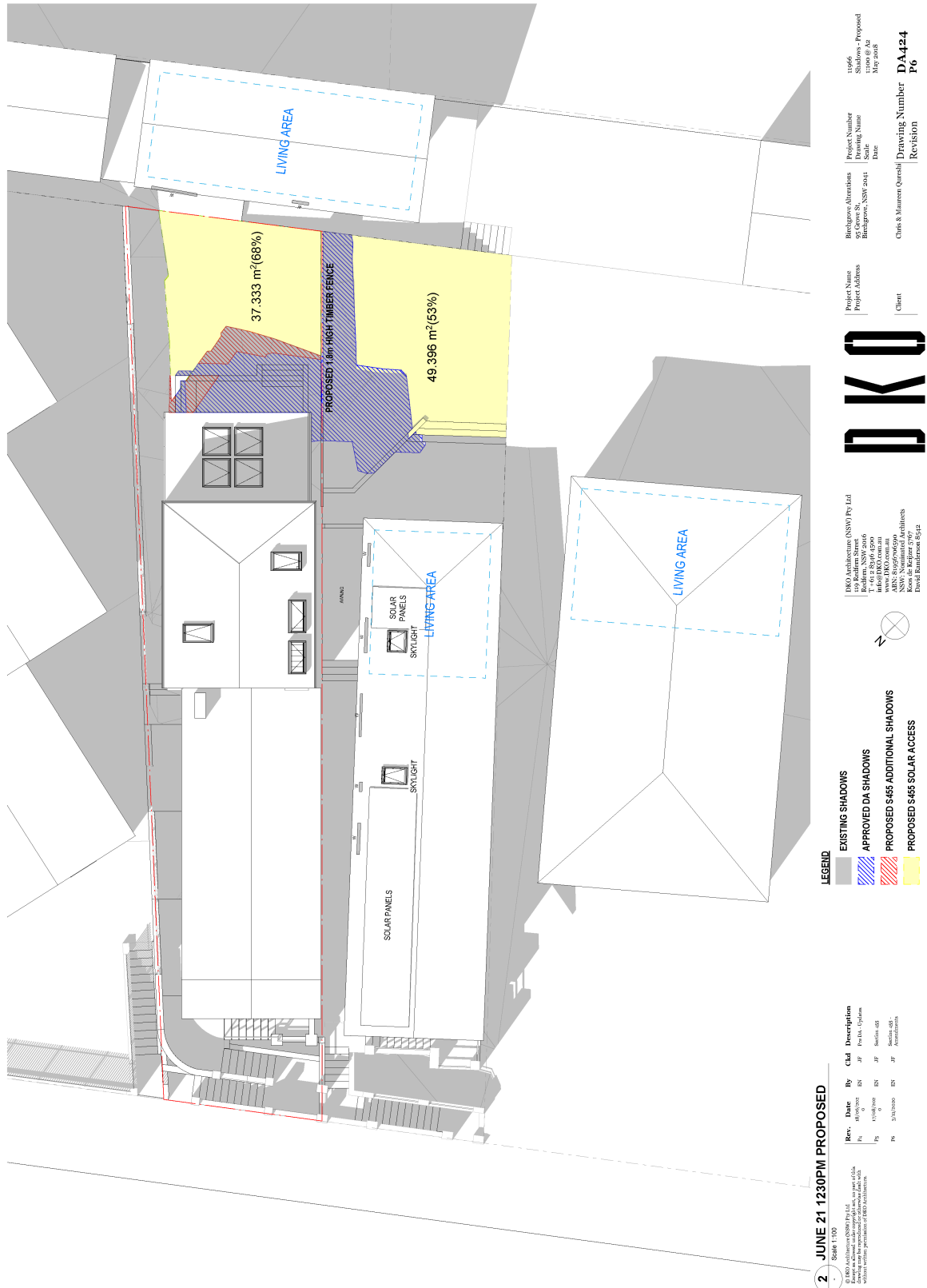


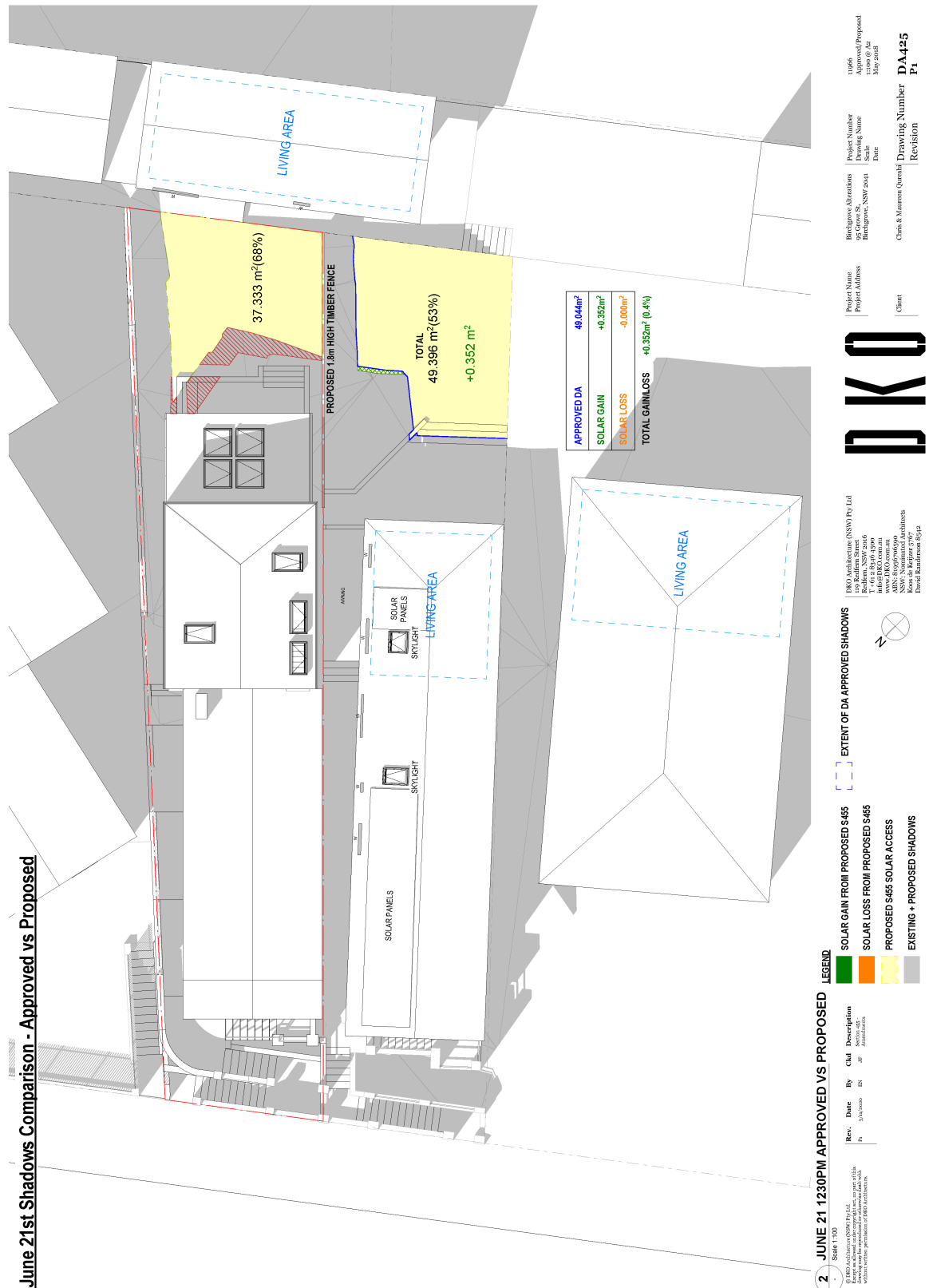


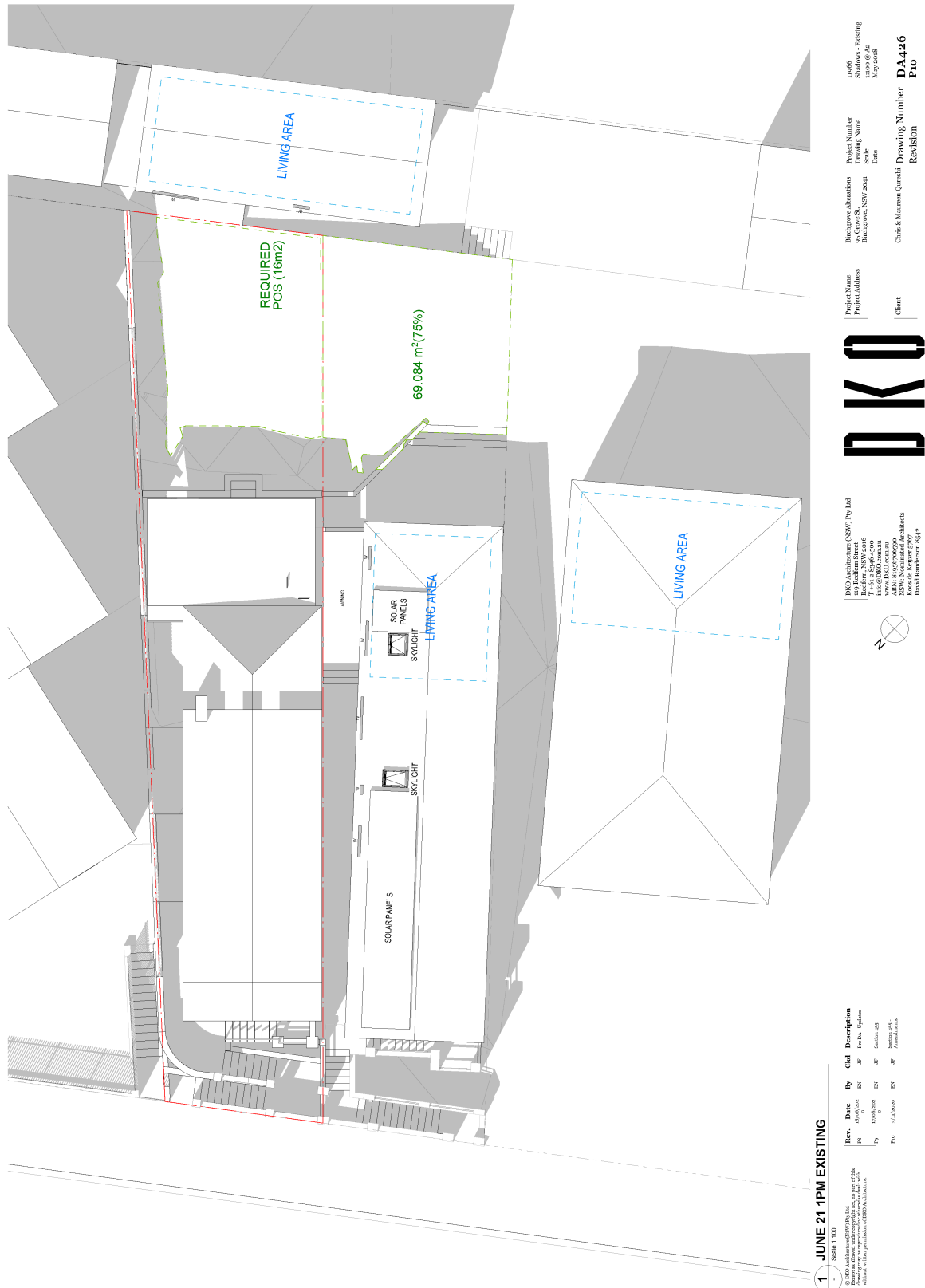




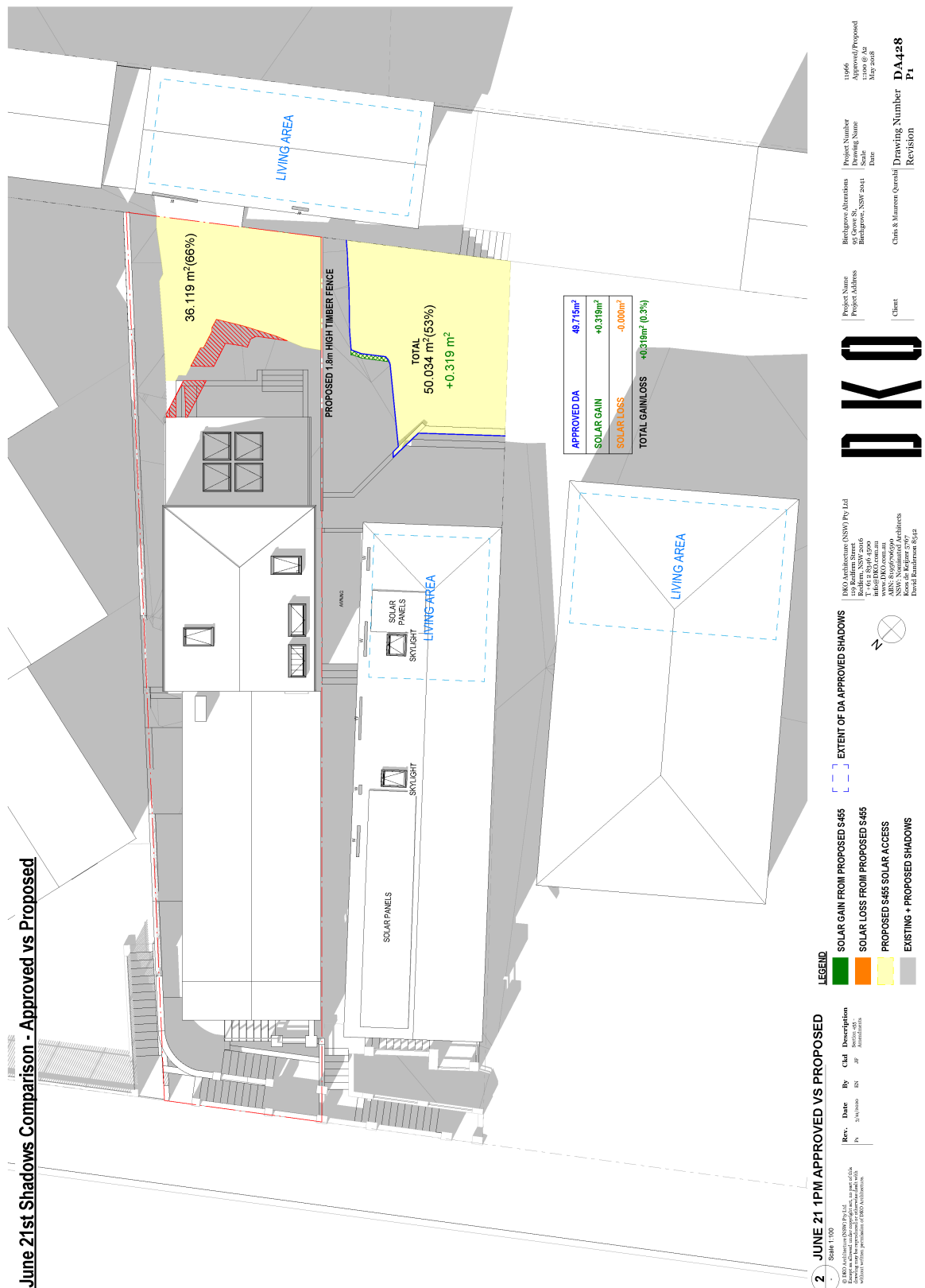


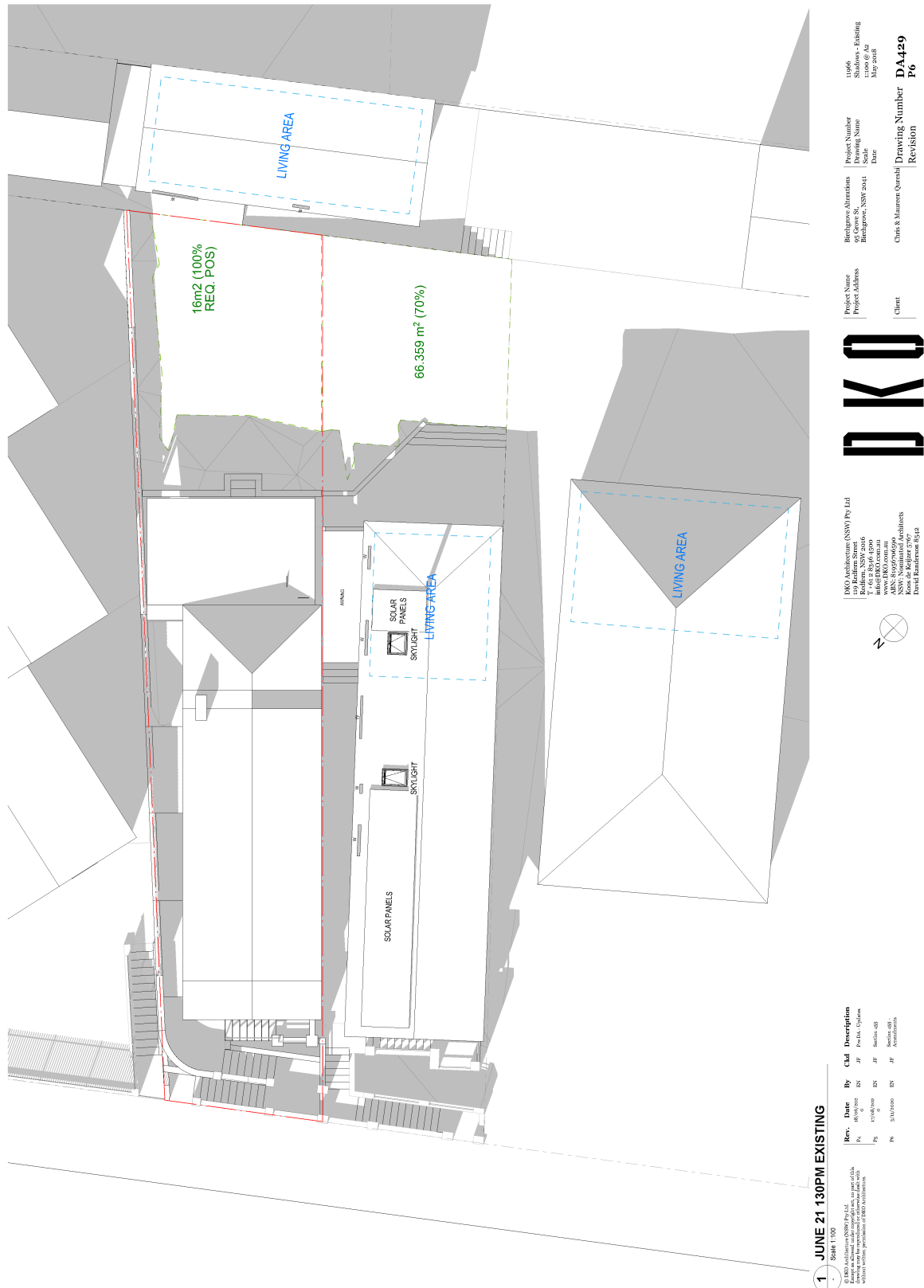




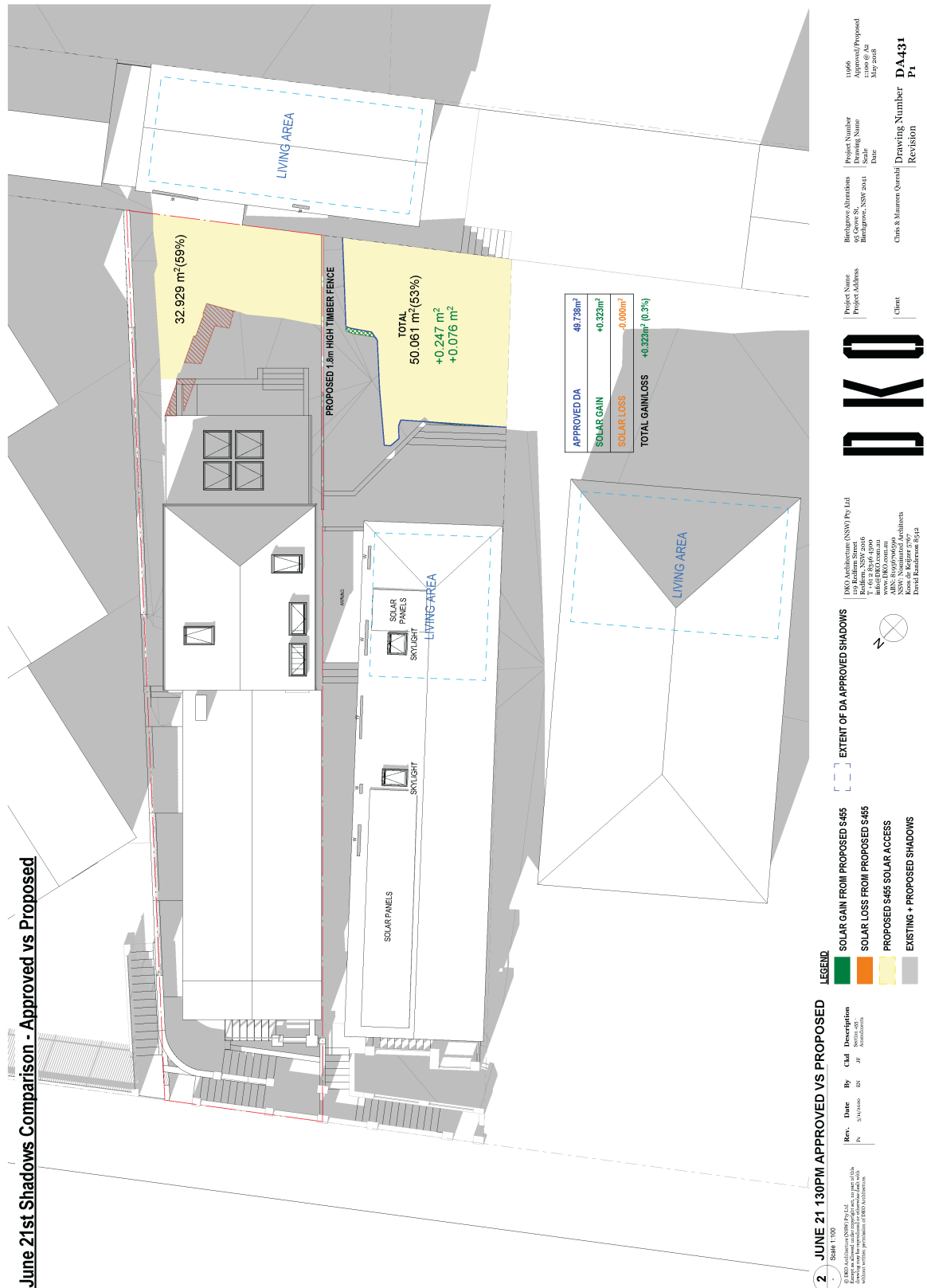


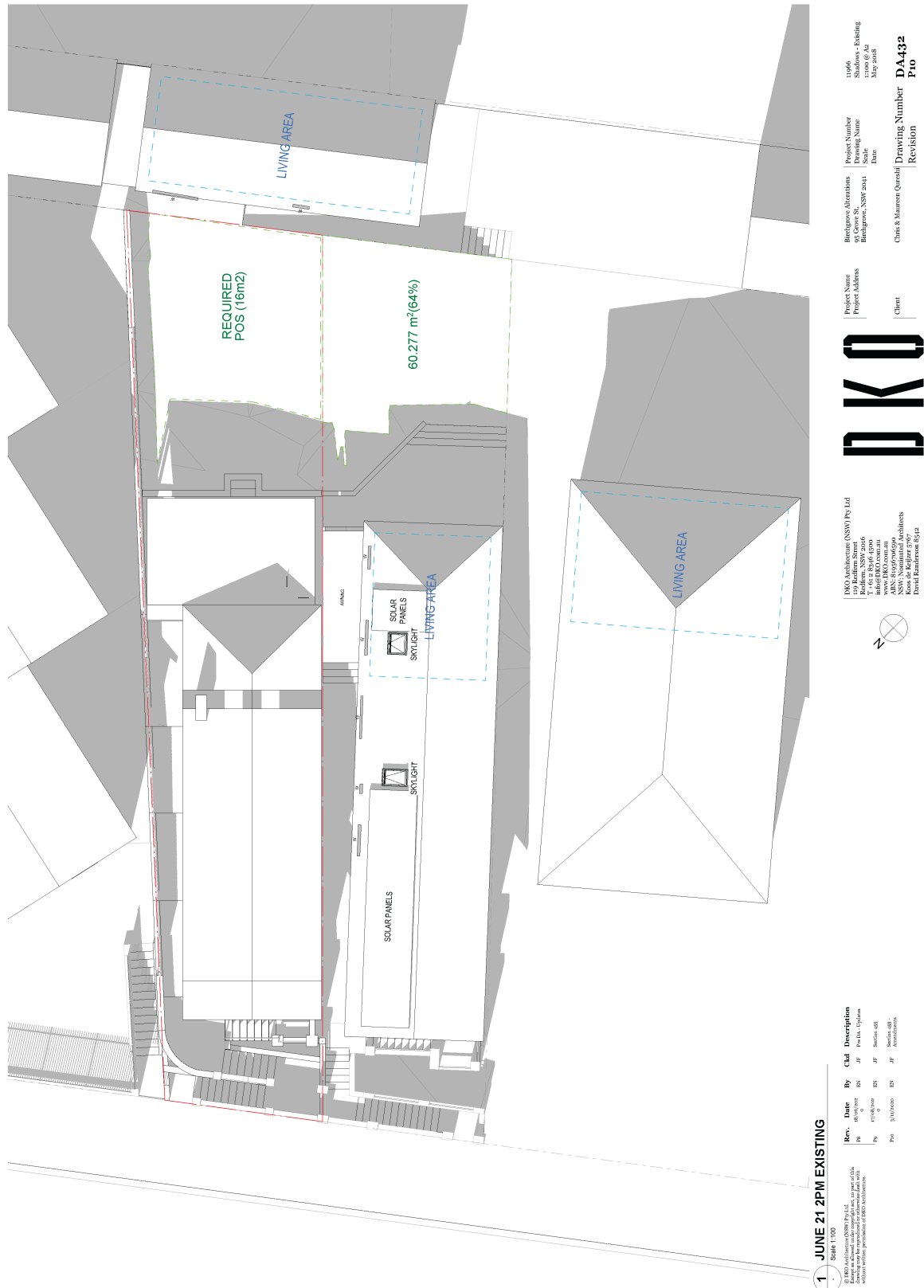


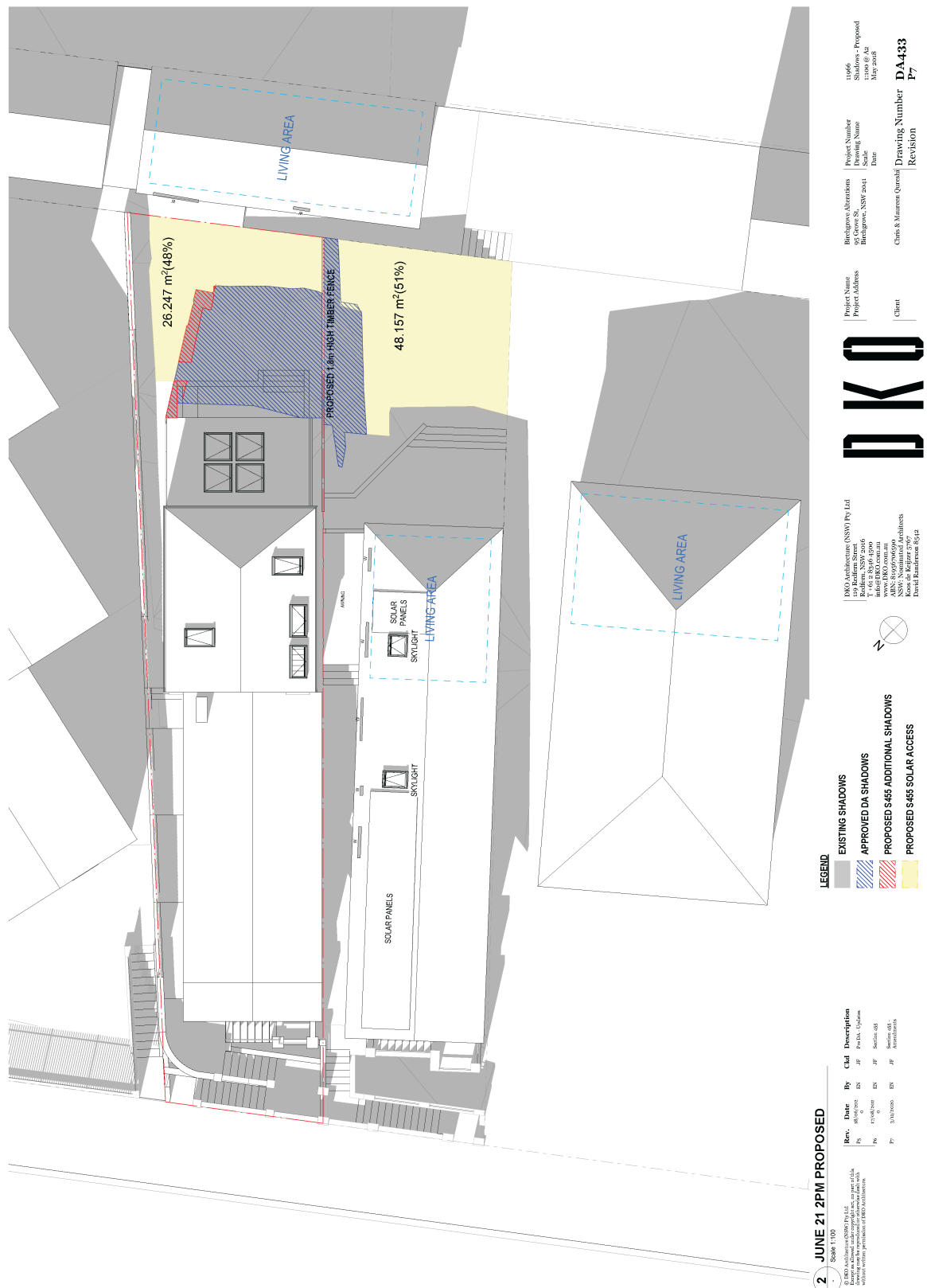


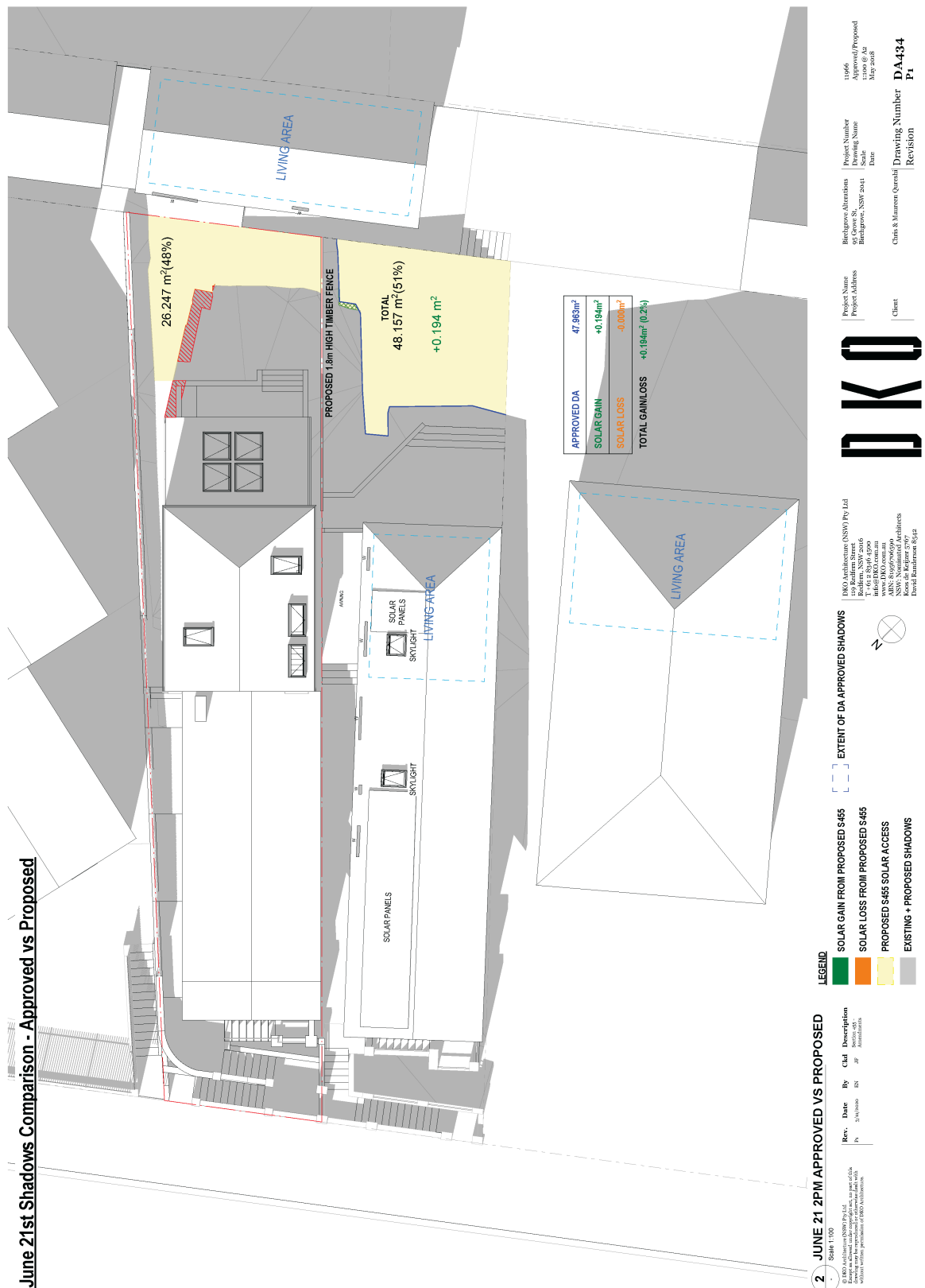


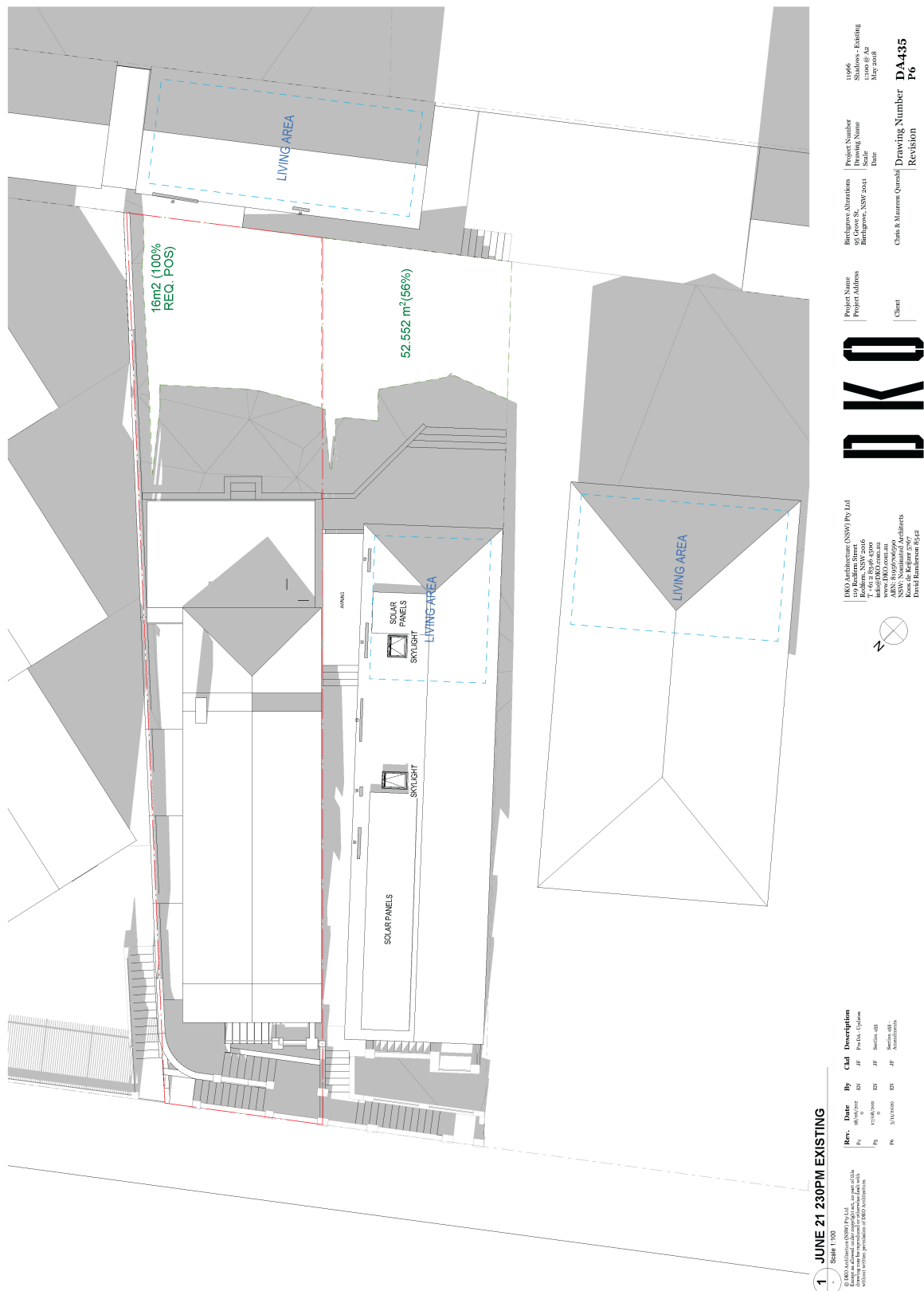


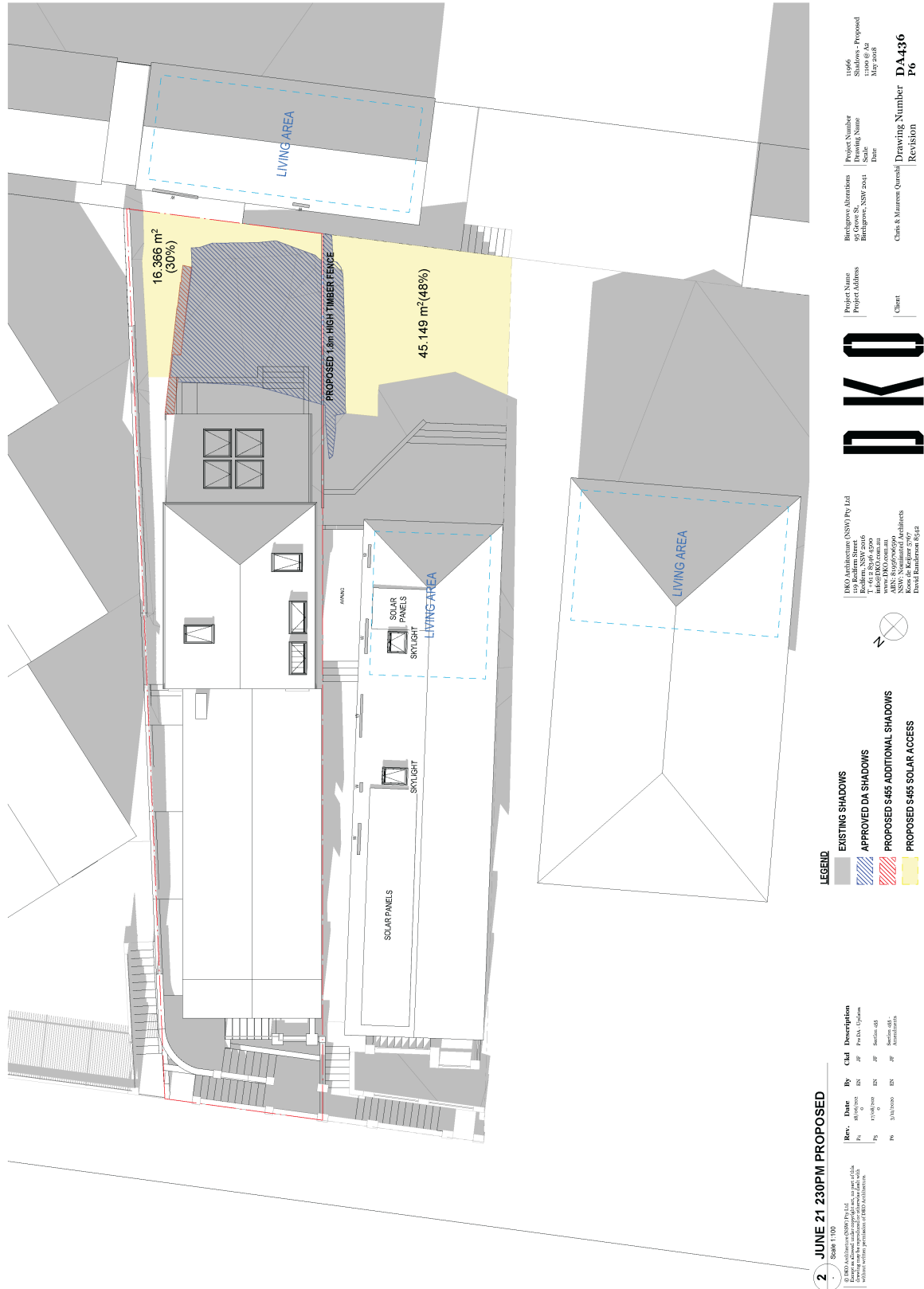


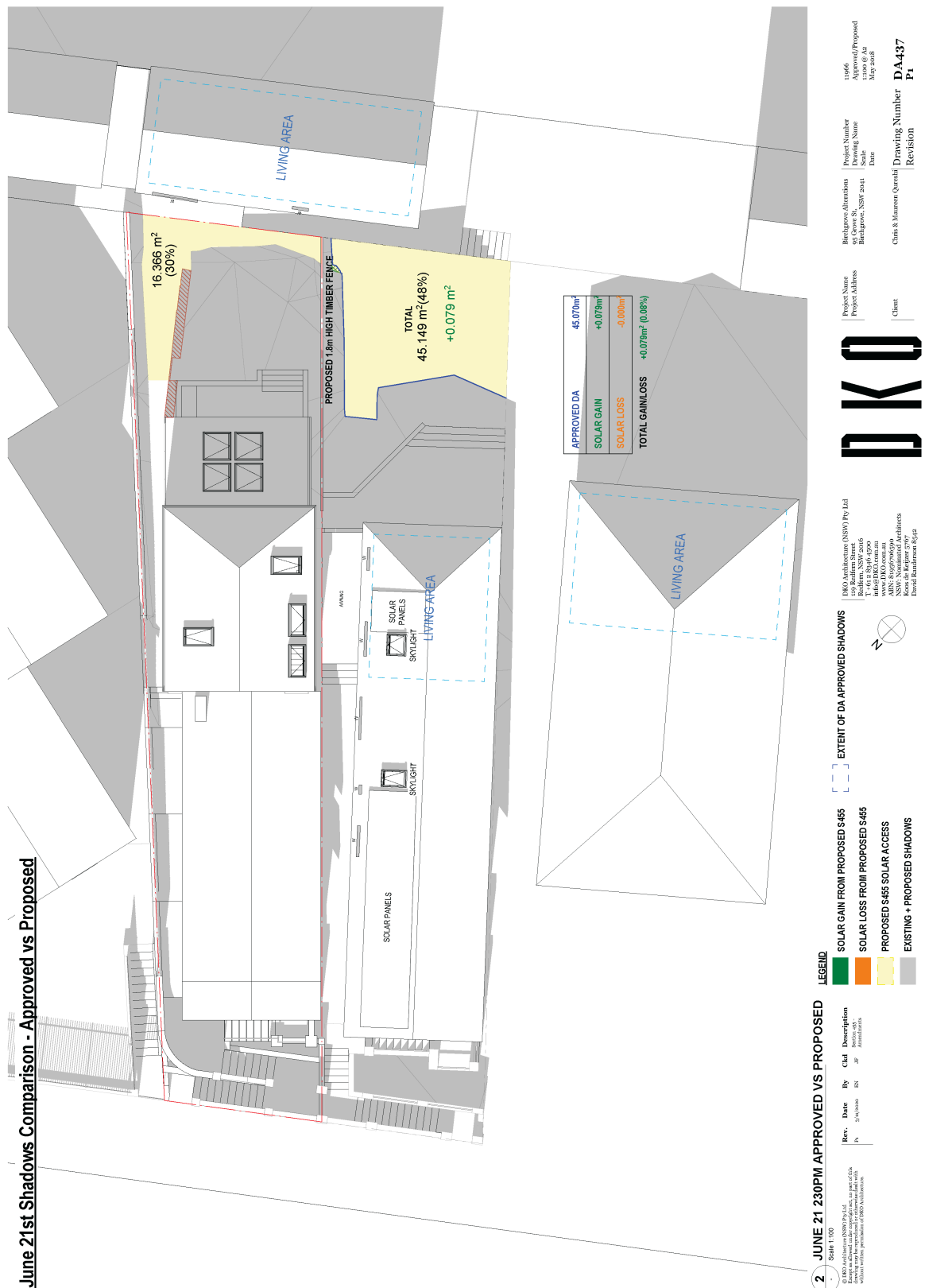


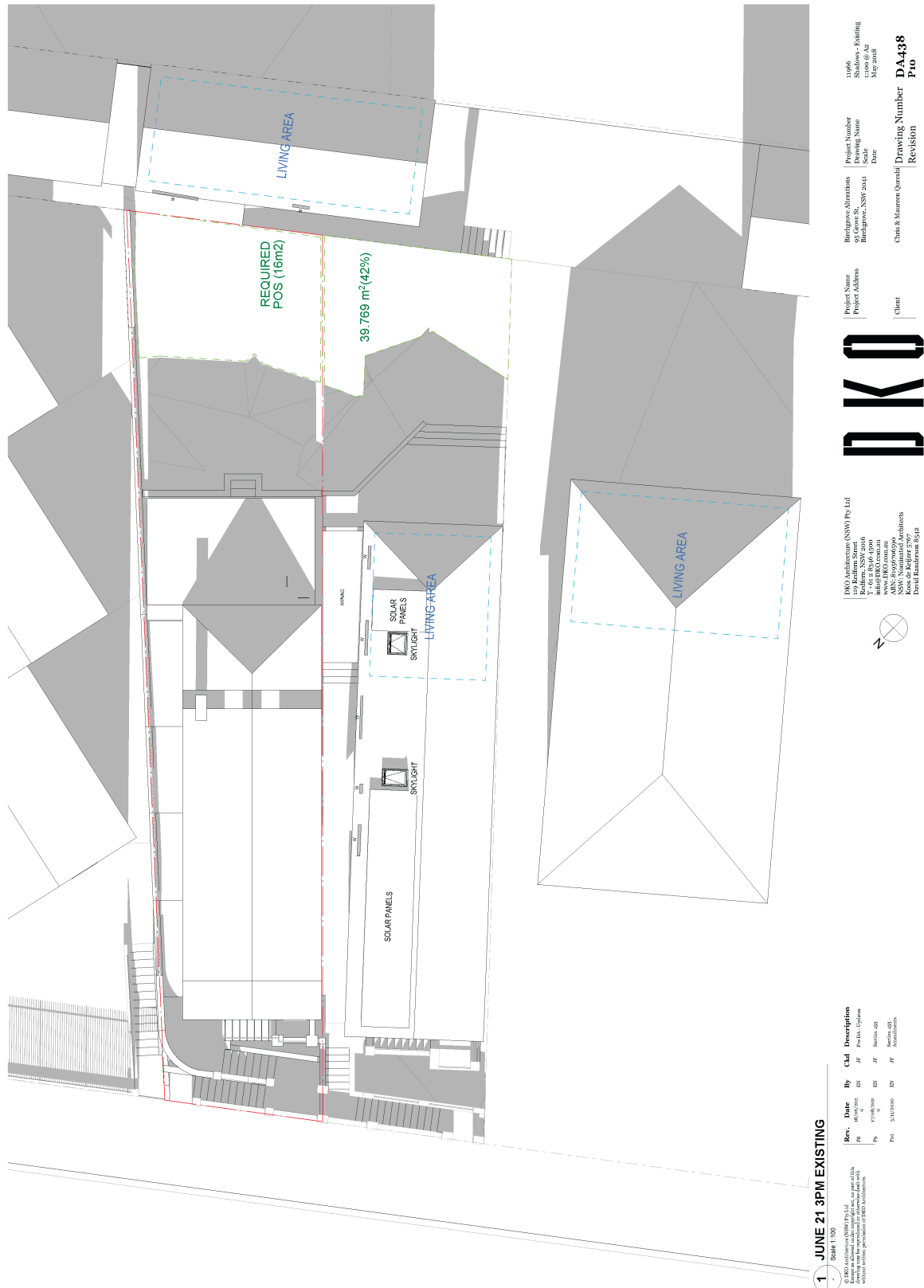


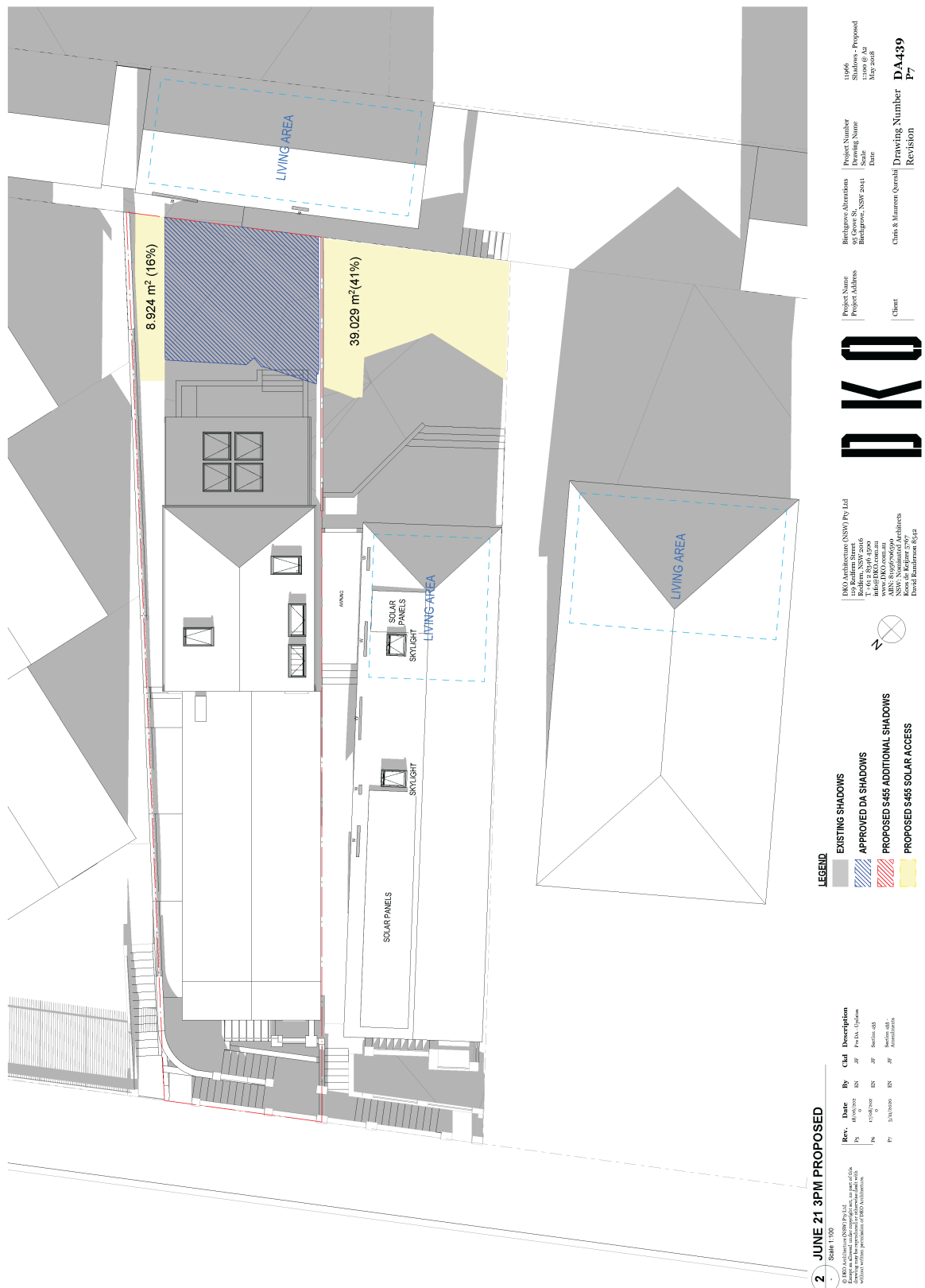


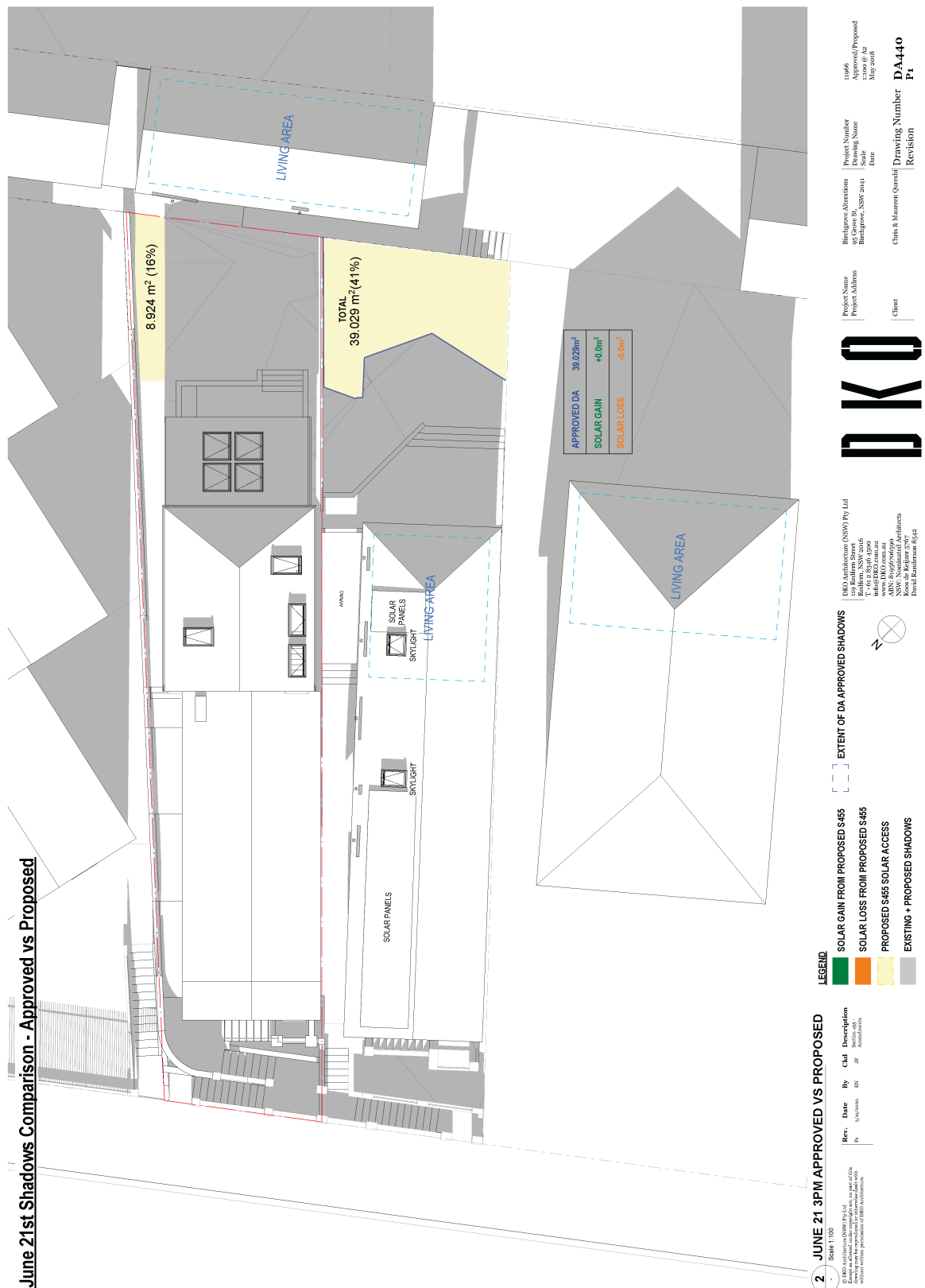


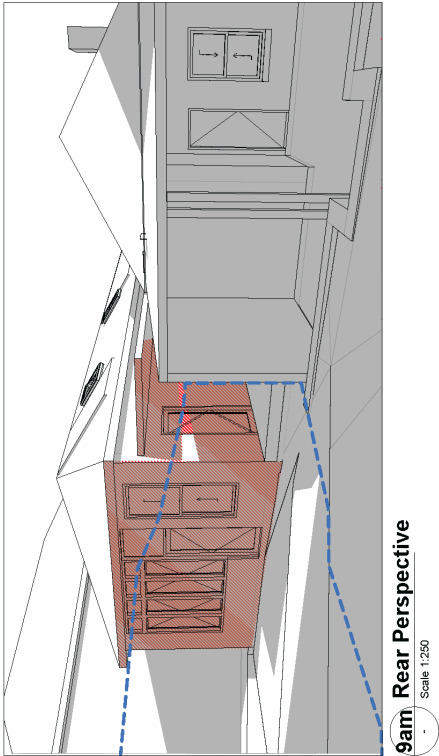
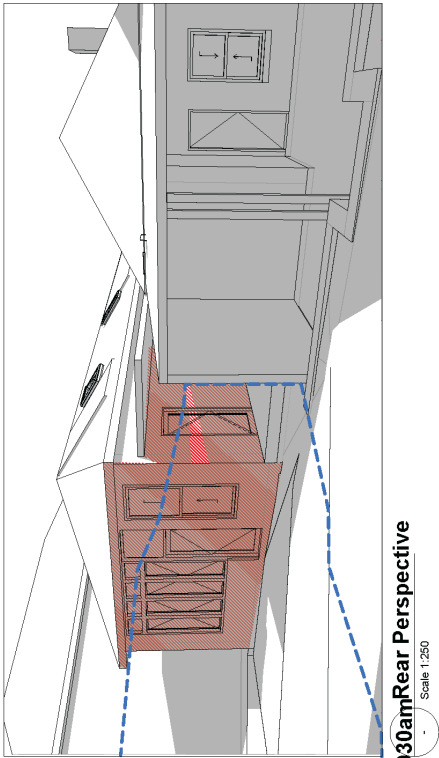












10am Rear Perspective  
Scale 1:250

LDGP 2013 Provisions

Solar access to neighbouring dwelling - Living Areas

**Retaining solar access to neighbouring dwellings main living room glazing**

C12 Where the surrounding allotments are orientated east/west, main living room glazing must maintain a minimum of two hours solar access between 9am and 3pm during the winter solstice.

C15 Where surrounding dwellings currently receive less than the required amount of solar access to the main living room between 9am and 3pm during the winter solstice, no further reduction of solar access is permitted.

Self inflicting shadow or existing shadows

Extent of proposed 1.8m high timber paling fence

Neighbouring dwelling does not achieve sunlight to rear and side glazing with the existing dwelling of 95 Grove Street. The shadow to the rear wall of 93 Grove Street is self inflicting shadow and the shadow to the side wall is the existing shadow of the existing dwelling of 95 Grove Street.

Hence, the proposed fence and the proposed development does not reduce solar access to the main living room of 93 Grove Street as it already receives zero sunlight.

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Rev.	Date	By	Ckd	Description	Project Name	Project Address	Birchgrove Alterations	Project Number	11966
P8	18/02/202	EN	JP	P8 DA - Update	95 Grove St, Birchgrove, NSW 2041			Drawing Name	Rear Shadows
P9	17/08/202	EN	JP	Section 453				Date	As Shown
P10	3/11/2020	EN	JP	Section 453 - Amendment					May 2018

Client

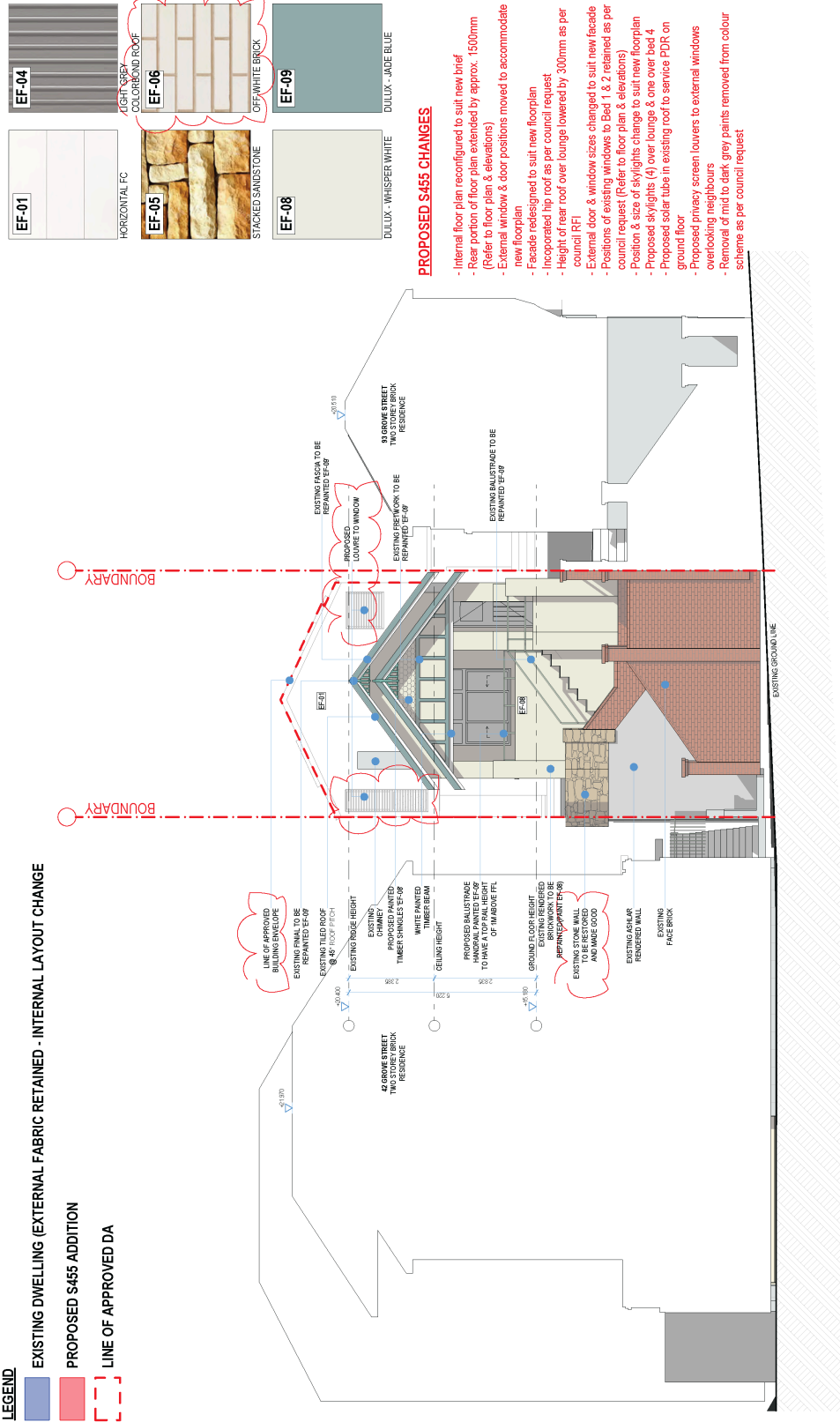
Chris & Maureen Qureshi

Drawing Number

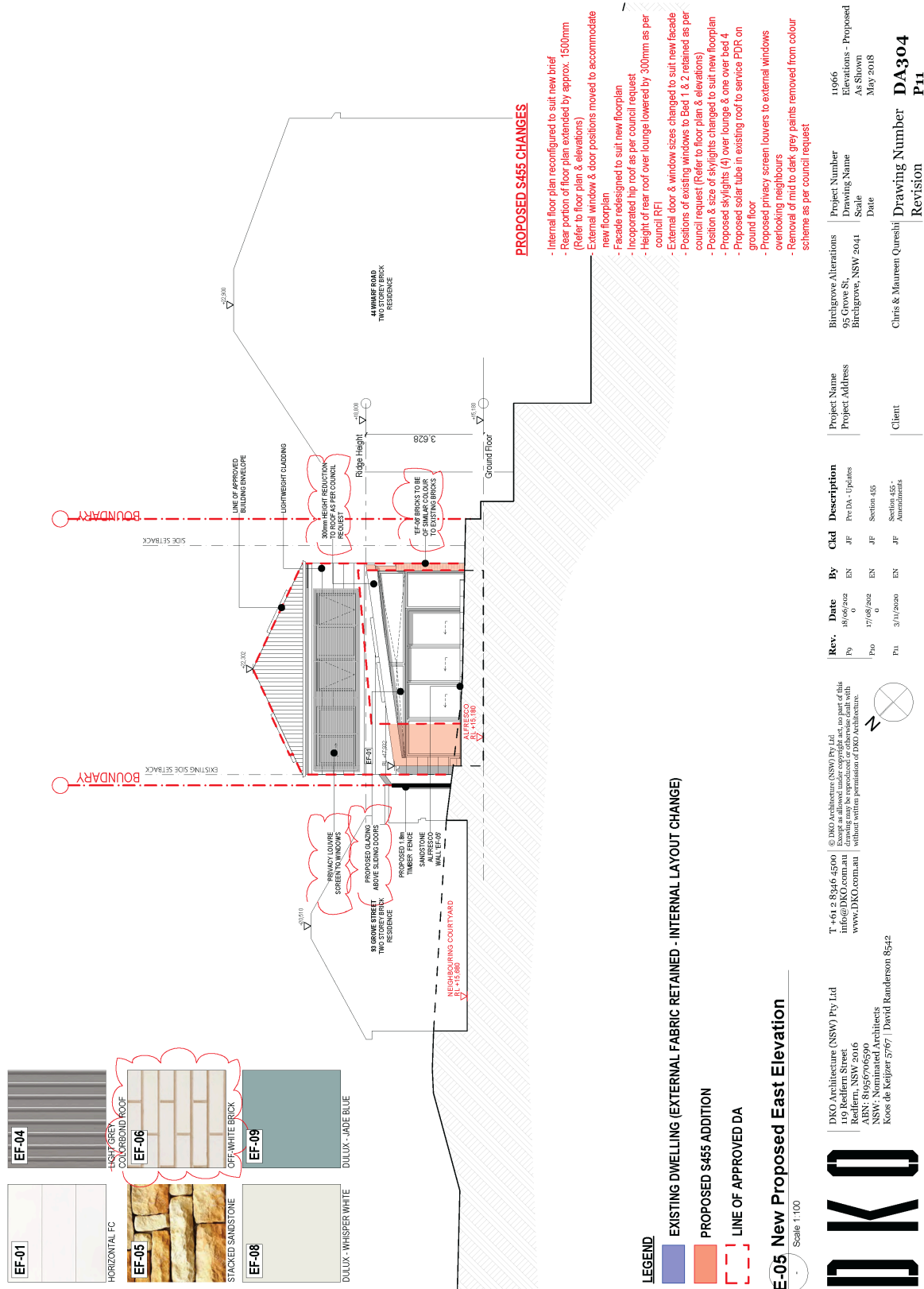
DA441

Revision

P10



DKO	DKO Architecture (NSW) Pty Ltd 119 Redfern Street Redfern, NSW 2016 ABN: 8965706590 NSW: Nominated Architects Kees de Krijger 5797 / David Rinderson 8542		T +61 2 8346 4500 info@dko.com.au www.dko.com.au		© DKO Architecture (NSW) Pty Ltd Except as allowed under copyright act, no part of this document may be reproduced, stored in a retrieval system or transmitted in any form or by any means, without written permission of DKO Architecture.		Rev. Date By Ckd Description		Project Name Project Address Project Number Drawing Name Scale Date		Birchgrove Alterations 95 Greve St, Birchgrove, NSW 2041 11066 Elevations - Proposed As Shown May 2018	
	P10 3/11/2020 EN JPF Section 455 - Amendments		P10 17/08/2022 EN JPF Section 455		P10 18/06/2022 EN JPF Pre DA - Updates		Client Chris & Maureen Qureshi		Drawing Number DA303		Revision P10	



**LEGEND**

- EXISTING DWELLING (EXTERNAL FABRIC RETAINED - INTERNAL LAYOUT CHANGE)
- PROPOSED S455 ADDITION
- LINE OF APPROVED DA

**BOUNDARY**

**PROPOSED S455 CHANGES**

- Internal floor plan reconfigured to suit new brief
- Rear portion of floor plan extended by approx. 1500mm (refer to floor plan & elevations)
- New kitchen & door position moved to accommodate new kitchen
- Facade redesigned to suit new kitchen
- Incorporated hip roof as per council request
- Height of rear roof over lounge lowered by 300mm as per council RFI
- Kitchen & window glass changed to suit new facade
- Position of existing windows to be maintained as per council request (refer to floor plan & elevation)
- Position & size of skylights change to suit new kitchen
- Proposed skylights (4) over lounge & one over bed 4
- Proposed solar tube in existing roof to service RDR on ground floor
- Removal of existing screen louvers to external windows overlooking neighbours
- Removal of mid to dark grey paints removed from colour scheme as per council request

**PROPOSED NORTH ELEVATION**

Scale 1:100

**EF-01** HORIZONTAL FC

**EF-02** LIGHT GREY COLORBOND ROOF

**EF-03** STACKED SANDSTONE

**EF-04** OFF-WHITE BRICK

**EF-05** DULUX - WHISPER WHITE

**EF-06** DULUX - JADE BLUE

**EF-07** PROPOSED EXTERNAL ACCESS DOOR

**EF-08** PROPOSED RYDO WINDOW

**EF-09** PROPOSED WINDOW TO MATCH ORIGINAL WINDOWS

**EF-10** ORIGINAL WINDOW POSITION TO BE MAINTAINED NEW WINDOW TO MATCH WINDOW STYLE OF BED 1

**EF-11** EXISTING WINDOW TO BE MAINTAINED

**EF-12** EXISTING WINDOW TO BE MAINTAINED

**EF-13** EXISTING WINDOW TO BE MAINTAINED

**EF-14** EXISTING WINDOW TO BE MAINTAINED

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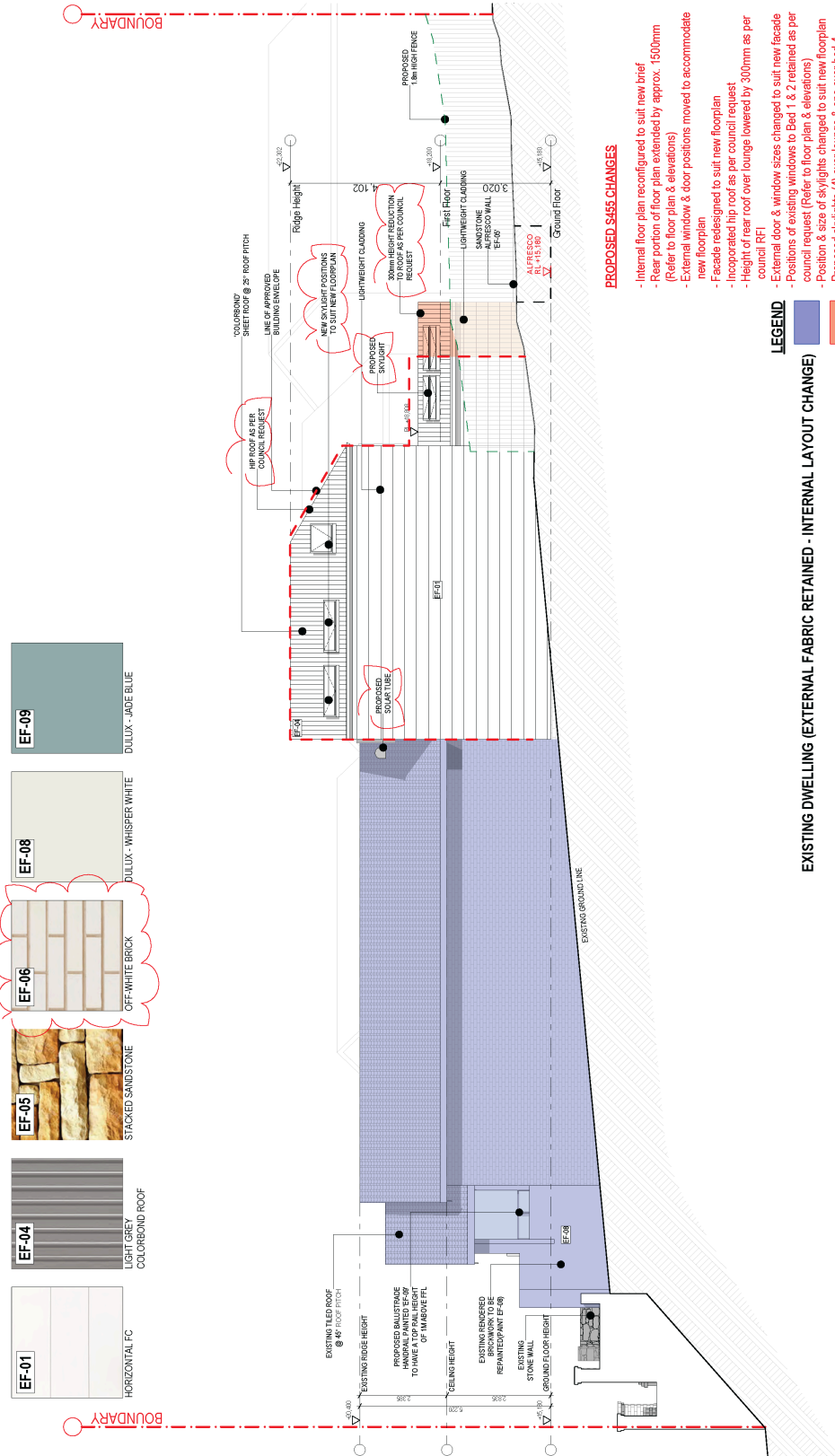
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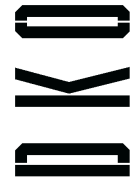
**EF-159** EXISTING WINDOW TO BE MAINTAINED

**EF-**



E-02 Proposed South Elevation

Scale 1:100



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Rev.	Date	By	Ckd	Description
P8	18/06/2022	EN	JP	Pre-DA - Updates
P9	17/08/2022	EN	JP	Section 455
P10	31/11/2020	EN	JP	Section 455 - Amendments

Project Name  
Project Address

Birchgrove Alterations  
95 Grove St,  
Birchgrove, NSW 2041

Project Number  
Drawing Name  
Scale  
Date

11066  
Elevations - Proposed  
As Shown  
May 2018

Client

Chris & Maureen Qureshi

Drawing Number  
Revision

DA306  
P10

PROPOSED S455 CHANGES

- Internal floor plan reconfigured to suit new brief
- Rear portion of floor plan extended by approx. 1500mm (Refer to floor plan & elevations)
- External window & door positions moved to accommodate new floorplan
- Facade redesigned to suit new floorplan
- Incorporated hip roof as per council request
- Height of rear roof over lounge lowered by 300mm as per council RFI
- External door & window sizes changed to suit new facade
- Positions of existing windows to Bed 1 & 2 retained as per council request (Refer to floor plan & elevations)
- Position & size of skylights changed to suit new floorplan
- Proposed skylights (4) over lounge & one over bed 4
- Proposed solar tube in existing roof to service PDR on ground floor
- Proposed privacy screen lowers to external windows overlooking neighbours
- Removal of mid to dark grey paints removed from colour scheme as per council request

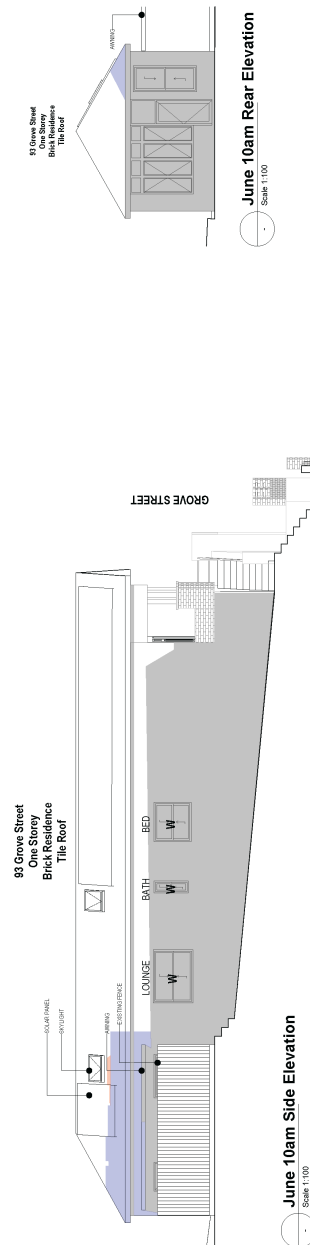
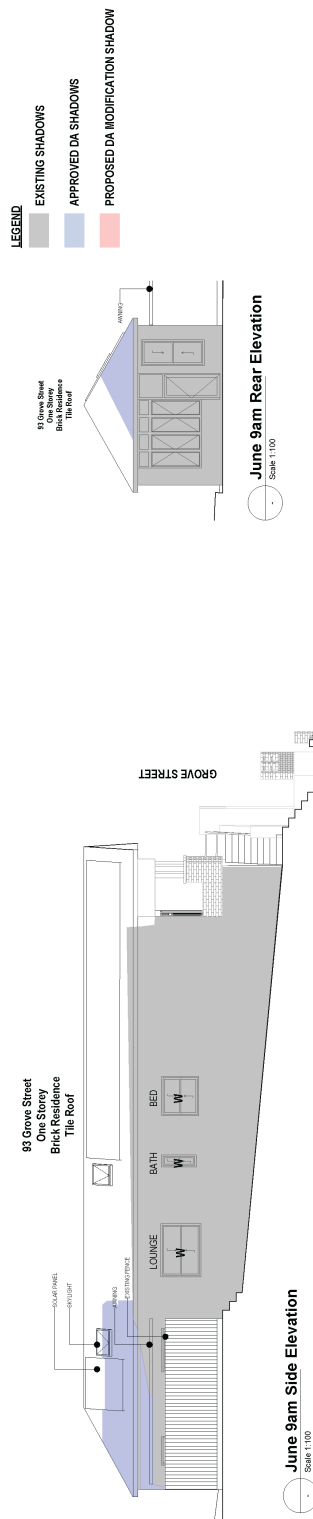
LEGEND

EXISTING DWELLING (EXTERNAL FABRIC RETAINED - INTERNAL LAYOUT CHANGE)

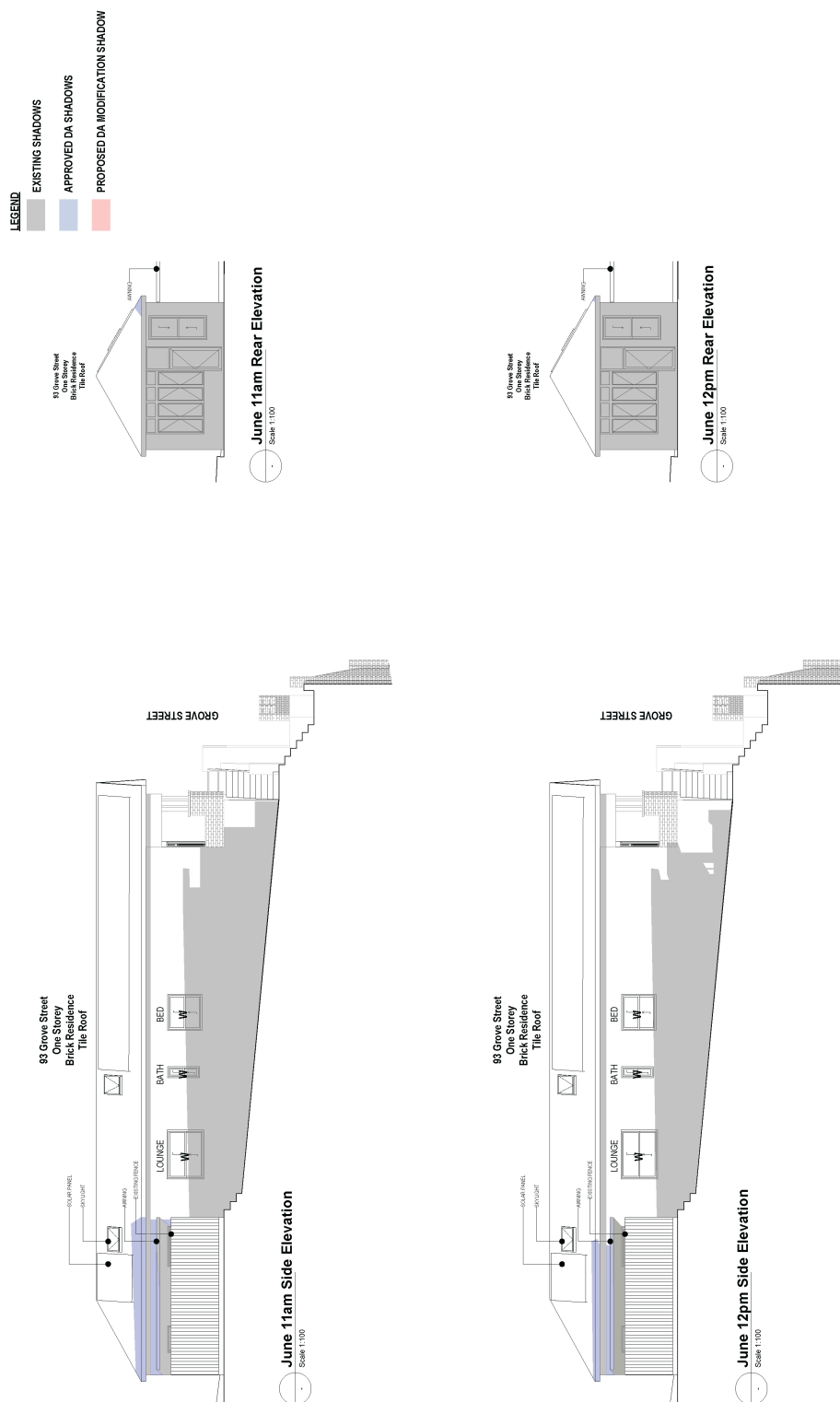
PROPOSED S455 ADDITION

LINE OF APPROVED DA

### June 21st Shadows - Existing, Approved & Proposed



### June 21st Shadows - Existing, Approved & Proposed



Rev.	Date	By	Ckd	Description
P1	3/14/2000	EN	JF	Section 455 - Amendments

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NSW: Nominated Architects  
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David Randerson 8542



Project Name \_\_\_\_\_  
Project Address \_\_\_\_\_  
Client \_\_\_\_\_

Birchgrove Alterations  
95 Grove St.  
Birchgrove, NSW 2041

Project Number  
Drawing Name  
Scale  
Date

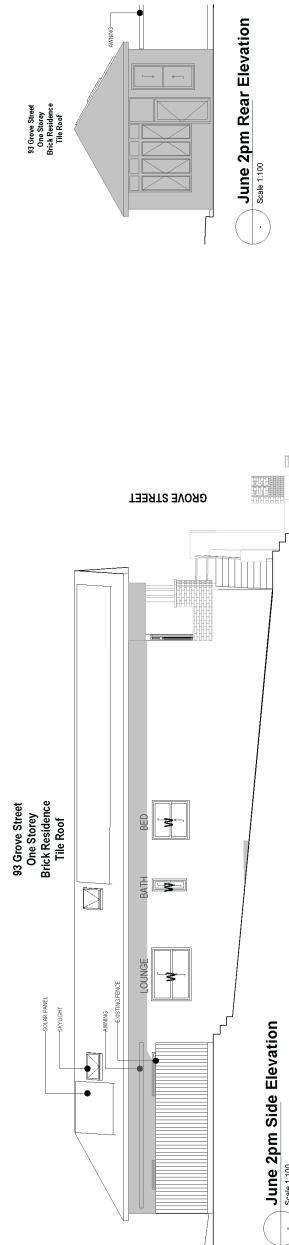
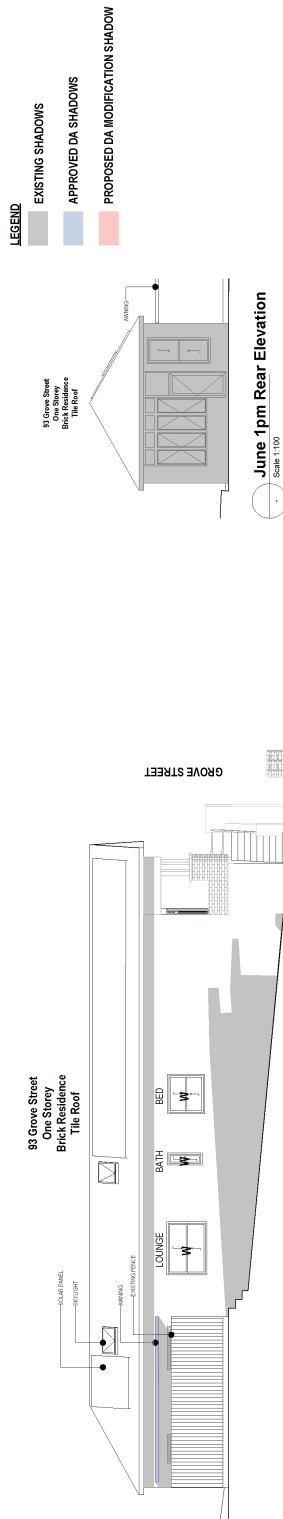
11066  
Neighbour – June Solar  
1:100 @ A2  
May 2018

**DA508**  
**P1**

Drawing Number  
Revision

Chris & Maureen Qureshi

# June 21st Shadows - Existing, Approved & Proposed



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Rev. Date By Cld Description  
1 2/1/2010 JF Approved

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Phone: 02 9231 1166  
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NSW: Nominated Architects  
Level 2 Registered Bldg 2

Project Name  
Project Address

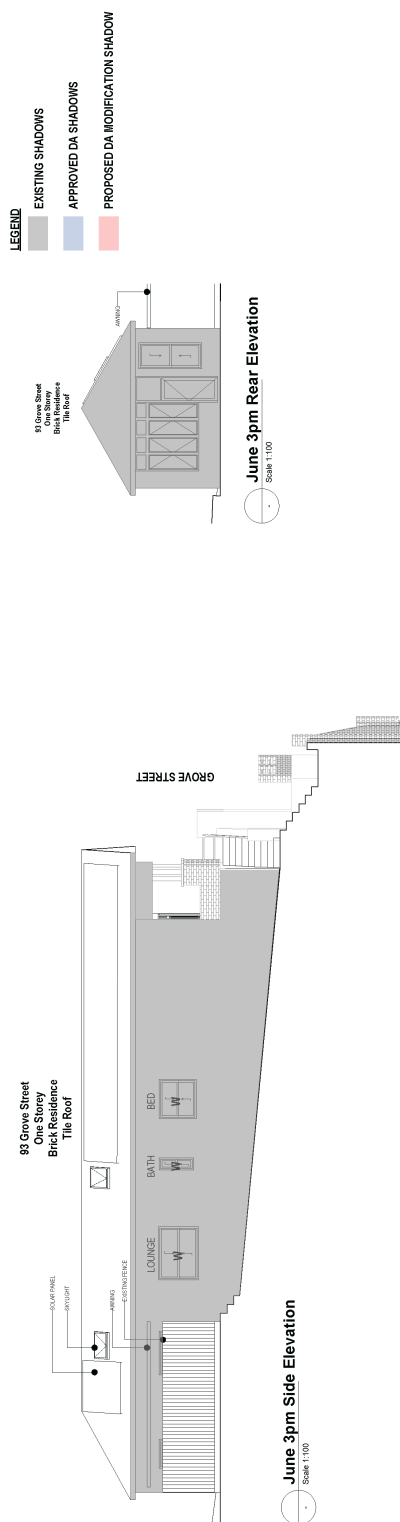
Project Number  
Drawing Name  
Scale  
Date

Chris & Margaret Quenell  
Drawing Number  
Revision

DKO



### June 21st Shadows - Existing, Approved & Proposed



Rev.	Date	By	Ckd	Description
P1	3/14/2000	EN	JF	Section 455 - Automatons

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NSW: Nominated Architects  
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Project Name	Project Address
Project 1	123 Main St, New York, NY 10001
Project 2	456 Elm St, Los Angeles, CA 90001
Project 3	789 Oak St, Chicago, IL 60601
Project 4	101 Pine St, San Francisco, CA 94101
Project 5	202 Maple St, Houston, TX 77001
Project 6	303 Cedar St, Phoenix, AZ 85001
Project 7	404 Birch St, Philadelphia, PA 19101
Project 8	505 Walnut St, San Diego, CA 92101
Project 9	606 Spruce St, Dallas, TX 75201
Project 10	707 Ash St, Austin, TX 78701
Project 11	808 Hickory St, Fort Worth, TX 76101
Project 12	909 Cypress St, Miami, FL 33101
Project 13	1010 Redwood St, Seattle, WA 98101
Project 14	1111 Sycamore St, Denver, CO 80201
Project 15	1212 Dogwood St, Portland, OR 97201
Project 16	1313 Magnolia St, San Jose, CA 95101
Project 17	1414 Juniper St, Salt Lake City, UT 84101
Project 18	1515 Willow St, Las Vegas, NV 89101
Project 19	1616 Cherry St, Minneapolis, MN 55401
Project 20	1717 Peach St, Kansas City, MO 64101
Project 21	1818 Apple St, Omaha, NE 68101
Project 22	1919 Orange St, Wichita, KS 67201
Project 23	2020 Lemon St, Lincoln, NE 68501
Project 24	2121 Grape St, Des Moines, IA 50301
Project 25	2222 Strawberry St, Madison, WI 53701
Project 26	2323 Blueberry St, Milwaukee, WI 53201
Project 27	2424 Raspberry St, Indianapolis, IN 46201
Project 28	2525 Blackberry St, Columbus, OH 43201
Project 29	2626 Elderberry St, Louisville, KY 40201
Project 30	2727 Mulberry St, Cincinnati, OH 45201
Project 31	2828 Fig St, Cleveland, OH 44101
Project 32	2929 Kiwi St, Detroit, MI 48201
Project 33	3030 Mango St, New Orleans, LA 70101
Project 34	3131 Papaya St, Honolulu, HI 96801
Project 35	3232 Pineapple St, Anchorage, AK 99501
Project 36	3333 Watermelon St, Juneau, AK 99801
Project 37	3434 Cantaloupe St, Fairbanks, AK 99701
Project 38	3535 Honeydew St, Sitka, AK 99830
Project 39	3636 Pumpkin St, Kodiak, AK 99584
Project 40	3737 Strawberry St, Kodiak, AK 99584
Project 41	3838 Blueberry St, Kodiak, AK 99584
Project 42	3939 Raspberry St, Kodiak, AK 99584
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Project 45	4242 Mulberry St, Kodiak, AK 99584
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Project 54	5151 Strawberry St, Kodiak, AK 99584
Project 55	5252 Blueberry St, Kodiak, AK 99584
Project 56	5353 Raspberry St, Kodiak, AK 99584
Project 57	5454 Blackberry St, Kodiak, AK 99584
Project 58	5555 Elderberry St, Kodiak, AK 99584
Project 59	5656 Mulberry St, Kodiak, AK 99584
Project 60	5757 Fig St, Kodiak, AK 99584
Project 61	5858 Kiwi St, Kodiak, AK 99584
Project 62	5959 Mango St, Kodiak, AK 99584
Project 63	6060 Papaya St, Kodiak, AK 99584
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Project 65	6262 Watermelon St, Kodiak, AK 99584
Project 66	6363 Cantaloupe St, Kodiak, AK 99584
Project 67	6464 Honeydew St, Kodiak, AK 99584
Project 68	6565 Strawberry St, Kodiak, AK 99584
Project 69	6666 Blueberry St, Kodiak, AK 99584
Project 70	6767 Raspberry St, Kodiak, AK 99584
Project 71	6868 Blackberry St, Kodiak, AK 99584
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Project 96	9393 Strawberry St, Kodiak, AK 99584
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Project 100	9797 Elderberry St, Kodiak, AK 99584

Client

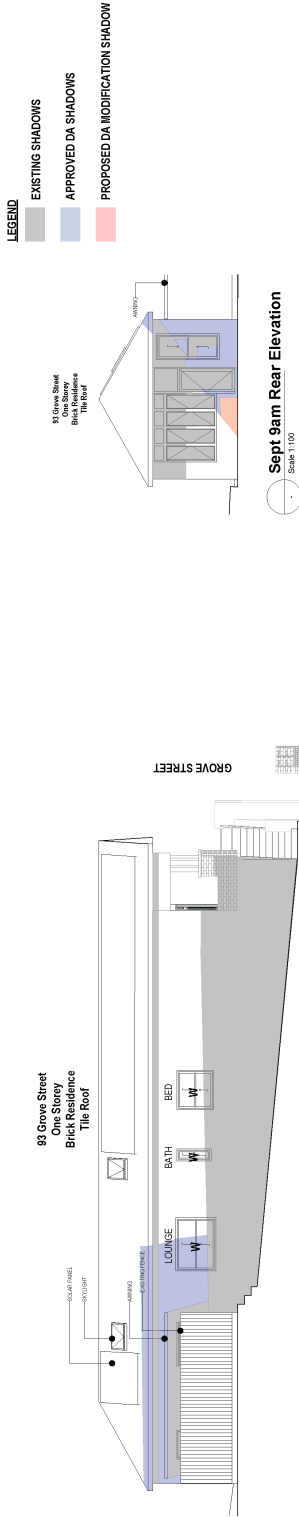
Birchgrove Alterations	Project Number
95 Grove St.	Drawing Name

Chris & Maureen Qureshi	Drawing Number	Revision
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11966  
Neighbour - June Solar  
1:100 @ A2  
May 2018

DA510  
P1

Sept 21st Shadows - Existing, Approved & Proposed



DKO

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NSW: 152444444  
NSW: 152444444  
NSW: 152444444

Rev. Date By Cld Description

1	2/1/2020	DN	Approved
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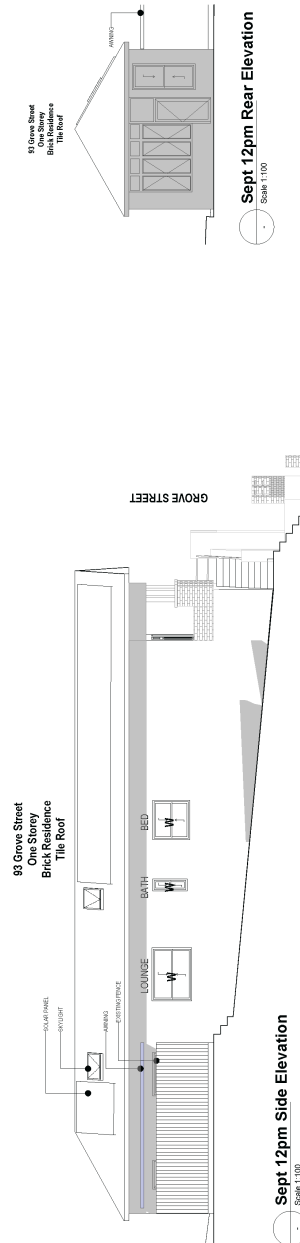
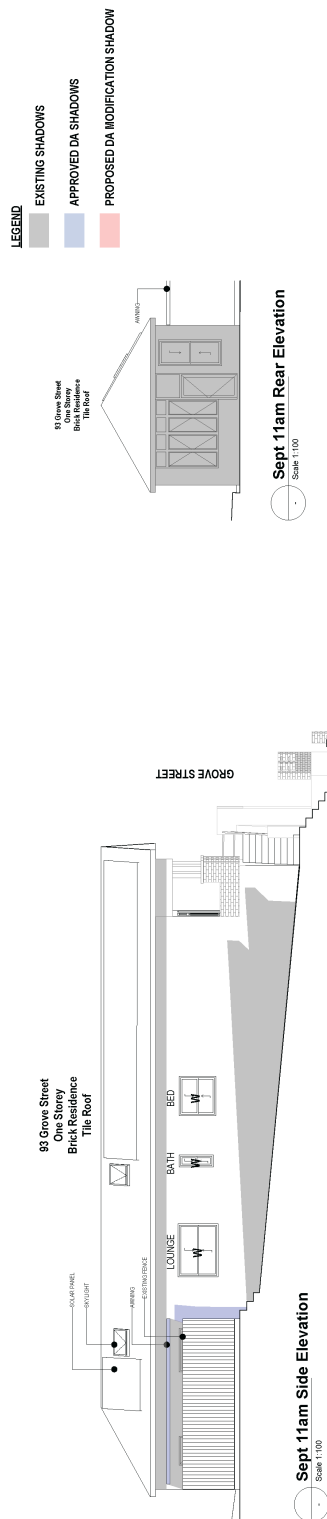
Project Name  
Project Address  
Project Number  
Drawing Name  
Scale  
Date

Client

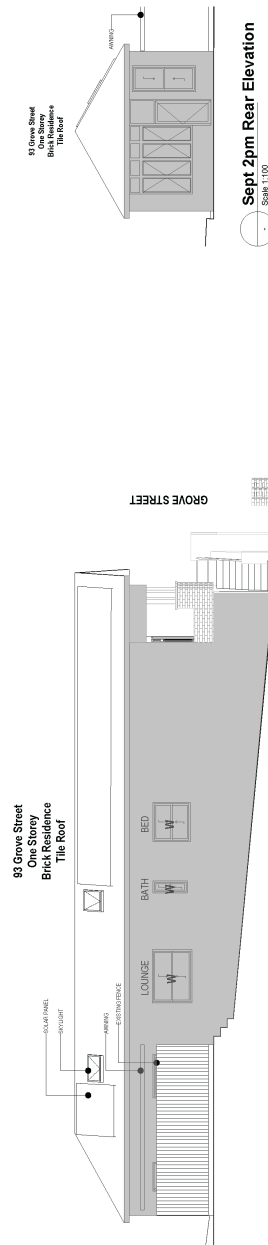
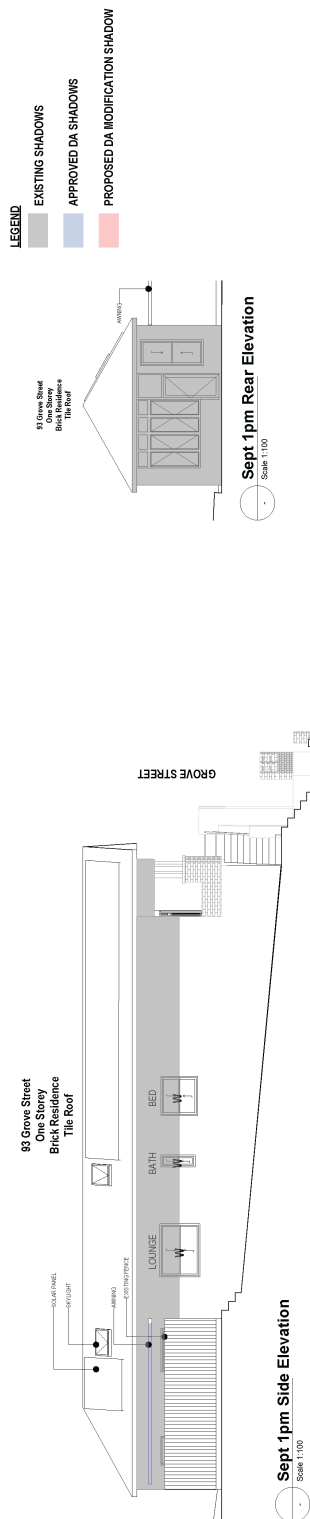
Barclaygrove Alterations  
Barclaygrove, NSW 2041  
Drawing Number  
Revision

Chris & Margaret Quareschi  
DA511  
P1

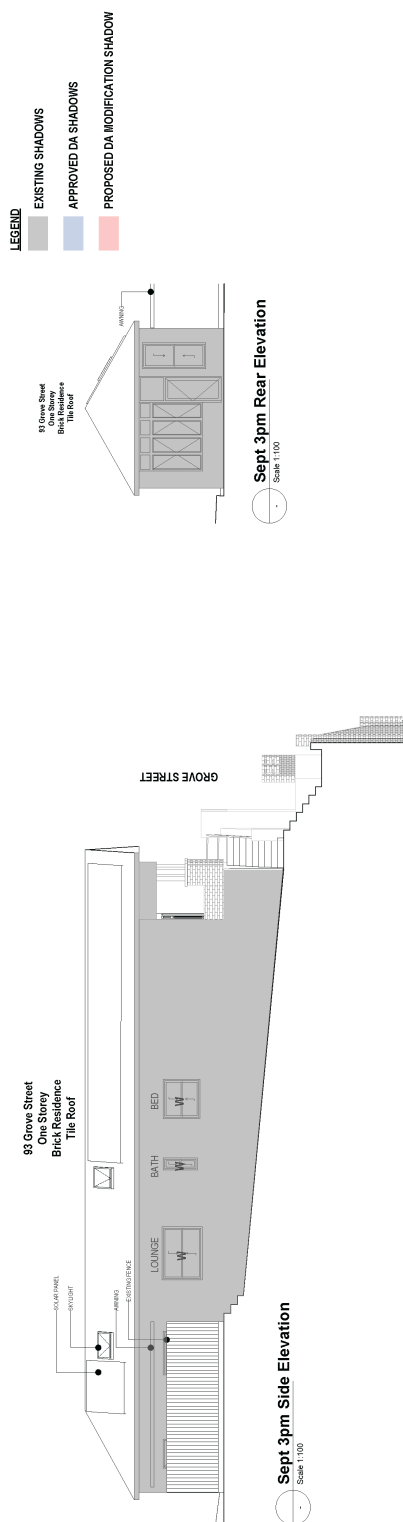
**Sept 21st Shadows - Existing, Approved & Proposed**



**Sept 21st Shadows - Existing, Approved & Proposed**



**Sept 21st Shadows - Existing, Approved & Proposed**



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Rev.	Date	By	Ckd	Description
04	9/14/2020	EN	JF	Section 455 - Amendment



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Kooro de Keijzer 5767  
David Randerson 8542

Project Name	Project Address
Project 1	123 Main St, New York, NY 10001
Project 2	456 Elm St, Los Angeles, CA 90001
Project 3	789 Oak St, Chicago, IL 60601
Project 4	101 Pine St, San Francisco, CA 94101
Project 5	202 Cedar St, Houston, TX 77001
Project 6	303 Birch St, Phoenix, AZ 85001
Project 7	404 Spruce St, Portland, OR 97201
Project 8	505 Fir St, Seattle, WA 98101
Project 9	606 Redwood St, San Jose, CA 95101
Project 10	707 Cypress St, Austin, TX 78701
Project 11	808 Juniper St, Denver, CO 80201
Project 12	909 Willow St, Salt Lake City, UT 84101
Project 13	1010 Ash St, Las Vegas, NV 89101
Project 14	1111 Hickory St, Nashville, TN 37201
Project 15	1212 Magnolia St, New Orleans, LA 70101
Project 16	1313 Sycamore St, Memphis, TN 38101
Project 17	1414 Dogwood St, Atlanta, GA 30301
Project 18	1515 Peach St, Savannah, GA 31401
Project 19	1616 Cherry St, Charleston, SC 29401
Project 20	1717 Plum St, Columbia, SC 29201
Project 21	1818 Apple St, Raleigh, NC 27601
Project 22	1919 Orange St, Durham, NC 27701
Project 23	2020 Lemon St, Charlotte, NC 28201
Project 24	2121 Lime St, Winston-Salem, NC 27101
Project 25	2222 Grape St, Greensboro, NC 27401
Project 26	2323 Strawberry St, High Point, NC 27260
Project 27	2424 Blueberry St, Salisbury, NC 28134
Project 28	2525 Raspberry St, Fayetteville, NC 28333
Project 29	2626 Blackberry St, Jacksonville, FL 32201
Project 30	2727 Elderberry St, Tallahassee, FL 32301
Project 31	2828 Mulberry St, Gainesville, FL 32601
Project 32	2929 Fig St, Orlando, FL 32801
Project 33	3030 Kiwi St, Miami, FL 33101
Project 34	3131 Mango St, Fort Lauderdale, FL 33301
Project 35	3232 Papaya St, West Palm Beach, FL 33401
Project 36	3333 Guava St, Boca Raton, FL 33433
Project 37	3434 Pineapple St, Delray Beach, FL 33484
Project 38	3535 Coconut St, Fort Myers, FL 33901
Project 39	3636 Cashew St, Naples, FL 34101
Project 40	3737 Almond St, Sarasota, FL 34233
Project 41	3838 Walnut St, Venice, FL 33596
Project 42	3939 Pecan St, Clearwater, FL 34615
Project 43	4040 Hazelnut St, St. Petersburg, FL 33701
Project 44	4141 Peanut St, Dunedin, FL 34626
Project 45	4242 Pistachio St, Palm Bay, FL 32909
Project 46	4343 Brazil Nut St, Melbourne, FL 32901
Project 47	4444 Macadamia St, Titusville, FL 32781
Project 48	4545 Cashew St, Orlando, FL 32801
Project 49	4646 Walnut St, Tampa, FL 33601
Project 50	4747 Pecan St, St. Louis, MO 63101
Project 51	4848 Hazelnut St, Kansas City, MO 64101
Project 52	4949 Peanut St, Omaha, NE 68101
Project 53	5050 Pistachio St, Lincoln, NE 68501
Project 54	5151 Walnut St, Omaha, NE 68101
Project 55	5252 Pecan St, Lincoln, NE 68501
Project 56	5353 Hazelnut St, Omaha, NE 68101
Project 57	5454 Peanut St, Lincoln, NE 68501
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Project 59	5656 Walnut St, Lincoln, NE 68501
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Project 98	9595 Pistachio St, Omaha, NE 68101
Project 99	9696 Walnut St, Lincoln, NE 68501
Project 100	9797 Pecan St, Omaha, NE 68101

Client

### Birchgrove Alterations

Project Number  
Drawing Name  
Scale  
Date

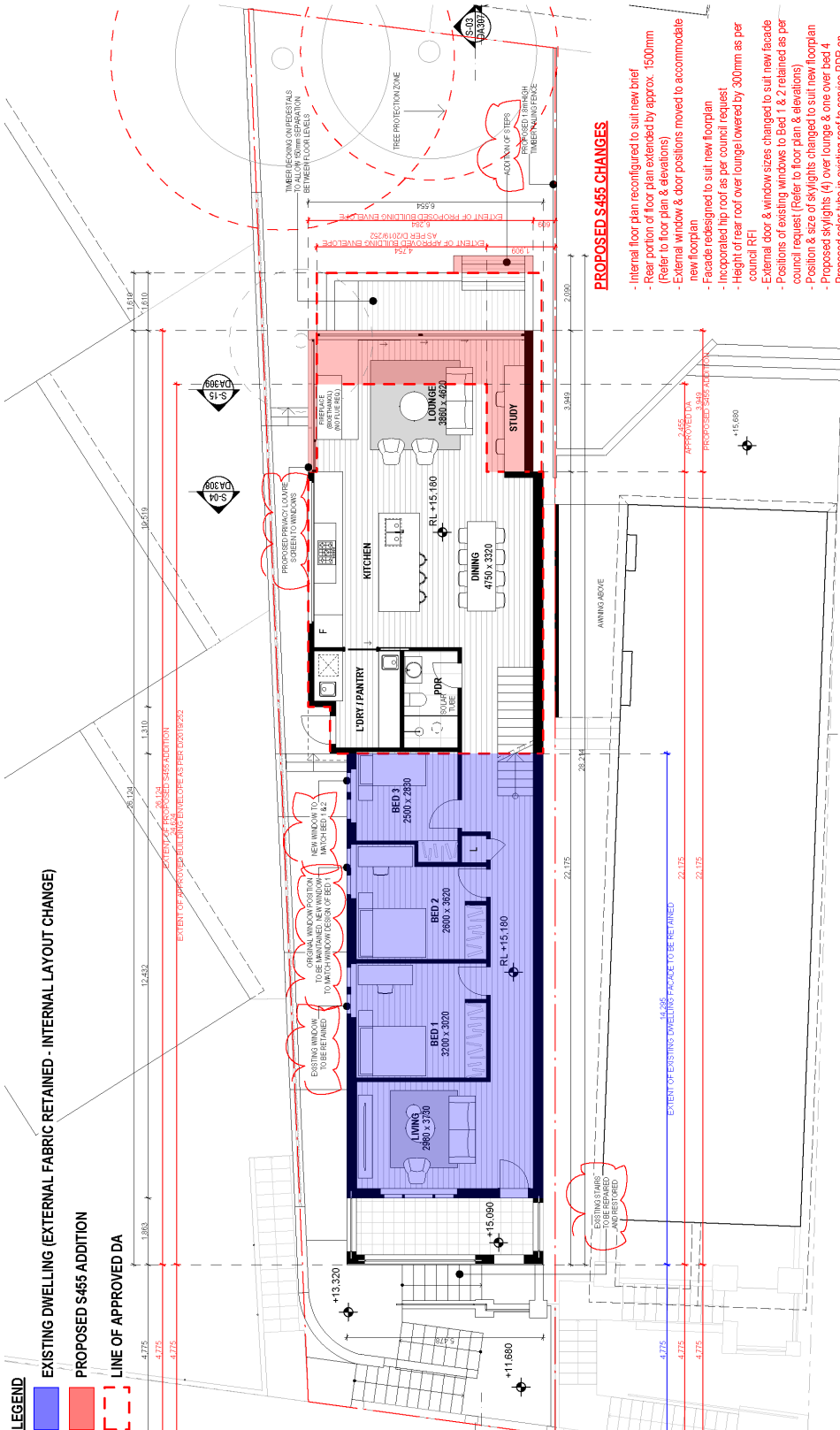
11966  
Neighbour - Sept Solar  
1:100 @ A2  
May 2018

Chris & Maureen Qureshi | Drawing Number **DA514** | Revision **P1**

DA514  
P1

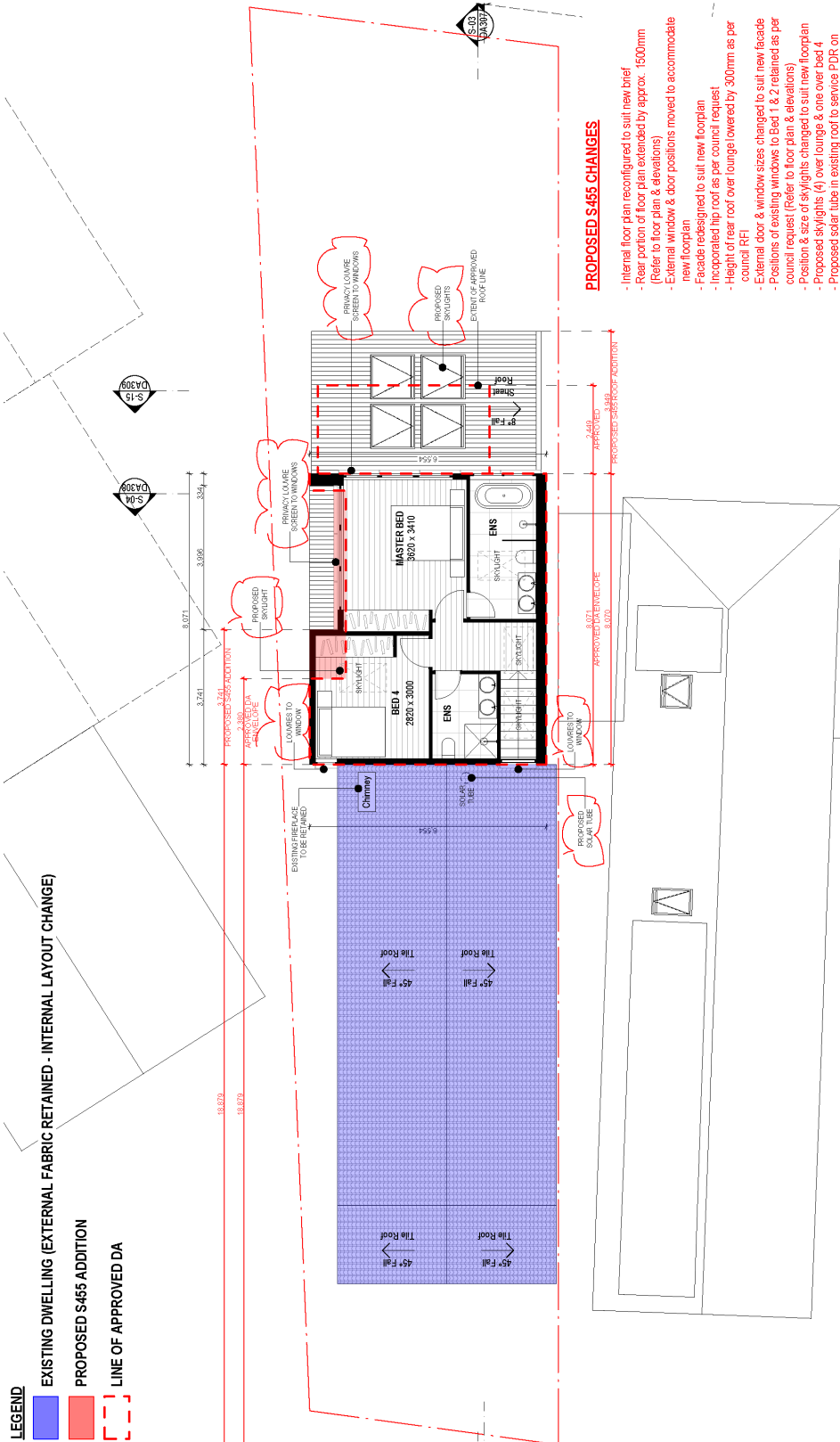
11966  
Neighbour - Sep  
1:100 @ A2  
May 2018

**DA514**  
**P1**



0. Ground Floor  
Scale 1:100

DKO Architecture (NSW) Pty Ltd 110 Redfern Street Sydney NSW 1540 ABN: 81 627 065 696 NSW: Nominated Architects Kos de Krijger 5767   David Henderson 8542	T +61 2 8346 4500 info@dko.com.au www.dko.com.au	© DKO Architecture (NSW) Pty Ltd No part of this drawing may be reproduced or otherwise used without written permission of DKO Architecture	Rev.	Date	By	Cld	Description
			P9	06/06/2020	EN	JF	Pre DA - Updates
Chris & Maureen Qureshi Drawing Number DA300 Revision P11	Project Name Project Address Project Number Drawing Name Scale Date	Bairdgrove Alterations 95 Grove St, Bairdgrove, NSW 2041	P10	07/06/2020	EN	JF	Section 455
			P11	31/10/2020	EN	JF	Section 455 - Amendments



1. First Floor  
Scale 1:100

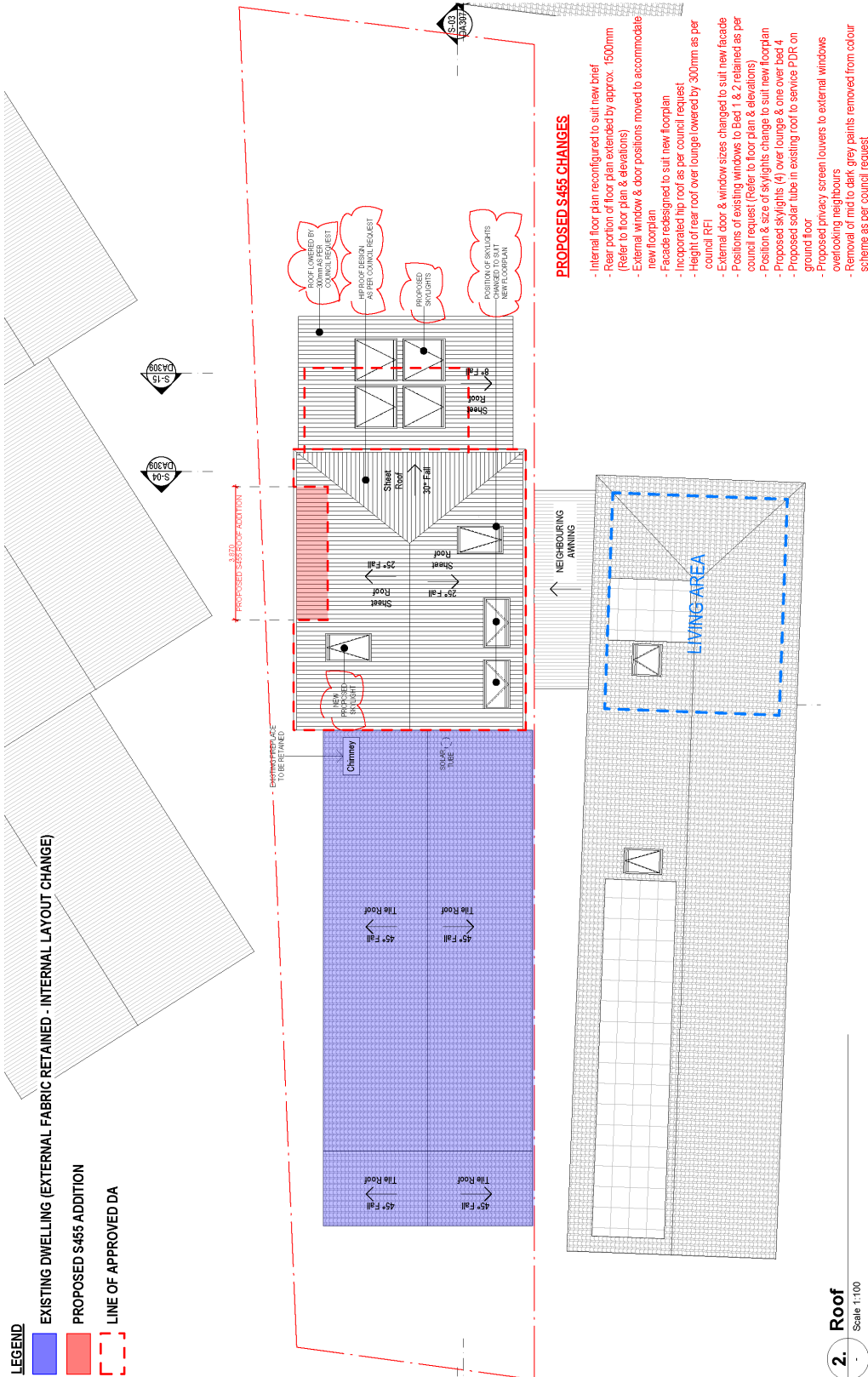


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Rev.	Date	By	Cld	Description
P9	06/06/2020	EN	JF	Pre DA - Updates
P10	07/06/2020	EN	JF	Section 455
P11	31/07/2020	EN	JF	Section 455 - Amendments

Project Name	Birchgrove Alterations	Project Number	11966
Project Address	95 Grove St, Birchgrove, NSW 2041	Drawing Name	Proposed First Floor As Shown
Client	Chris & Maureen Qureshi	Scale	As Shown
		Date	May 2018
		Drawing Number	DA301
		Revision	P11



Project Number	11966
Drawing Name	Proposed Roof As Shown
Scale	May 2018
Date	
Drawing Number	DA302
Revision	P9

Project Name	Birdgrove Alterations
Project Address	95 Grove St, Birdgrove, NSW 2041
Client	Chris & Maureen Qureshi

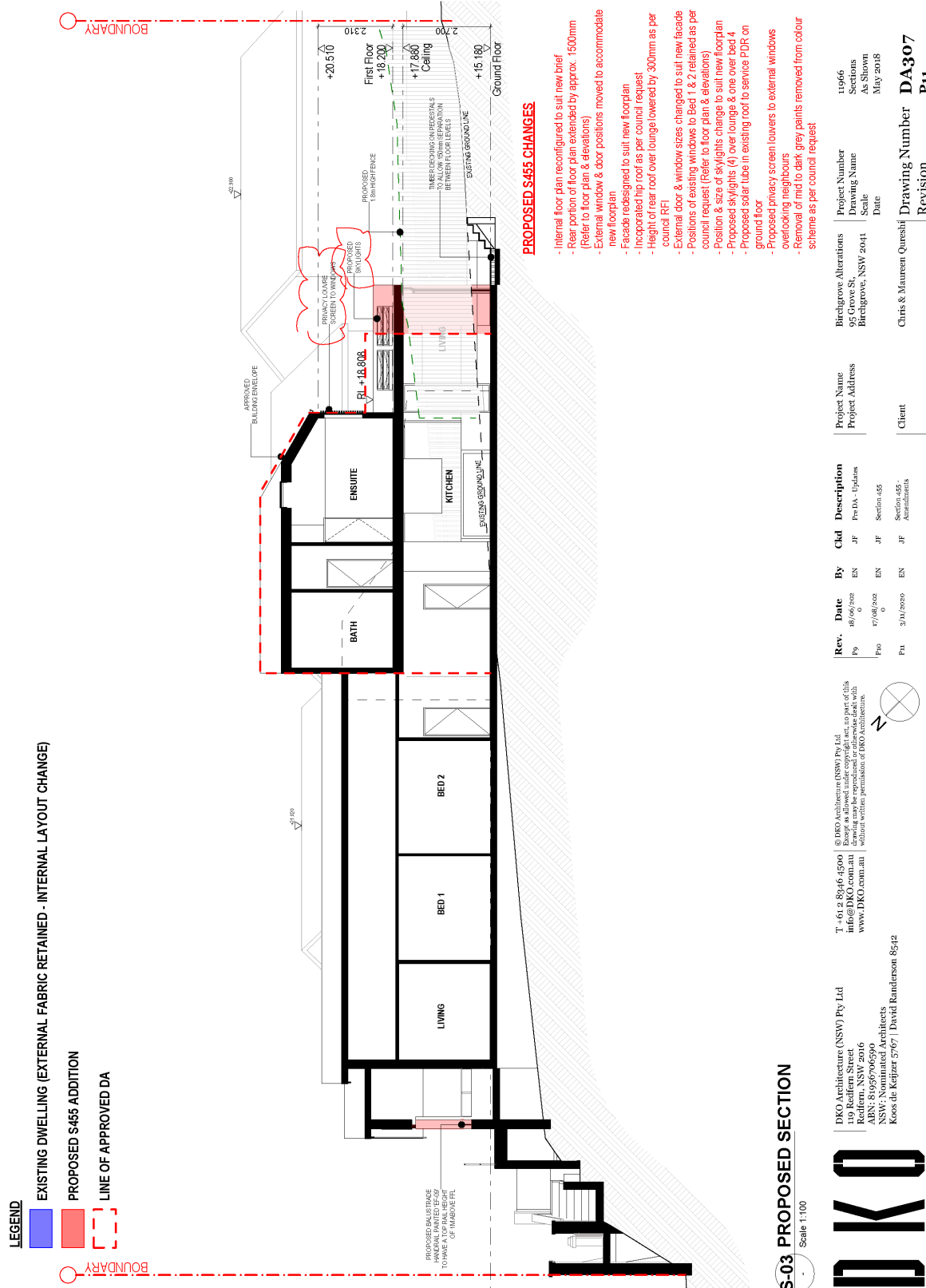
Rev.	Date	By	Cld	Description
07	06/06/2020	EN	JF	Pre DA - Updates
08	07/06/2020	EN	JF	Section 465
P9	31/10/2020	EN	JF	Section 465 - Amendments

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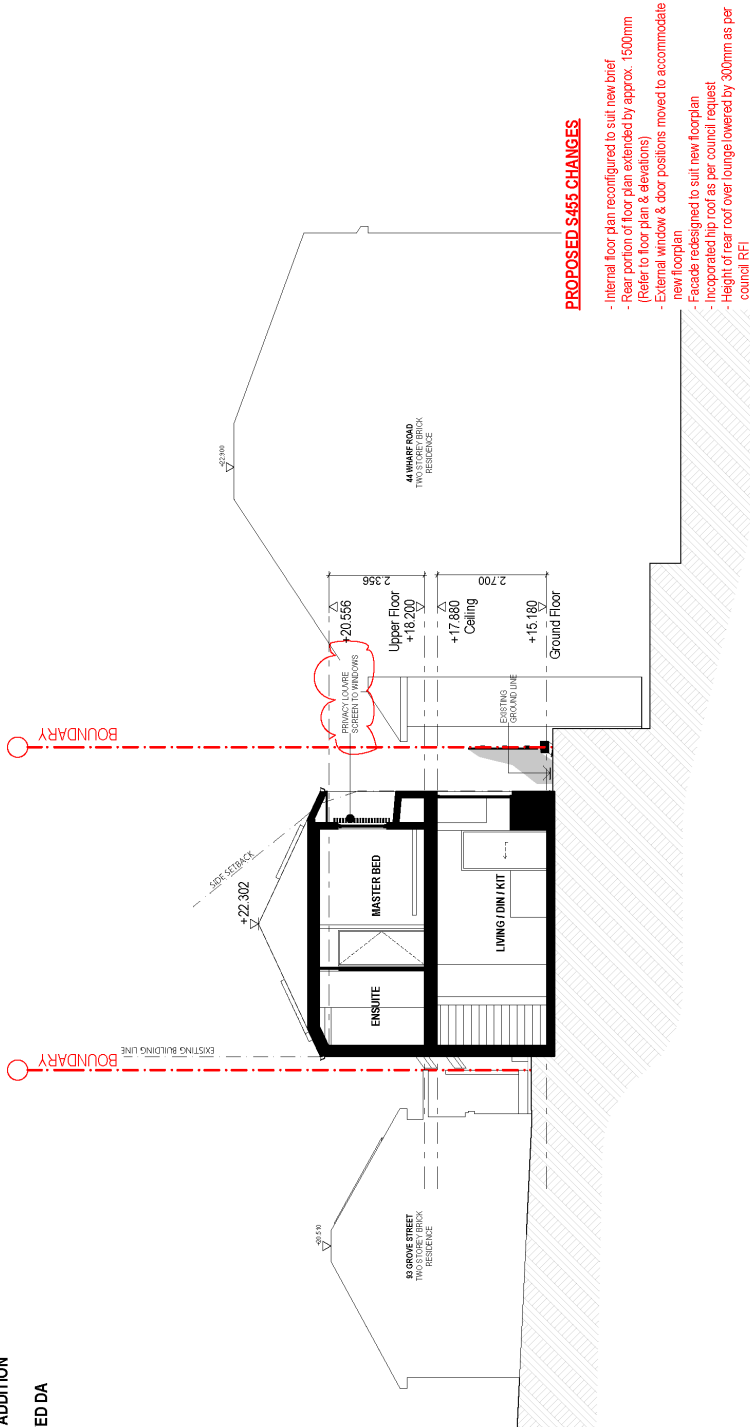
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110 Redfern Street  
Sydney, NSW 2016  
ABN: 81 657 060 606  
NSW: Nominated Architects  
Kos de Krijger 5767 | David Henderson 8542

DKO



LEGEND

- EXISTING DWELLING (EXTERNAL FABRIC RETAINED - INTERNAL LAYOUT CHANGE)
- PROPOSED S455 ADDITION
- LINE OF APPROVED DA



S-04 PROPOSED SECTION

Scale 1:100



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Rev.	Date	By	Cld	Description
07	06/06/2020	EN	JF	Pre DA - Updates
08	07/06/2020	EN	JF	Section 455
P9	3/11/2020	EN	JF	Section 455 - Amendments

Project Name  
Project Address

Birdgrove Alterations  
95 Grove St,  
Birdgrove, NSW 2041

Project Number  
Drawing Name  
Scale  
Date

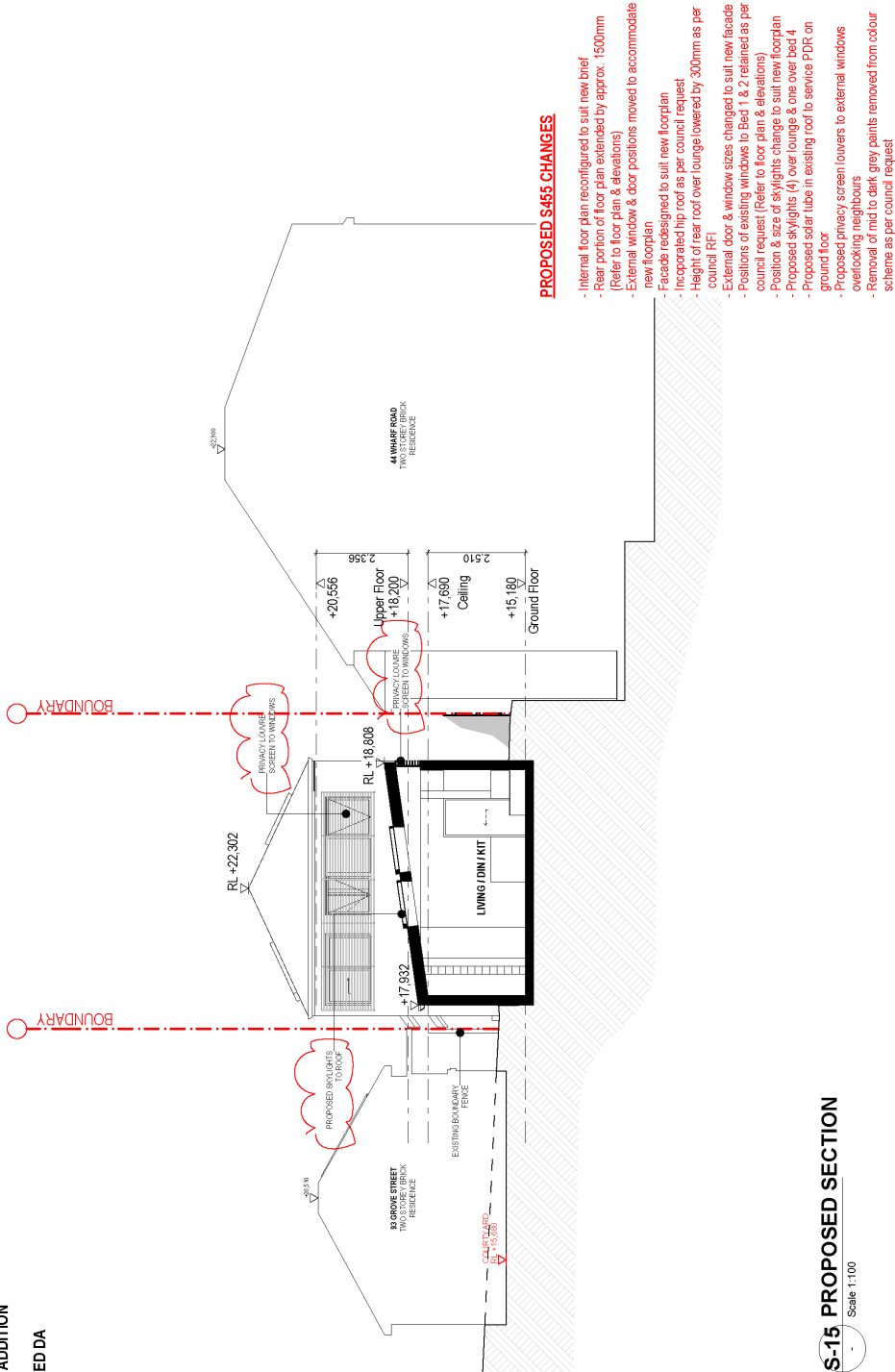
11966  
As Shown  
May 2018

Client  
Chris & Maureen Qureshi

Drawing Number  
Revision  
DA308  
P9

LEGEND

- EXISTING DWELLING (EXTERNAL FABRIC RETAINED - INTERNAL LAYOUT CHANGE)
- PROPOSED S455 ADDITION
- LINE OF APPROVED DA



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Scale: 1:100

Rev. Date By Description  
01 17/08/2020 EN JF Section 455  
P2 3/11/2020 EN JF Section 455 Amendments

Rev.	Date	By	Cld	Description
01	17/08/2020	EN	JF	Section 455
P2	3/11/2020	EN	JF	Section 455 Amendments

Project Name  
Project Address

Birdgrove Alterations  
95 Grove St,  
Birdgrove, NSW 2041

Project Number  
Drawing Name  
Scale  
Date

11966  
Sections  
As Shown  
May 2018

Client  
Chris & Maureen Qureshi

Drawing Number  
Revision

DA309  
P2



95 Grove Street Birchgrove NSW 2041

## DRAWING SCHEDULE

DRAWING NUMBER	DRAWING TITLE	SCALE
L-000	COVERSHEET & GENERAL NOTES	N/A
L-50	TREE REMOVAL PLAN	1:50
L-100	LANDSCAPE PLAN	1:50
L-500	LANDSCAPE TYPICAL DETAILS	AS SHOWN

PLANTING SCHEDULE			
TREE			
BOTANIC NAME	COMMON NAME	MATURE SIZE H X W (m)	POT SIZE
Citrus limon 'Eureka'	Lemon Tree	4 x 3	75L
SHRUB			
Gardenia augusta 'Florida'	Gardenia Florida	1 x 1	200mm
Grevillea 'Fireworks'	Grevillea	1 x 1	200mm
Viburnum tinus	Laurustinus	3 x 2	200mm
TURF			
Stenodaphnum secundatum	Buffalo Grass	0.05 x Spreading	

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The contractor shall check and verify all work on site (including work by

E	54-95 SUBMISSION
D	UPDATED OA
C	RFI AMENDMENTS
B	OA ISSUE
A	OA ISSUE
Issue	Revision Description

A1

### LEGEND

## May 2001

## CITY IMAGE



Project  
BIRCHGROVE ALTERATIONS  
95 GROVE ST,  
BIRCHGROVE, NSW 2041

Scale: N/A  
Job Number: SS19-4079  
Drawing Number: L-0

## GENERAL NOTES

## Workmanship and Materials

**Workmanship and Materials**  
The whole of the landscape works shall be carried out by a competent, trained and qualified landscape contractor who is experienced in horticultural practices, landscape construction and planting techniques. The landscape contractor shall hold a current Building Contractors Licence and/or be a financial member of LANA Landscape Association NSW & ACT or equivalent organisations in other states.

## EDGING TREES

**Trees to be Retained and Protected**  
Protect from damage the trees and shrubs to be retained, including those beyond the site area, both above and below the ground. If a tree becomes damaged during the works or it is proposed to perform work on a tree, give written notice immediately and obtain instructions.

## Work needs

Keep the area of the drip-line free from construction material and debris. Do not place bulk materials and harmful materials under or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown materials such as cement from harming trees and plants. Do not remove topsoil from, or add topsoil to, the area within the drip-line of trees.

## EARTHWORKS

**Excavation, Trimming and Filling**  
Except as otherwise noted in the contract, bulk excavation is excluded from the landscape works. Trim and fill the excavated ground surfaces to achieve design levels to accommodate finish materials as detailed. Compact the finished surface as required for the finished ground treatment.

## Sub-soil □

Install sub-soil drainage pipes as required for the new works to ensure that all gardens are well drained. Connect the sub-soil drainage pipes to the nearest downstream stormwater pits. Include pipe filter socks.

## HARDWORKS

**Paving**  
Install the scheduled material pavement to the locations shown on plan. Ensure that all subgrade/subsurface works are complete prior to commencing paving. Confer with the engineer to ensure the structural integrity of the installation.

## SOFTWARES

**Subsoil** All garden beds to bring the subsoil to at least 200mm below finished ground level. Shape the subsoil to fall to support drains where applicable. Do not excavate within the dip line of trees to be retained. Excavate all turf areas to bring the subsoil to at least 100mm below finished ground level. Shape the subsoil to fall to support drains where applicable. Do not excavate within the dip line of trees to be retained. Cultivate the subsoil to a further depth of 100mm. Remove stones retained. Excavate 25mm. coils of earth exceeding 50mm, and weeds, rubble or other deleterious material brought to the surface during cultivation. Do not disturb services or tree roots, if necessary cultivate these areas by hand. During cultivation, thoroughly inspect the subsoil for any underground services. Do not take as much as 100mm of the soil level, and use the results to set out and construct a new vegetation line. From the surface to dip level after cultivation.

## Topsoil

- Finished topsoil surface which has the following characteristics:
  - Finished to design levels, allowing for mulch or turf, which is to finish flush with adjoining hard surfaces such as paths and edge;

- Smooth and free from stones or lumps of soil;
- Graded to drain freely, without ponding, to catchment points;
- Graded evenly to adjoining surfaces; and
- Ready for planting.

S4.55 SUBMISSION NOTE

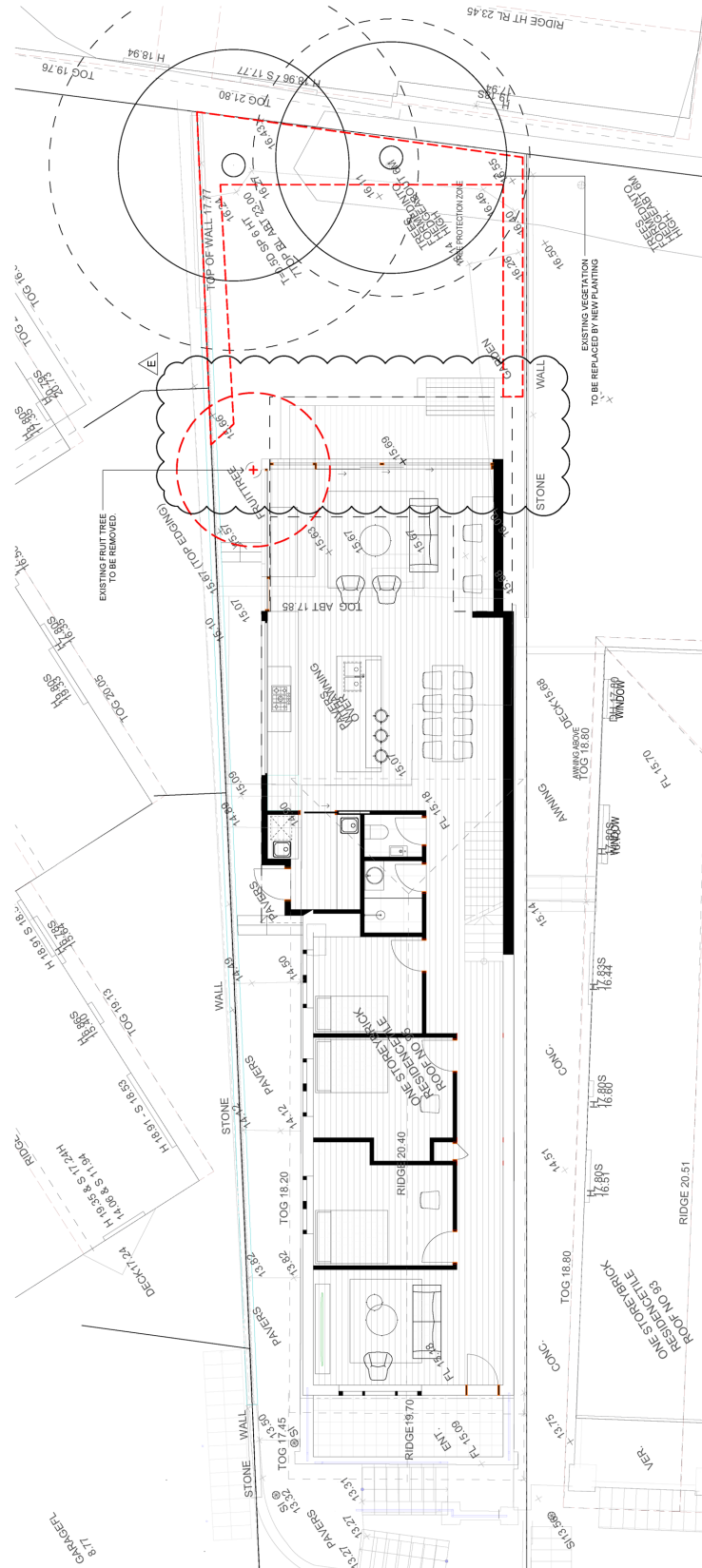
Drawing Name:

Drawing Name: **COVERSHEET & GENERAL NOTES**

Scale: N/A  
Job Number: SS19-4079  
S4

**SUBMISSION**

Drawing Number: **L-000** Issue: **E**



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THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

REVISIONS

Rev	Description	Date
1	ISSUED FOR TENDERS	15/11/2018
2	REVISED PER COMMENTS	15/11/2018
3	REVISED PER COMMENTS	15/11/2018
4	REVISED PER COMMENTS	15/11/2018
5	REVISED PER COMMENTS	15/11/2018

LEGEND

Symbol	Description
(Circle with dot)	EXISTING TREE TO BE RETAINED
(Circle with cross)	EXISTING TREE TO BE REMOVED
(Red outline)	EXISTING VEGETATION TO BE REMOVED & REPLACED BY NEW PLANTING

Key Note



SITE IMAGE

Client: DKO ARCHITECTURE

Drawing Name: TREE REMOVAL PLAN

Project: BIRCHGROVE ALTERATIONS  
95 GROVE ST,  
BIRCHGROVE, NSW 2041

S4.55 SUBMISSION  
Scale: 1:50 @ A1  
Drawing Number: SS19-4079

Sheet: 4 of 4

