

INNER WEST	
DEVELOPMENT ASSESSMENT REPORT	
Application No.	MOD/2020/0296
Address	18 Ferdinand Street Birchgrove NSW 2041
Proposal	Section 4.55(1a) modification of consent D/2019/242 to modify approved alterations and additions - internal and external changes to envelope and footprint of building.
Date of Lodgement	11 September 2020
Applicant	Mr Ray Stevens C/- Oikos Architects
Owner	Mr N A Hume and Ms L Le
Number of Submissions	Nil
Value of works	\$290,000.00
Reason for determination at Planning Panel	Clause 4.6 variation exceeds 10%
Main Issues	FSR exceeds 1:1 Site coverage breach Landscape breach
Recommendation	Approval with Conditions
Attachment A	Recommended conditions of consent
Attachment B	Plans of proposed development
LOCALITY MAP	
Subject Site	
Notified Area	
Objectors	
Supporters	
	

1. Executive Summary

This report is an assessment of the application submitted to Council for modification to determination No. D/2019/242 that approved alterations and additions to a dwelling house. The proposal seeks to modify the consent in the following way:

Ground floor

- Demolish brick nib walls and relocate window out toward the courtyard approximately 450mm.
- Form an enclosed link from the garage into the house.
- Modify the verandah to allow a bin store with access on the driveway side.

First floor

- Raise pitch of roof and ridge to garage to allow boat and bike storage above the car parking bay.
- Extend the wall of F.01 (Study/Guest Room) to align with stair.
- Rebuild front balcony that has deteriorated and is unsafe.

Attic floor

- Amended dormer to delete the curved head as per DA condition 9(a)(i). New store cupboard off the stair winders (over the extended study area below) Increase size of window W08 to take advantage of the view toward the NE.
- Increase size of window W03 on stair for additional light

Amend anomalies to original consent relating to wording and requirement of OSD. The application was notified to surrounding properties and no submissions were received in response.

2. Proposal

Modify the consent to achieve conditions imposed and minor internal and external modifications to the previously approved design.

3. Site Description

The subject site is located on the northern side of Ferdinand Street, between Rose and Cove Streets. The site consists of one (1) allotment and is generally rectangular shaped with a total area of approximately 168.5m² and is legally described as Lot 1 DP 997943.

The site has a frontage to Ferdinand Street of approximately 16.5 metres.

The site supports infill double storey masonry dwelling. The adjoining properties support a mix of single and double storey dwellings, typically original and some newer infill dwellings.

The property is located within a conservation area.

There are no trees on the site impacted by the development. There are a row of 34 trees located on 28 Rose Street acting as a privacy screen on the south eastern boundary that will not be impacted by the proposal.

5(a) Environmental Planning Instruments

The application has been assessed against the relevant Environmental Planning Instruments listed below:

- *State Environmental Planning Policy No. 55—Remediation of Land*
- *Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005*
- *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*
- *State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017*
- *Leichhardt Local Environmental Plan 2013 (LLEP2013)*
- *Draft Inner West Local Environmental Plan 2020 (Draft IWLEP 2020)*

The following provides further discussion of the relevant issues:

5(a)(i) *State Environmental Planning Policy No 55—Remediation of Land*

State Environmental Planning Policy No. 55 - Remediation of Land was considered in the original assessment of the proposal and it is considered that the site will not require remediation in accordance with *SEPP 55*.

5(a)(ii) *Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005*

An assessment has been made of the matters set out in Division 2 Matters for Consideration of the *Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005*. It is considered that the carrying out of the proposed development is generally consistent with the relevant matters for consideration of the Plan and would not have an adverse effect on environmental heritage, the visual environment, the natural environment and open space and recreation facilities for the following reasons:

- Inclusion of lift and mezzanine is located wholly within the existing building footprint.

5(a)(iii) *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*

A BASIX Certificate was submitted with the application and is satisfactory.

5(a)(iv) *Leichhardt Local Environment Plan 2013 (LLEP 2013)*

The application was assessed against the following relevant clauses of the Leichhardt Local Environmental Plan 2013:

- Clause 1.2 – Aims of the Plan
- Clause 2.3 – Zone objectives and Land Use Table
- Clause 2.7 – Demolition Requires Development Consent
- Clause 4.3A(3)(a) – Landscaped Area for residential development in Zone R1
- Clause 4.3A(3)(b) – Site Coverage for residential development in Zone R1
- Clause 4.4 – Floor Space Ratio
- Clause 4.5 – Calculation of floor space ratio and site area
- Clause 4.6 – Exceptions to development standards
- Clause 5.9 – Preservation of trees or vegetation
- Clause 5.10 – Heritage Conservation
- Clause 6.1 – Acid Sulphate Soils

Clause 6.4 – Stormwater management

The following table provides an assessment of the application against the relevant development standards:

Standard (maximum)	Approved (D/2019/242)	Proposal	% of non compliance	Compliances
Floor Space Ratio Required: [0.9:1] (Includes garage)	1.15:1 197.54sqm (27.7% compliance) non	1.2:1 205.75sqm	33%	No
Landscape Area	3.8% 6.48sqm (56.8% Compliance) non	3.7% 6.32sqm	74%	No
Site Coverage	76% 115sqm (11.6% compliance) non	75.1% 128.56sqm	25%	No

The proposed modification seeks to add gross floor area to the ground and first floor resulting in an additional 8.2sqm to the dwelling. This results in the loss of 0.16sqm of landscaped area and increase of site coverage by 7.5sqm.

The modification of a development consent which results in a new or modified variation to a development standard does not require the submission of a written request under Clause 4.6. However, Council is still required to conduct a merit assessment of any new breaches of a development standard. The supporting documentation and justification to further vary the FSR, Landscaped area and Site coverage Development Standard submitted with the modification application justifies the proposed breaches on the basis that:

- The increased gross floor area suspended under a stair and linking the main dwelling to the garage does not impact on the amenity of the adjoining neighbours or the streetscape in terms of bulk and scale, overlooking or overshadowing.
- The increased site coverage (link from dwelling to garage) is located over existing paved area and only reduces the landscaped area by 0.16sqm
- The existing and approved dwelling were approved in breach of LEP standards
- The breaches are located at the rear of the dwelling
- The applicant provided an addendum to the originally supported Clause 4.6 justification in the original consent.

Having regard to the above, it is considered that the modified development will not cause any additional amenity or visual impacts for adjoining properties or alter its streetscape presentation. Therefore, requiring compliance with the maximum FSR development standard, Landscaped Area and Site Coverage is considered to be unreasonable in the circumstances. The proposed modification involving a departure from these development standards is therefore supported.

5(c) Draft Inner West Local Environmental Plan 2020 (Draft IWLEP 2020)

The Draft IWLEP 2020 was placed on public exhibition commencing on 16 March 2020 and accordingly is a matter for consideration in the assessment of the application under *Section 4.15(1)(a)(ii) of the Environmental Planning and Assessment Act 1979*.

The amended provisions contained in the Draft IWLEP 2020 are not particularly relevant to the assessment of the application.

5(d) Development Control Plans

The application has been assessed and the following provides a summary of the relevant provisions of Leichhardt Development Control Plan 2013

LDCP2013	Compliance
Part A: Introductions	
Section 3 – Notification of Applications	Yes
Part B: Connections	
B1.1 Connections – Objectives	Yes
Part C	
C1.0 General Provisions	Yes
C1.1 Site and Context Analysis	Yes
C1.2 Demolition	Yes
C1.3 Alterations and additions	Yes
C1.4 Heritage Conservation Areas and Heritage Items	Yes
C1.5 Corner Sites	N/A
C1.6 Subdivision	N/A
C1.7 Site Facilities	Yes
C1.8 Contamination	N/A
C1.9 Safety by Design	N/A
C1.10 Equity of Access and Mobility	N/A
C1.11 Parking	Yes
C1.12 Landscaping	Yes
C1.13 Open Space Design Within the Public Domain	N/A
C1.14 Tree Management	Yes
C1.15 Signs and Outdoor Advertising	N/A
C1.16 Structures in or over the Public Domain: Balconies, Verandahs and Awnings	N/A
C1.17 Minor Architectural Details	N/A
C1.18 Laneways	N/A
C1.19 Rock Faces, Rocky Outcrops, Cliff Faces, Steep Slopes and Rock Walls	N/A
C1.20 Foreshore Land	N/A
C1.21 Green Roofs and Green Living Walls	N/A
Part C: Place – Section 2 Urban Character	
C2.2.2.6 Birchgrove Distinctive Neighbourhood	Yes
Part C: Place – Section 3 – Residential Provisions	
C3.1 Residential General Provisions	Yes
C3.2 Site Layout and Building Design	Yes
C3.3 Elevation and Materials	Yes

C3.4 Dormer Windows	Yes
C3.5 Front Gardens and Dwelling Entries	Yes
C3.6 Fences	Yes
C3.7 Environmental Performance	Yes
C3.8 Private Open Space	Yes
C3.9 Solar Access	Yes
C3.10 Views	N/A
C3.11 Visual Privacy	Yes
C3.12 Acoustic Privacy	Yes
C3.13 Conversion of Existing Non-Residential Buildings	N/A
C3.14 Adaptable Housing	N/A
Part C: Place – Section 4 – Non-Residential Provisions	N/A
Part D: Energy	
Section 1 – Energy Management	Yes
Section 2 – Resource Recovery and Waste Management	
D2.1 General Requirements	Yes
D2.2 Demolition and Construction of All Development	Yes
D2.3 Residential Development	Yes
D2.4 Non-Residential Development	N/A
D2.5 Mixed Use Development	N/A
Part E: Water	
Section 1 – Sustainable Water and Risk Management	
E1.1 Approvals Process and Reports Required With Development Applications	Yes
E1.1.1 Water Management Statement	Yes
E1.1.2 Integrated Water Cycle Plan	N/A
E1.1.3 Stormwater Drainage Concept Plan	Yes
E1.1.4 Flood Risk Management Report	N/A
E1.1.5 Foreshore Risk Management Report	N/A
E1.2 Water Management	Yes
E1.2.1 Water Conservation	Yes
E1.2.2 Managing Stormwater within the Site	Yes
E1.2.3 On-Site Detention of Stormwater	N/A
E1.2.4 Stormwater Treatment	N/A
E1.2.5 Water Disposal	Yes
E1.2.6 Building in the vicinity of a Public Drainage System	N/A
E1.2.7 Wastewater Management	Yes
E1.3 Hazard Management	N/A
E1.3.1 Flood Risk Management	N/A
E1.3.2 Foreshore Risk Management	N/A

The following provides discussion of the relevant issues:

C3.2 Site Layout and Building Design

The infill under the stair for the purpose of a study and store causes negligible external impact and is acceptable. The increased floor space to house the internal link from the dwelling to the garage is also acceptable. Although the gross floor area and site coverage is increased in this instance, it is acceptable. The relocation of the garage to the boundary and increased head height by relocating the roof ridge will not detract from the street presentation of the approved design as it still reads as single storey. The rear roof plane design of the rear attic dormer is acceptable. All other internal reconfigurations and window changes are also acceptable.

C3.3 Elevation and Materials

The proposed timber to the Ferdinand street veranda elevation is supported on streetscape grounds.

C3.4 Dormer Windows

The proposal has deleted the round headed termination of the dormer as per conditions and it is considered that the skillion termination is acceptable.

E1.1.3 Stormwater Drainage Concept Plan

The stormwater management on the site is acceptable subject to conditions. OSD conditions were imposed in error on the original consent and revised conditions will address this anomaly.

5(e) Section 4.55 of the Environmental Planning and Assessment Act

Under Section 4.55 (1A) of the Environmental Planning and Assessment Act, 1979, the consent authority, when considering a request to modify a Determination must:

- a. Be satisfied that the development as modified is substantially the same development as the development for which consent was originally granted
- b. Consult with any relevant authority or approval body
 - c. Notify the application in accordance with the regulations
 - d. Consider any submissions made
 - e. Take into consideration the matters referred to in Section 4.15 that are relevant to the development the subject of the modification application.

The development being modified is substantially the same development as the development for which consent was originally granted. Design changes are recommended on any consent issued to address the outstanding streetscape presentation and visual bulk concerns at the Ferdinand Street elevation. No authorities or bodies were required to be consulted. The application was notified in accordance with the regulations and Council's notification policy, and no submissions were received.

The relevant considerations under section 4.15 of the Environmental Planning and Assessment Act, 1979 have been taken into consideration in the report above.

5(f) The Likely Impacts

The assessment of the Development Application demonstrates that, subject to the recommended conditions, the proposal will have minimal impact in the locality.

5(g) The suitability of the site for the development

Provided that any adverse effects on adjoining properties are minimised, this site is considered suitable to accommodate the proposed development, and this has been demonstrated in the assessment of the application.

5(h) Any submissions

The application was notified in accordance with Leichhardt Development Control Plan 2013 for a period of 14 days to surrounding properties. No submissions were received.

5(i) The Public Interest

The public interest is best served by the consistent application of the requirements of the relevant Environmental Planning Instruments, and by Council ensuring that any adverse effects on the surrounding area and the environment are appropriately managed.

The proposal is not considered contrary to the public interest.

6 Referrals

6(a) Internal

The application was referred to the following internal sections/ officers and issues raised in those referrals have been discussed in section 5 above.

Engineers – Conditions have been amended to reflect that there is no need for OSD

7. Section 7.11 Contributions/7.12 Levy

Section 7.11 contributions/7.12 levies are not payable for the proposal.

8. Conclusion

The proposal generally complies with the aims, objectives and design parameters contained in *Leichhardt Local Environmental Plan 2013* and Leichhardt Development Control Plan 2013.

The development will not result in any significant impacts on the amenity of the adjoining properties or the streetscape. The application is considered suitable for approval subject to the imposition of appropriate conditions.

9. Recommendation

A. That the Inner West Local Planning Panel exercising the functions of the Council as the consent authority, pursuant to s4.55 of the Environmental Planning and Assessment Act 1979, approve Modification Application No. MOD/2020/0286 to the design and appearance of the dwelling at 18 Ferdinand Street Birchgrove NSW 2038 subject to conditions listed in attachment A below

Attachment A – Recommended conditions of consent

Conditions amended as follows:

Condition 3 - Documents related to the consent

Delete

Plan, Revision and Issue No.	Plan Name	Date Issued	Prepared by
Drawing No.: 2018-031-A00	Site and Roof Plan	Nov 2019	Brenchley Architects
Drawing No.: 2018-031-A01	Floor Plans	Nov 2019	Brenchley Architects
Drawing No.: 2018-031-A02	Elevation/Section (a)	Nov 2019	Brenchley Architects
Drawing No.: 2018-031-A03	Elevation/Section (b)	Nov 2019	Brenchley Architects
4589R001.J.G190528	Basix Certificate	08 July 2019	Expressrate Pty Ltd
	Schedule of Finishes	Nov 2019	Brenchley Architects
Drawing No. C003 Rev D	Stormwater Plan (a)	2 December 2019	CHRISP Consulting
Drawing No. C004 Rev C	Stormwater Plan (b)	2 December 2019	CHRISP Consulting
Drawing No. C005 Rev C	Stormwater Plan (c)	2 December 2019	CHRISP Consulting

Add

Plan, Revision and Issue No.	Plan Name	Date Issued	Prepared by
2018/11/02 Rev E	Site and Roof Plan	14/08/2020	OIKOS Architects
2018/11/03 Rev E	Ground Floor Plan	20/08/2020	OIKOS Architects
2018/11/04 Rev E	First Floor Plan	20/08/2020	OIKOS Architects
2018/11/05 Rev E	Attic Plan	14/08/2020	OIKOS Architects
2018/11/06 Rev E	Elevation – South East	14/08/2020	OIKOS Architects
2018/11/07 Rev E	Elevation – North West	20/08/2020	OIKOS Architects
2018/11/08 Rev E	Elevation – South West & Northeast	20/08/2020	OIKOS Architects

2018/11/09 Rev E	Sections AA & BB	20/08/2020	OIKOS Architects
2018/11/10 Rev E	Sections CC & DD	20/08/2020	OIKOS Architects
2018/11/15 Rev E	Finish Schedule	14/08/2020	OIKOS Architects
No. A350977_04	Basix Certificate	20/08/2020	OIKOS Architects

As amended by the conditions of consent

[Condition amended by MOD/2020/0296 on INSERT DATE]

Delete

Condition 9 – Design amendments

~~a) Prior to the issue of the Construction Certificate, the Certifying Authority must be provided with amended architectural drawings demonstrating that the following elements have been removed from the drawings:~~

- ~~i. The round headed termination of the front dormer is to be deleted.~~
- ~~ii. The etched glass infill of the front verandah is to be delete~~
- ~~iii. Side of the front veranda facing the rear of 24 Rose Street is to have no etched glass and have screening to a minimum height of 1.8m with 75% obscurity Version:~~

~~b) Prior to the issue of the Construction Certificate, the Certifying Authority must be provided with plans indicating that new roofing material of the rear garage must comprise of either heritage barrel rolled traditional corrugated galvanised steel or precoloured traditional corrugated steel similar to Custom Orb in a colour equivalent to Colorbond's "Windspray" or "Wallaby"~~

[Condition amended by MOD/2020/0296 on INSERT DATE]

Condition 18 - Storm water Drainage System – Minor Developments

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with stormwater drainage design plans, certified by a suitably qualified Civil Engineer. The Stormwater Drainage Concept Plan must comply with the following specific requirements:

- a) All stormwater drainage being designed in accordance with the provisions of the Australian Rainfall and Runoff (ARR), Australian Standard AS3500.3-2018 'Stormwater Drainage' and Council's DCP.
- b) Stormwater runoff from pervious and impervious areas of the proposed dwelling must be collected and discharged under gravity ~~via OSD~~ to Ferdinand Street.
- c) Charged or pump-out stormwater drainage systems are not used including for roofdrainage.

- d) ~~The plans, including supporting calculations, must demonstrate that the post development flows for the 100 year ARI storm are restricted to the pre development flows for the 5 year ARI storm event in accordance with Section E1.2.3 (C2 and C3) of Council's DCP2013 and the maximum allowable discharge to Council's street gutter limited to 15 litres/second (100 year ARI);~~
- e) Plans must specify that any components of the existing system to be retained must be certified during construction to be in good condition and of adequate capacity to convey the additional runoff generated by the development and be replaced or upgraded if required;
- f) An inspection opening or stormwater pit must be installed inside the property, adjacent to the boundary, for all stormwater outlets.
- g) Only a single point of discharge is permitted to the kerb and gutter.
- h) All redundant pipelines within footpath area must be removed and footpath/kerb reinstated.

Add

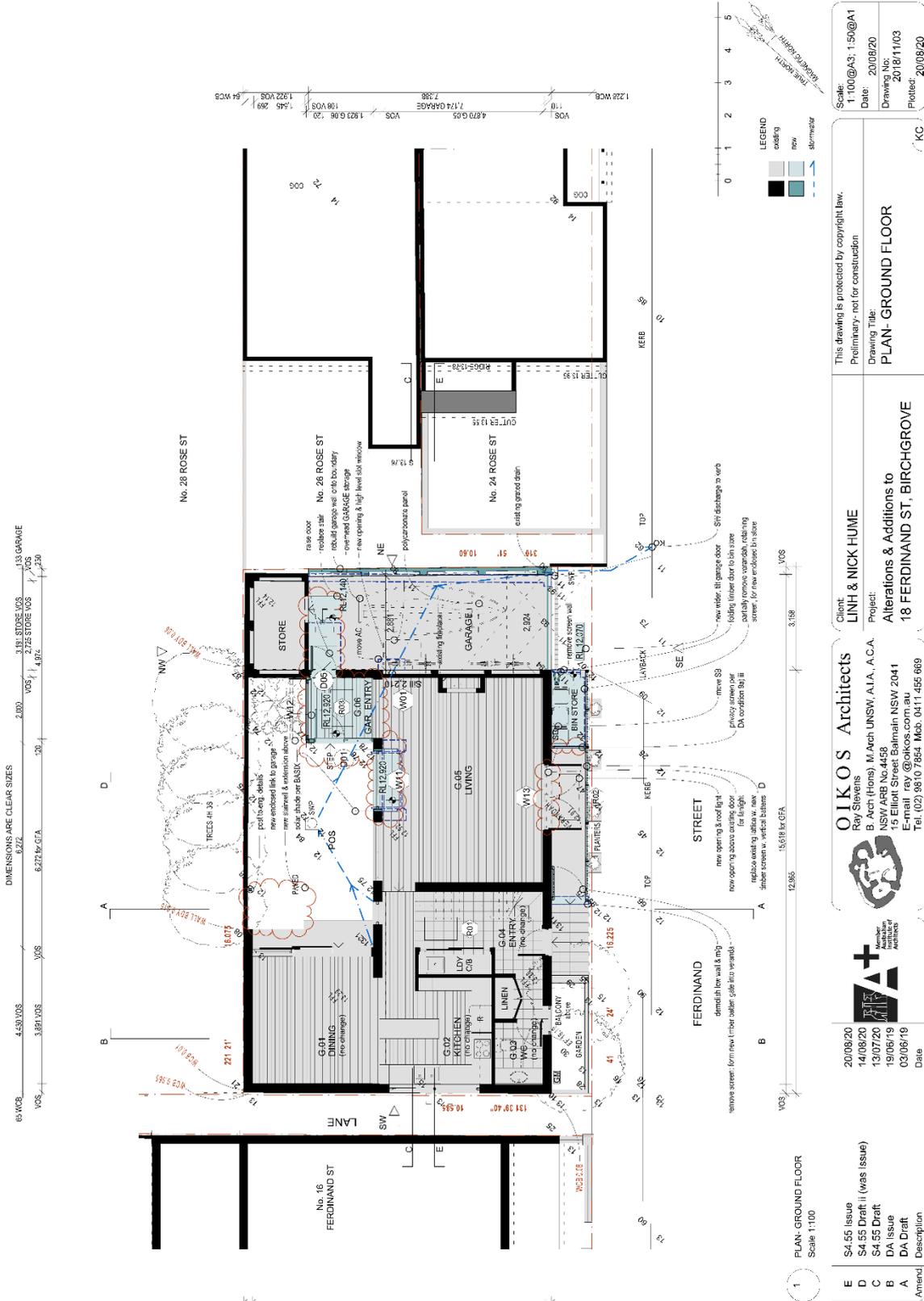
i) As there is no overland flow/flood path available from the rear courtyard to the Ferdinand Street frontage, the design of the sag pit and piped drainage system is to meet the following criteria:

1.
 - a. **Capture and convey the 100 year Average Recurrence Interval flow from**
 - b. **the contributing catchment assuming 80% blockage of the inlet and 50% blockage of the pipe.**

The design shall make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands.

[Condition amended by MOD/2020/0296 on INSERT DATE]

Attachment B – Plans of proposed development



Scale: 1:100@A3; 1:50@A1
 Date: 20/08/20
 Drawing No: 201811/03
 Plotted: 20/08/20

This drawing is protected by copyright law.
 Preliminary - not for construction
 Drawing Title:
PLAN - GROUND FLOOR

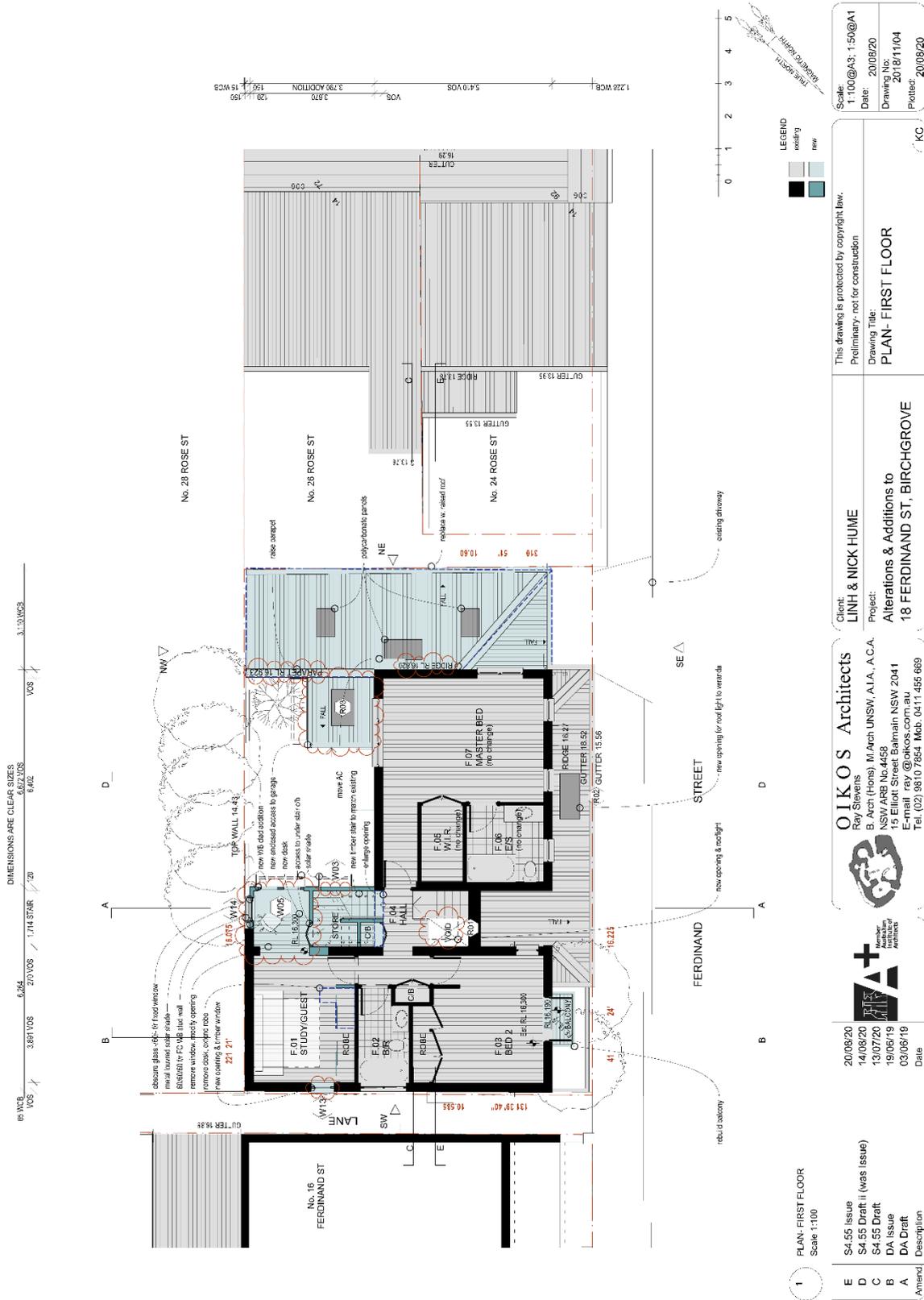
Client: **LINH & NICK HUME**
 Project:
**Alterations & Additions to
 18 FERDINAND ST, BIRCHGROVE**

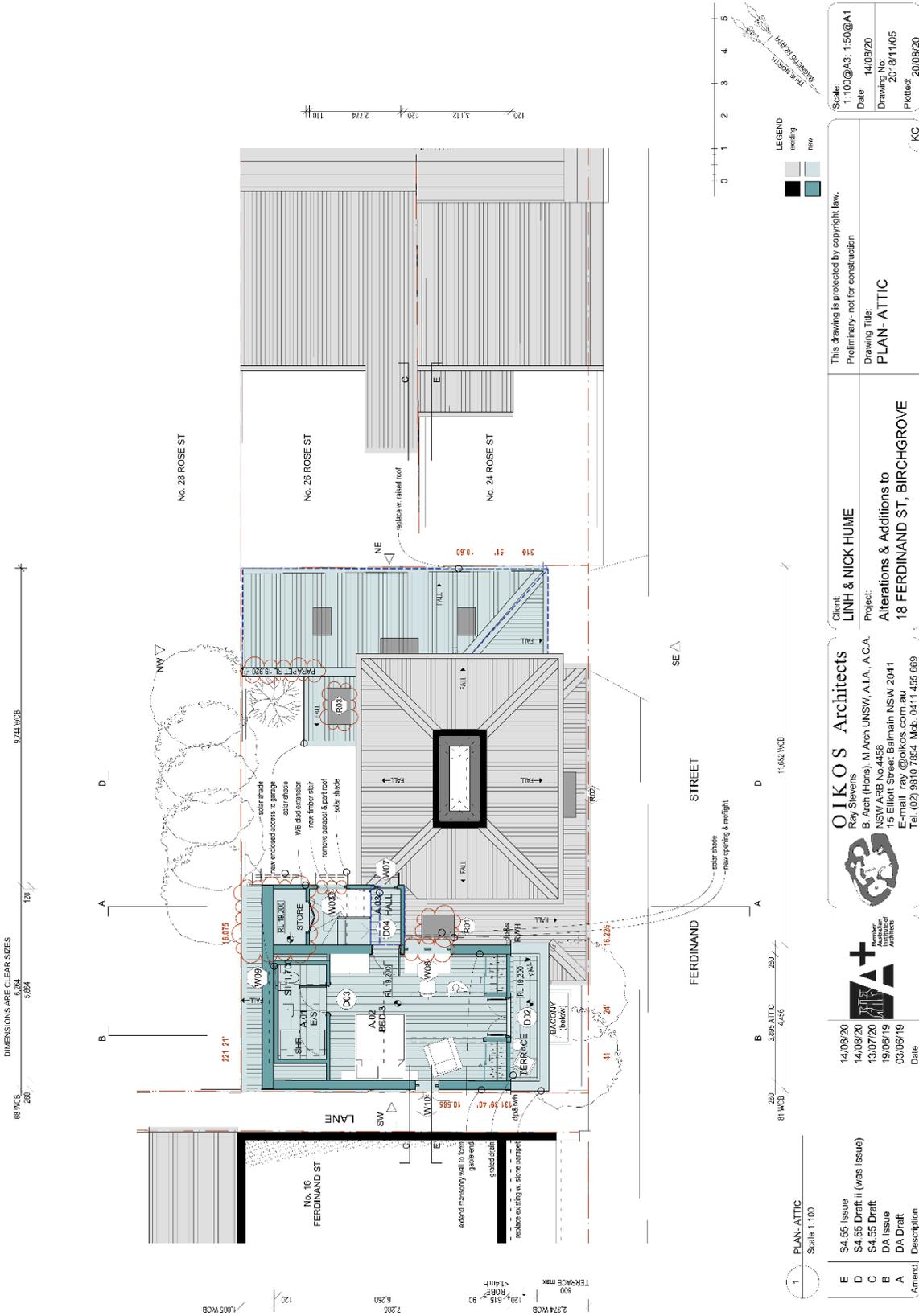
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20/08/20
 14/08/20
 13/07/20
 19/06/19
 03/06/19
 Date

Amend.	Description
E	S4.55 Issue
D	S4.55 Draft II (was Issue)
C	S4.55 Draft
B	DA Issue
A	DA Draft

1 PLAN - GROUND FLOOR
 Scale 1:100





Scale: 1:100@A3, 1:50@A1
 Date: 14/08/20
 Drawing No: 2018/11/05
 Plotted: 20/08/20

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 Drawing Title: **PLAN-ATTIC**

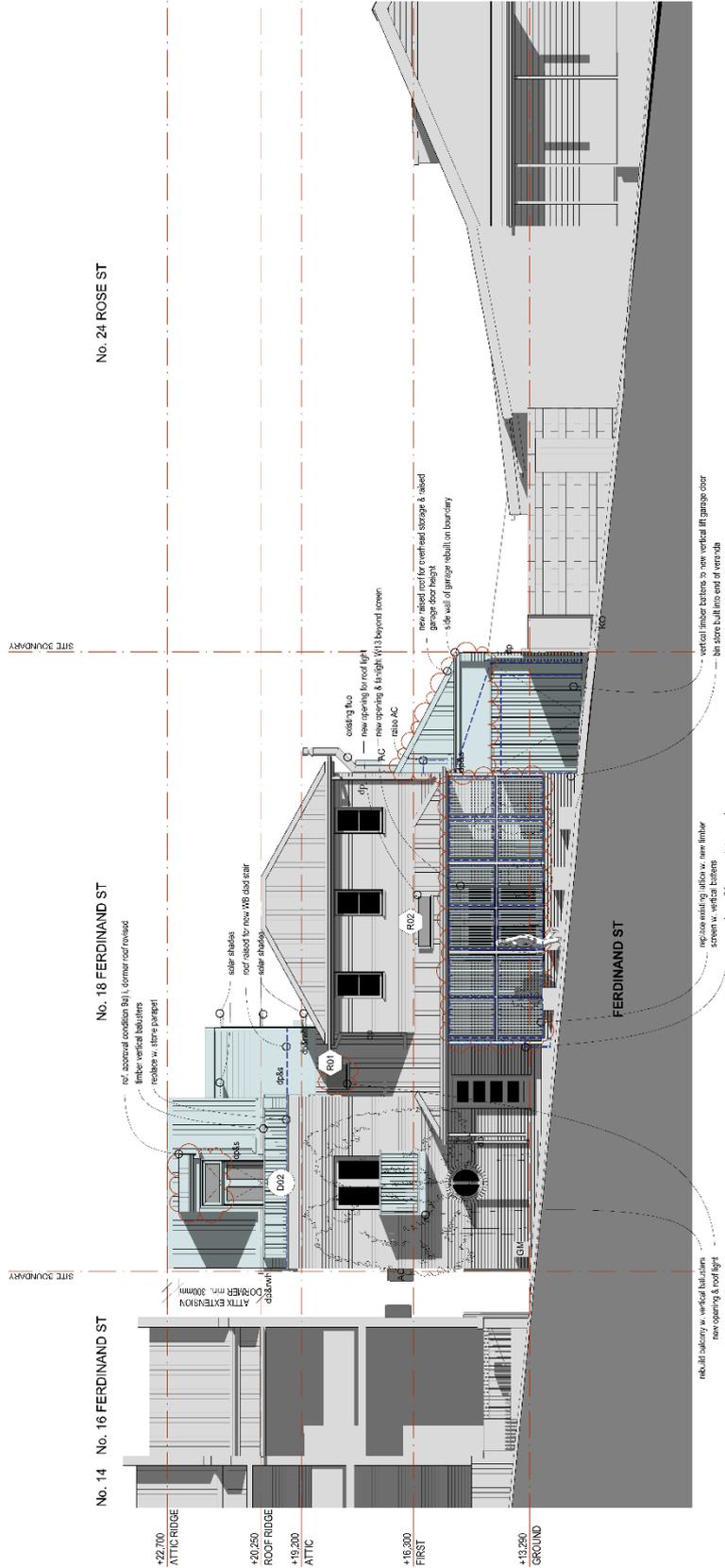
Client: **LINH & NICK HUME**
 Project: **Alterations & Additions to 18 FERDINAND ST, BIRCHGROVE**

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Date	Description
14/08/20	S4.55 Issue
14/08/20	S4.55 Draft II (was issue)
13/07/20	S4.55 Draft
19/06/19	DA Issue
03/06/19	DA Draft

Revision	Description
E	S4.55 Issue
D	S4.55 Draft II (was issue)
C	S4.55 Draft
B	DA Issue
A	DA Draft



LEGEND
 existing
 new

Scale: 1:100 @ A3, 1:50 @ A1
 Date: 14/08/20
 Drawing No: 2018/11/06
 Plotted: 20/08/20

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 Drawing Title: **ELEVATION - SOUTHEAST (Ferdinand St)**

Client: **LINH & NICK HUME**
 Project: **Alterations & Additions to 18 FERDINAND ST, BIRCHGROVE**

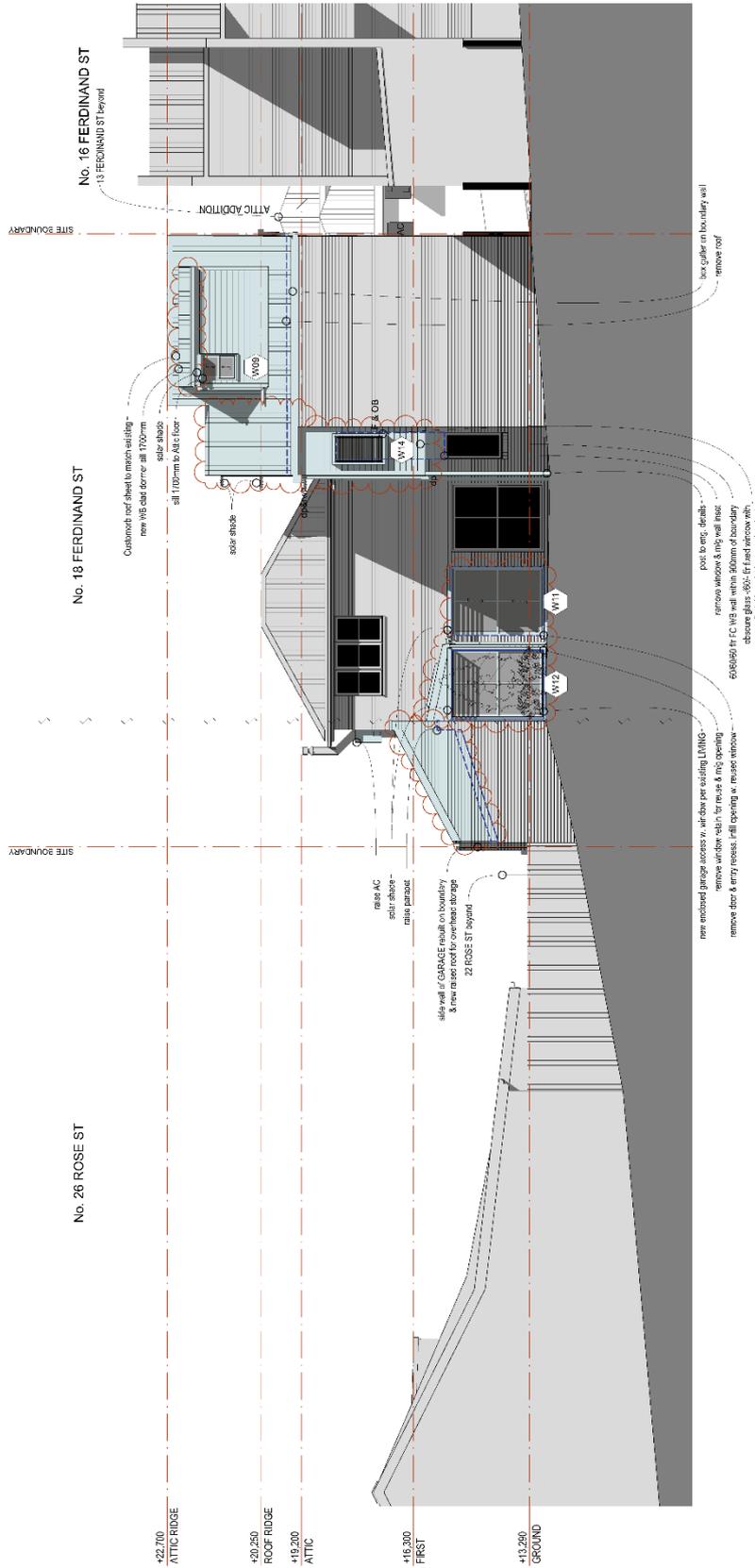
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14/08/20	Date
13/07/20	Date
19/06/19	Date
03/06/19	Date

(Amend)	Description
E	S4.55 Issue
D	S4.55 Draft II (was issue)
C	S4.55 Draft
B	DA Issue
A	DA Draft

1 ELEVATION - SOUTHEAST (Ferdinand St)
 Scale 1:100



1 ELEVATION-NORTHWEST
Scale 1:100

LEGEND
existing
new

Scale: 1:100@A3; 1:50@A1
Date: 20/09/20
Drawing No: 2018/11/07
Plotted: 20/09/20

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Drawing Title:
ELEVATION-NORTHWEST

Client: **LINH & NICK HUME**
Project:
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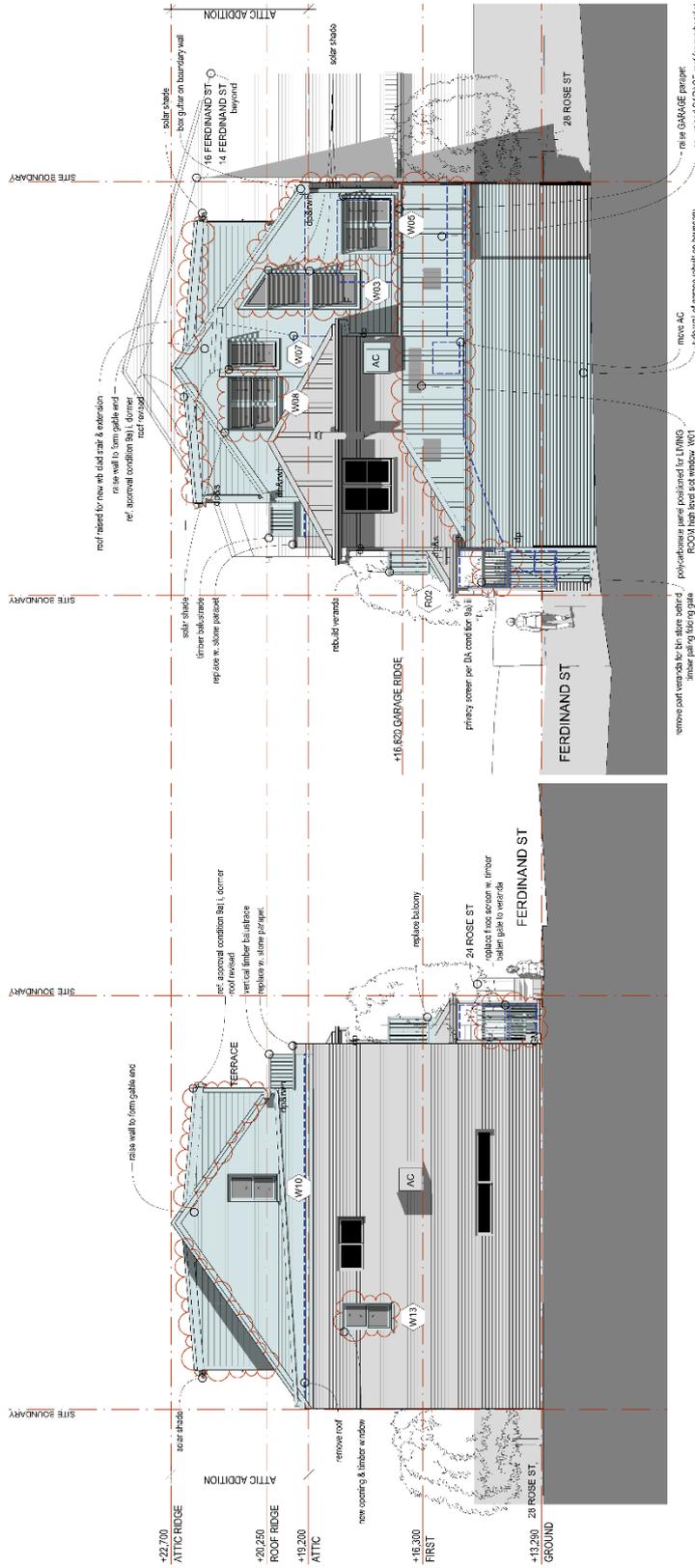
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20/09/20
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19/06/19
03/06/19
Date

(Amend)	Description
E	S4.55 Issue
D	S4.55 Draft II (was issue)
C	S4.55 Draft
B	DA Issue
A	DA Draft

K.C.



1 ELEVATION: SOUTH-WEST
Scale 1:100

2 ELEVATION: NORTH-EAST
Scale 1:100

LEGEND
existing
new

Amend	Date	Description
E	S4.55 issue	
D	S4.55 Draft II (was issue)	
C	S4.55 Draft	
B	DA Issue	
A	DA Draft	

20/06/20
14/09/20
13/07/20
19/06/19
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Date

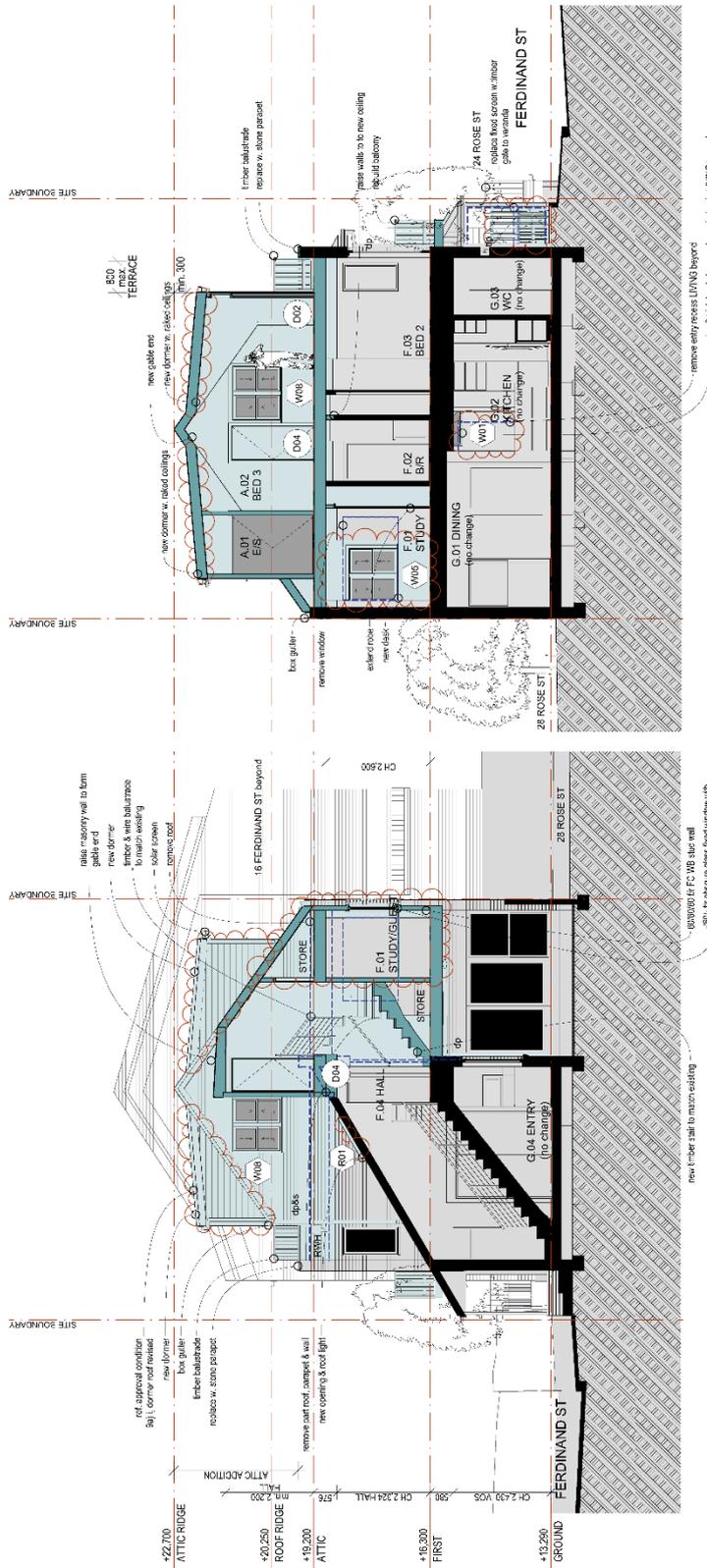


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Client: **LINH & NICK HUME**
Project: **Alterations & Additions to 18 FERDINAND ST, BIRCHGROVE**

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Drawing Title: **ELEVATIONS- SOUTHWEST & NORTH-EAST**
Drawing No: 2018/11/08
Plotted: 20/09/20
KC

Scale: 1:100@A3, 1:50@A1
Date: 20/09/20
Drawing No: 2018/11/08
Plotted: 20/09/20



1 SECTION AA
Scale 1:100

2 SECTION BB
Scale 1:100

LEGEND
existing
new

Scale: 1:100@A3; 1:50@A1
Date: 20/08/20
Drawing No: 2018/11/09
Plotted: 20/08/20
KC

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Drawing Title:
SECTIONS- AA & BB

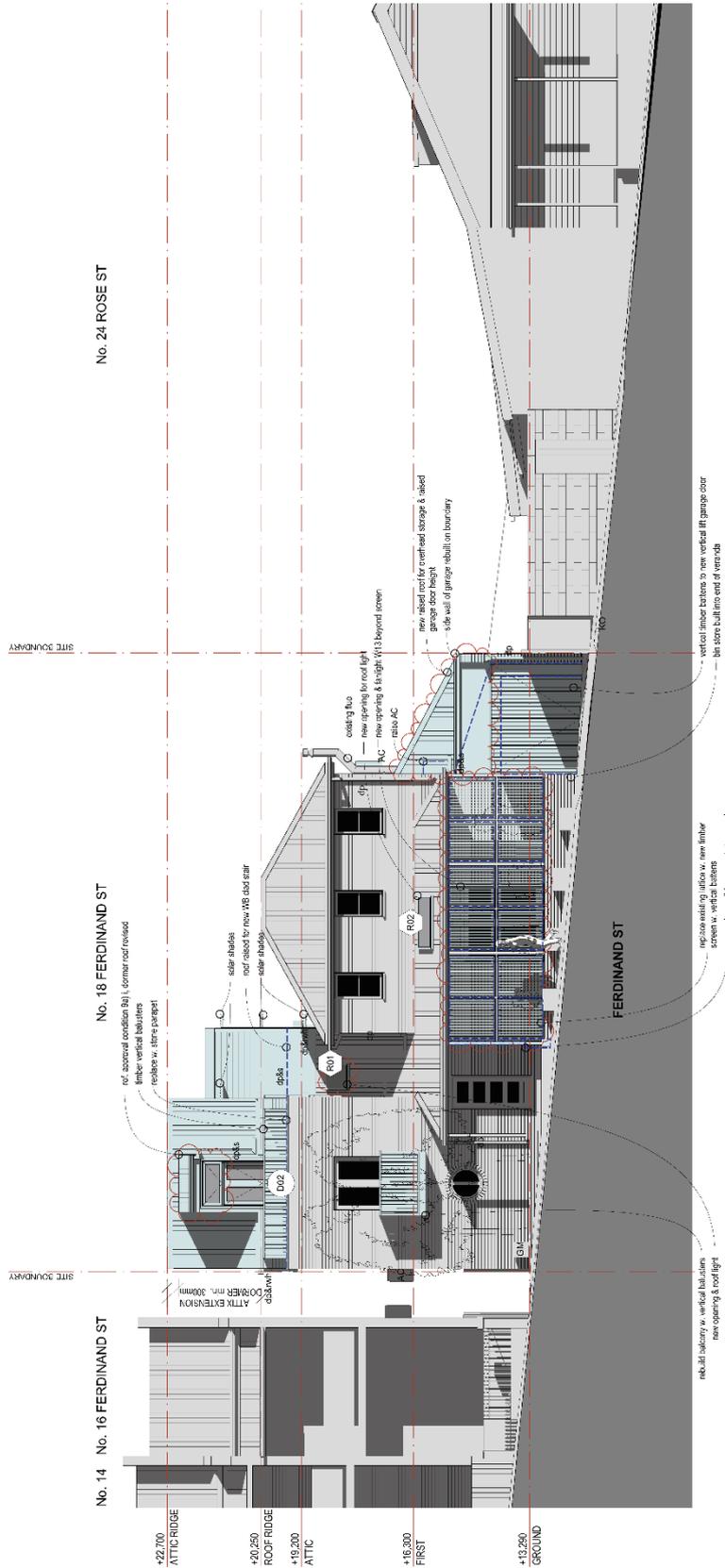
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 new

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 (Ferdinand St)

KC

Client:
LINH & NICK HUME

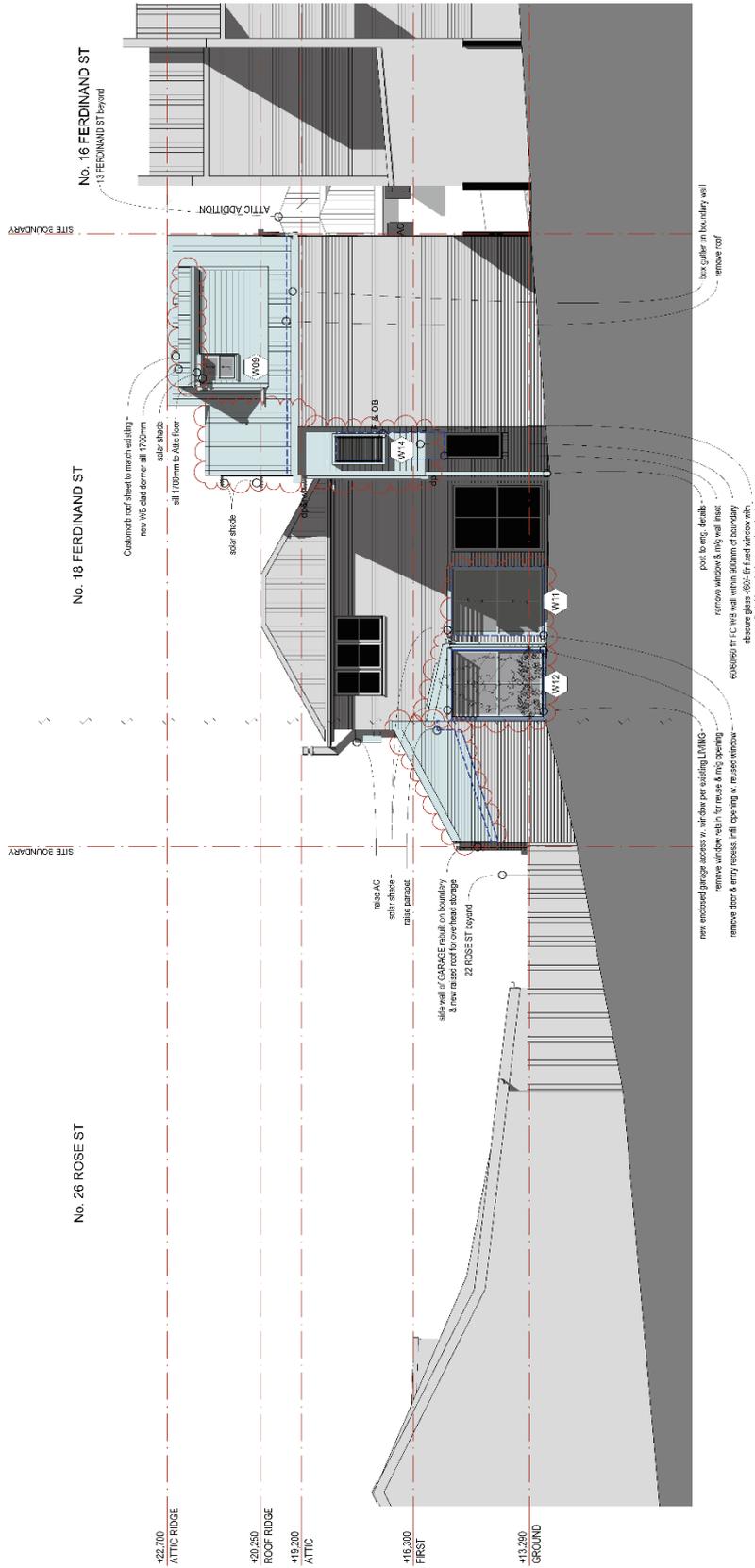
Project:
Alterations & Additions to
18 FERDINAND ST, BIRCHGROVE

OIKOS Architects
 Ray Silveiras
 B. Arch (Hons), M. Arch UNSW, A.I.A., A.C.A.
 NSW A/RB No. 4453
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 ray@oikos.com.au
 Tel: (02) 9810 7854 Mob: 0411 455 669



Date	Description
14/08/20	S4.55 Issue
14/08/20	S4.55 Draft II (was issue)
13/07/20	S4.55 Draft
19/06/19	DA Issue
03/06/19	DA Draft

1 ELEVATION - SOUTHEAST (Ferdinand St)
 Scale 1:100



1 ELEVATION: NORTHWEST
Scale 1:100

LEGEND
existing
new

Scale: 1:100@A3, 1:50@A1
Date: 20/09/20
Drawing No: 2018/11/07
Plotted: 20/09/20

This drawing is protected by copyright law.
Preliminary - not for construction
Drawing Title: ELEVATION- NORTHWEST
KC.

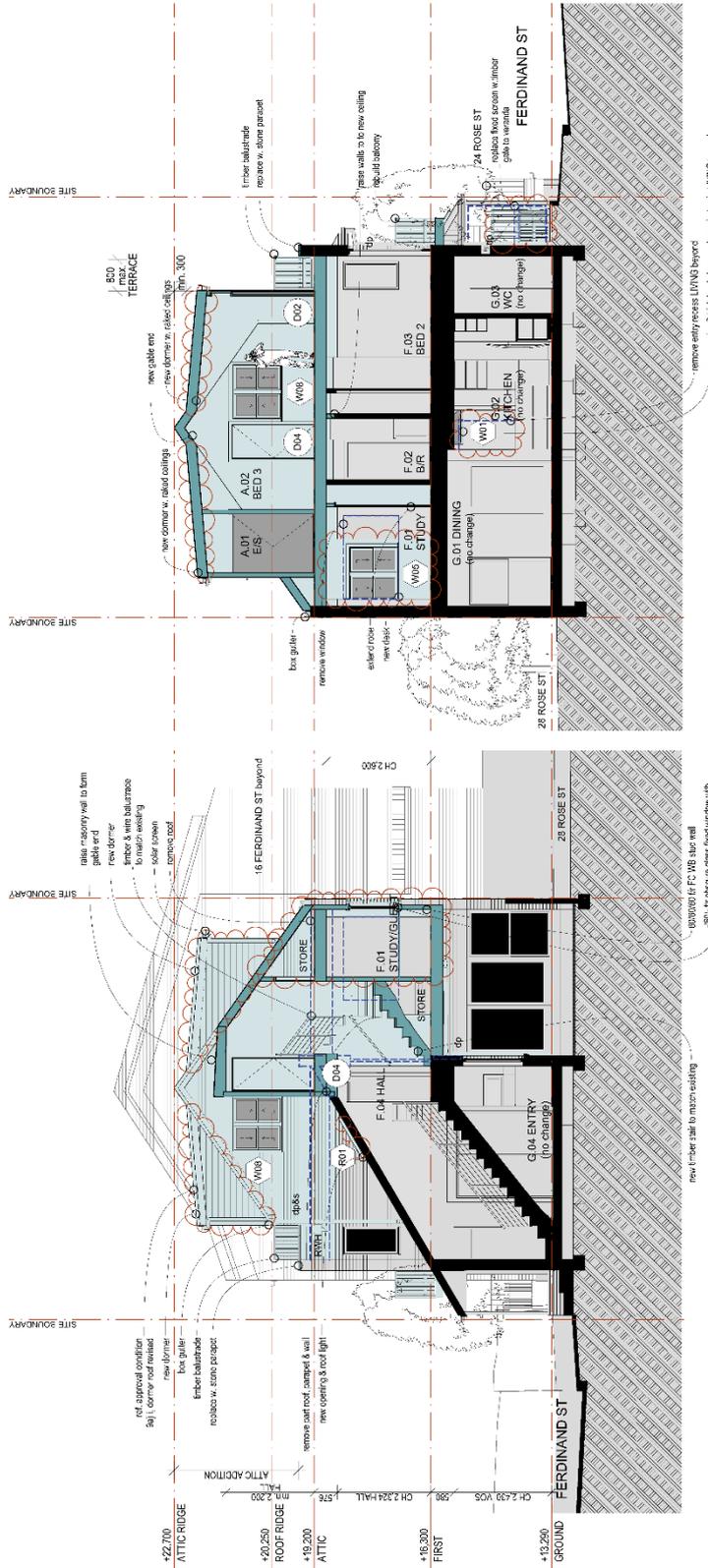
Client: LINH & NICK HUME
Project: Alterations & Additions to 18 FERDINAND ST, BIRCHGROVE

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20/09/20
14/09/20
13/07/20
19/06/19
03/06/19
Date

Amend	Description
E	S4.55 issue
D	S4.55 Draft II (was issue)
C	S4.55 Draft
B	DA issue
A	DA Draft



LEGEND
 existing
 new

2 SECTION BB
 Scale 1:100

1 SECTION AA
 Scale 1:100

Scale: 1:100@A3; 1:50@A1
 Date: 20/08/20
 Drawing No: 2018/11/09
 Plotted: 20/08/20

This drawing is protected by copyright law.
 Preliminary - not for construction
 Drawing Title:
SECTIONS- AA & BB

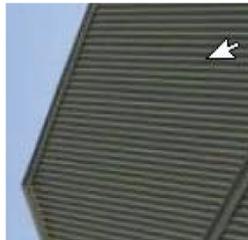
Client: **LINH & NICK HUME**
 Project:
**Alterations & Additions to
 18 FERDINAND ST, BIRCHGROVE**

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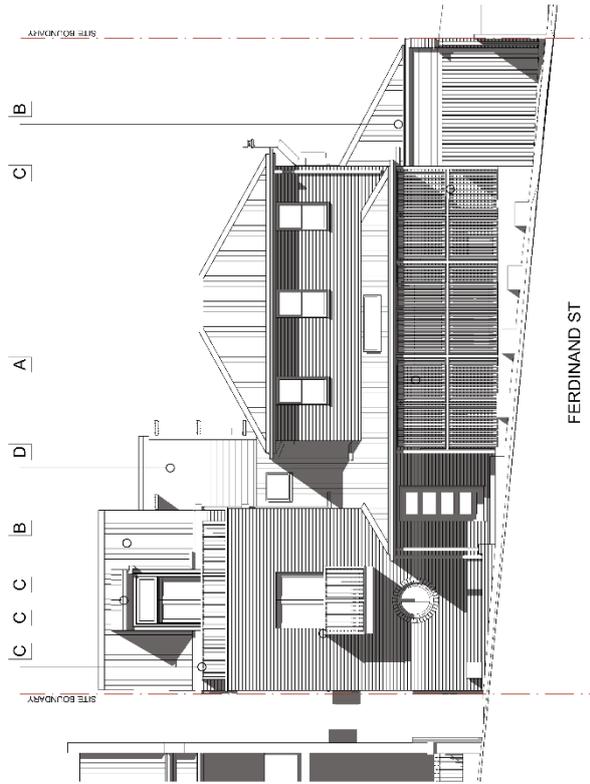


20/08/20
 14/08/20
 13/07/20
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 03/06/19
 Date

Amend	Description
E	S4.55 issue
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C	S4.55 Draft
B	DA Issue
A	DA Draft



2
18 FERDINAND ST as at May 2012
Source: ReelEstate.com.au



1
FINISHES SCHEDULE
Scale 1:100

<p>E S4.55 Issue D S4.55 Draft II (was issue) C S4.55 Draft B DA Issue A DA Draft</p>	<p>14/06/20 14/06/20 13/07/20 19/06/19 03/06/19</p>	<p>Date Date Date Date Date</p>	<p>(Amend) Description</p>
<p>A+ Member Australian Institute of Architects</p>			
<p>OIKOS Architects Ray Stevens B. Arch (Hons), M. Arch UNSW, A.I.A., A.C.A. NSW ARB No. 4453 15 Elliott Street, Balmain NSW 2041 E: ray@oikos.com.au Tel: (02) 9810 7884 Mob: 0411 455 669</p>			
<p>Client: LINH & NICK HUME Project: Alterations & Additions to 18 FERDINAND ST, BIRCHGROVE</p>			
<p>This drawing is protected by copyright law. Preliminary - not for construction Drawing Title: FINISHES SCHEDULE</p>			
<p>Scale: 1:100@A3, 1:50@A1 Date: 14/06/20 Drawing No: 2018/11/15 Plotted: 20/06/20</p>			<p>KC</p>

Description of project

Project address	
Project name	18 Ferdinand St_04
Street address	18 Ferdinand Street Birchgrove 2041
Local Government Area	Inner West Council
Plan type and number	Deposited Plan 997943
Lot number	1
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A350977_04

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

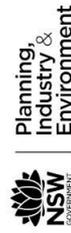
This certificate is a revision of certificate number A350977 lodged with the consent authority or certifier on 26 Jun 2019 with application D/2019/242.

It is the responsibility of the applicant to verify, with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary

Date of issue: Thursday, 20, August, 2020

To be valid, this certificate must be lodged within 3 months of the date of issue.



Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: OIKOS Architects
ABN (if applicable): 45 539 970 031

BASIX Certificate number: A350977_04

page 2 / 7

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

Construction		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements				
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.				
Construction	Additional insulation required (R-value)	Other specifications		
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)			
floor above existing dwelling or building.	nil			
external wall: cavity brick	nil			
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)			
internal wall shared with garage: single skin masonry (R0.18)	nil			
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (100 mm)	medium (solar absorptance 0.475 - 0.70)		
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (100 mm)	medium (solar absorptance 0.475 - 0.70)		

Glazing requirements										Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing		Shading device	Frame and glass type						
			Height (m)	Distance (m)								
W03	NE	2.7	0	0	projection/height above sill ratio >=0.23	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)						
W05	NE	1.8	0	0	projection/height above sill ratio >=0.23	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)						
W07	NE	0.9	0	0	projection/height above sill ratio >=0.23	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)						
D01	SW	4.3	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)						
D02	SE	3.2	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)						
W08	NE	1.8	0	0	projection/height above sill ratio >=0.23	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)						
W09	NW	0.7	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)						
W10	SW	0.9	1.4	2.9	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)						
W11	NW	4.3	0	0	projection/height above sill ratio >=0.23	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)						
W12	NW	4.3	1.8	1.7	projection/height above sill ratio >=0.23	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)						
W13	SE	1	0.7	1.1	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)						
W14	SW	0.9	5.7	1.4	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)						
W15	NW	0.9	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)						

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check															
<p>Skylights</p> <p>The applicant must install the skylights in accordance with the specifications listed in the table below.</p> <p>The following requirements must also be satisfied in relation to each skylight:</p> <p>Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.</p> <table border="1"> <thead> <tr> <th colspan="3">Skylights glazing requirements</th> </tr> <tr> <th style="background-color: #cccccc;">Skylight number</th> <th style="background-color: #cccccc;">Area of glazing inc. frame (m2)</th> <th style="background-color: #cccccc;">Shading device</th> </tr> </thead> <tbody> <tr> <td>R01</td> <td>0.8</td> <td>no shading</td> </tr> <tr> <td>R03</td> <td>0.8</td> <td>no shading</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th style="background-color: #cccccc;">Frame and glass type</th> </tr> </thead> <tbody> <tr> <td>timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)</td> </tr> <tr> <td>timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)</td> </tr> </tbody> </table>	Skylights glazing requirements			Skylight number	Area of glazing inc. frame (m2)	Shading device	R01	0.8	no shading	R03	0.8	no shading	Frame and glass type	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)	✓	✓ ✓ ✓	✓ ✓ ✓
Skylights glazing requirements																		
Skylight number	Area of glazing inc. frame (m2)	Shading device																
R01	0.8	no shading																
R03	0.8	no shading																
Frame and glass type																		
timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)																		
timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)																		

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.