






# INNER WEST COUNCIL

## DEVELOPMENT ASSESSMENT REPORT

<b>Application No.</b>	10.2018.96
<b>Address</b>	47 Wolseley Street, Haberfield
<b>Proposal</b>	Alterations and additions to an existing dwelling
<b>Date of Lodgement</b>	10 July 2018
<b>Applicant</b>	Form Architects
<b>Owner</b>	Salvatore Orti-Tullo
<b>Number of Submissions</b>	Two (2)
<b>Value of works</b>	\$240,780.00
<b>Reason for determination at Planning Panel</b>	Variation to the maximum building height control exceeds 10%.
<b>Main Issues</b>	Variation to the maximum building height control, non-compliance with clause 6.5 (3)(c) of the Ashfield LEP 2013, two submissions relating to privacy.
<b>Recommendation</b>	Conditional Approval

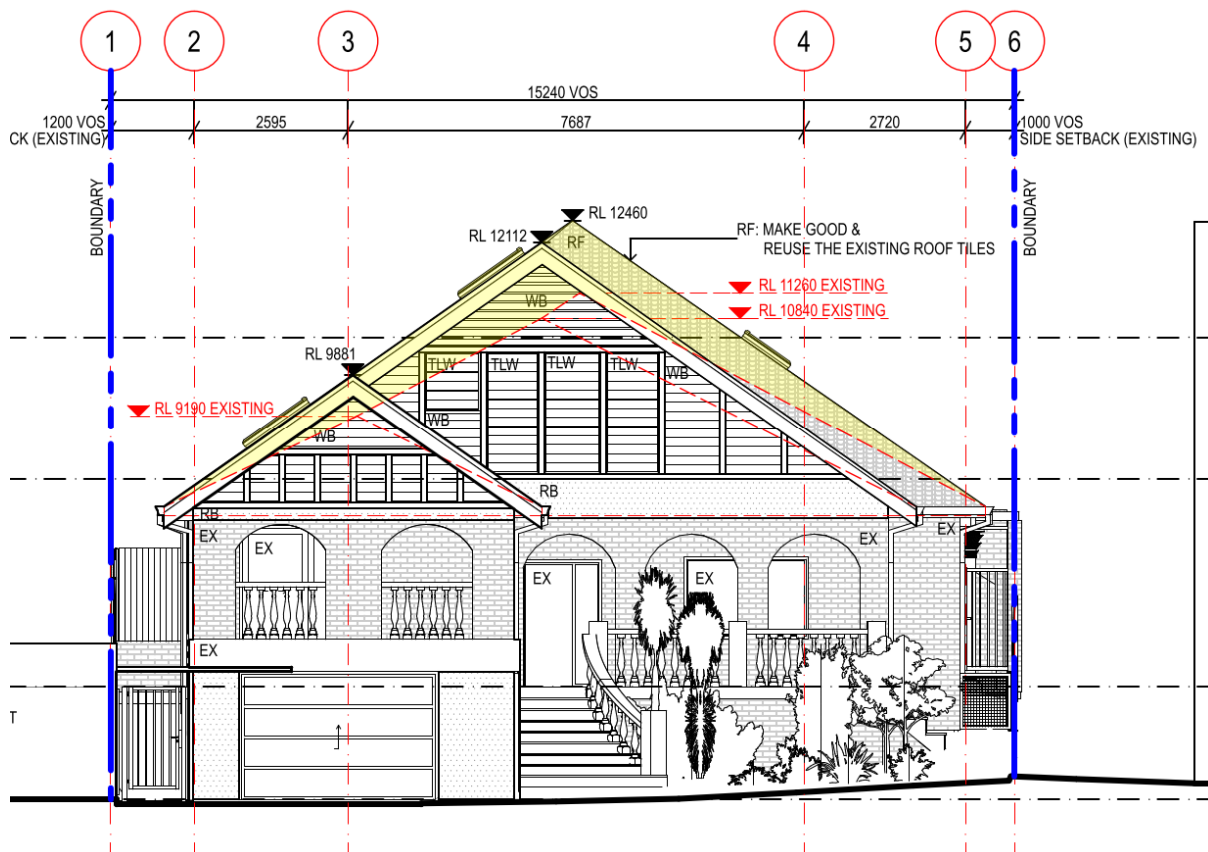
<b>Location Plan</b>	<b>Legend</b>
	<p><b>Site</b></p>  <p><b>Objections</b></p>  <p><b>Neighboring properties notified highlighted by =</b></p> 



Picture 1 Aerial Photo with site identified



Picture 2 Site Photo – Wolsley Street frontage



Picture 3 North Elevation – Proposed Wolseley Street frontage

## 1. Executive Summary

This report is an assessment of the application submitted to Council for alterations and additions to an existing dwelling at 47 Wolseley Street, Haberfield. The application was notified to surrounding properties and two submissions were received.

The proposal generally complies with aims, objectives and design parameters contained in Ashfield Local Environment Plan 2013 (ALEP 2013) with the exception of a variation to the maximum height of building development standard. The applicant submitted a written request under Clause 4.6 exception to the development standards as part of the subject development application. The Clause 4.6 written request is considered to be well founded and supported in this instance.

The proposal also results in a non-compliance with clause 6.5 (3)(c) of the ALEP 2013 as it seeks consent for the instillation of windows to the new gable which addresses Wolseley Street which is not supported. The imposition of an appropriate design change condition of consent is recommended..

The development generally complies with the provisions of the Inner West Comprehensive Development Control Plan 2016. It is considered that, subject to conditions, the proposal will not result in any significant impacts on the streetscape or amenity of adjoining properties.

## 2. Proposal

The application seeks approval for alterations and additions to an existing dwelling house. In particular the proposal seeks consent for replacement of the existing pitched roof with a gabled roof to facilitate a new habitable attic level which includes a family room, bedroom,

bathroom and toilet. The proposed roof contains seven (7) skylights. The stairs to the new attic level are located upon the ground floor of the existing dwelling, within the footprint of the existing dwelling.

### 3. Site Description

The subject site is located on the southern side of Wolseley Street, between Ramsay Street, to the east and Ash Lane to the west. The site consists of one allotment and is generally rectangular in shape with a total area of 991.7m<sup>2</sup> and is legally described as Lot 93 in DP 4612.

The site has a frontage to Wolseley Street of 15.7 meters and a maximum depth of 64.2 meters. Currently located on the site is a single storey dwelling house, with a garage. Currently located at the rear of the site is a detached brick structure and metal shed.

Neighboring sites generally consist of single storey dwelling houses, consistent with the requirements of the Haberfield Conservation Area. An existing dwelling at 45 Wolseley (directly adjoining the subject site) is two-storeys and is an exception to the single storey nature of the locality.

The subject site is located within the Haberfield Heritage Conservation Area, this area is identified as significant for its design as a "Model Garden Suburb" and has been on numerous occasions identified as a locality of state significance. The existing dwelling has been identified by Council's Heritage advisors as a non-conforming house.

Within the Haberfield Heritage Conservation area individual heritage listings of properties are numerically few, as all buildings within the area are variously part of its overall significance as a designed "Model Garden Suburb".

### 4. Background

#### 4(a) Site history

The following application outlines the relevant development history of the subject site and any relevant applications on surrounding properties.

#### Subject Site

Application	Proposal	Decision & Date
006.1939.8894	Building Application	31/8/1939 – Approved
006.1969.7369	Building Application	7/1/1969 – Refused
006.1970.7638	Building Application	2/6/1970 – Refused
006.1974.9329	Building Application	28/4/1974 – Refused
006.1977.299	Construction of a Brick Fence	29/7/1977 – Approved
006.1977.326	Construction of a Flat to Cottage	19/8/1997 - Approved
006.1978.255	Construction of Entertainment Facilities at rear of site	21/8/1978 – Approved

#### 4(b) Application history

The following table outlines the relevant history of the subject application.

Date	Discussion / Letter/ Additional Information
30/4/2018	Pre-development application advice meeting held at Council
10/7/2018	Application lodged with Council
21/8/2018	Additional information letter sent to applicant. This letter required the submission of amended plans, addressing concerns raised by Council's heritage advisor.
29/8/2018	Meeting between Council and applicant held
28/9/2018	Amended plans were submitted to Council

## 5. Assessment

The following is a summary of the assessment of the application in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

### 5(a) Environmental Planning Instruments

The application has been assessed against the relevant Environmental Planning Instruments listed below:

- State Environmental Planning Policy No 55—Remediation of Land
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004
- Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005
- Ashfield Local Environmental Plan 2013

The following provides further discussion of the relevant issues:

#### 5(a)(i) State Environmental Planning Policy No 55—Remediation of Land

State Environmental Planning Policy No. 55 - Remediation of Land (SEPP 55) provides planning guidelines for remediation of contaminated land. LDCP 2013 provides controls and guidelines for remediation works. SEPP 55 requires that remediation works must be carried out in accordance with a Remediation Action Plan (RAP) as approved by the consent authority and any guidelines enforced under the Contaminated Land Management Act 1997.

The site has not been used in the past for activities which could have potentially contaminated the site. It is considered that the site will not require remediation in accordance with SEPP 55.

#### 5(a)(ii) State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX Certificate has been submitted with the development application. The BASIX certificate lists measures to satisfy BASIX requirements which have been incorporated in the proposal. A condition is recommended ensuring the measures detailed in the BASIX certificate are implemented.

#### 5(a)(iii) Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

An assessment has been made of the matters set out in Clause 20 of the Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005. It is considered that the carrying out of the proposed development is generally consistent with the objectives of the Plan and would not have an adverse effect on environmental heritage, the visual environmental, the natural environment and open space and recreation facilities.

**5(a)(iv) Ashfield Local Environment Plan 2013 (LLEP 2013)**

The application was assessed against the following relevant clauses of the Ashfield Local Environmental Plan 2013:

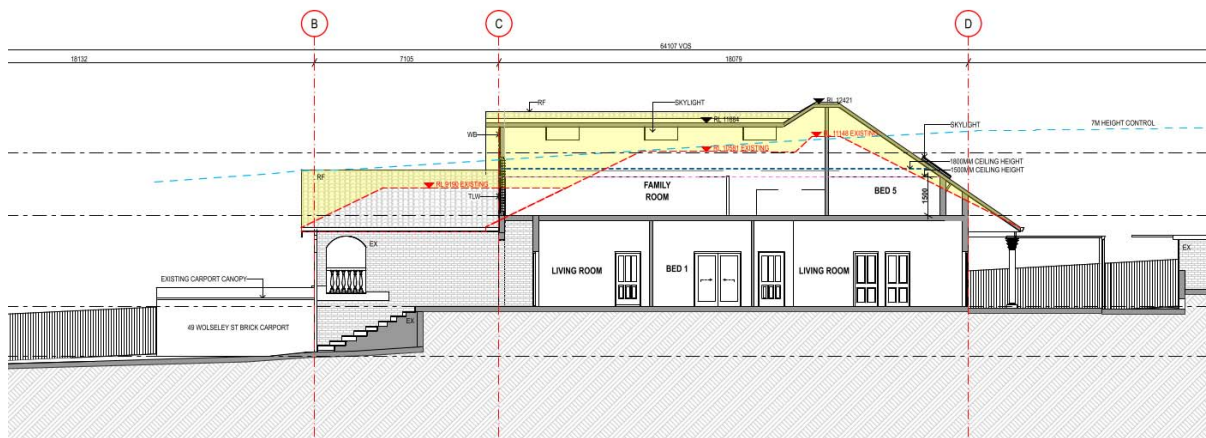
<b>Ashfield Local Environmental Plan 2013 Summary Compliance Table</b>				
<b>Clause No.</b>	<b>Clause</b>	<b>Standard</b>	<b>Proposed</b>	<b>Compliance</b>
2.2	Zoning	R2 Low Density Residential	Alterations and additions to an existing dwelling	Yes
4.3	Height of buildings	7m	7.8m	No
4.4	Floor space ratio	0.5:1 (496m <sup>2</sup> )	0.35:1 (351.4m <sup>2</sup> )	Yes
4.6	Exception to development standards	Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument	The applicant has submitted a written request to vary the development standard for height. This request is assessed below	Yes
5.10	Heritage Conservation	Haberfield Conservation Area		
5.10(4)	Effect of proposed development on heritage significance	The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or the area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).	The proposed works have been assessed and are likely to impact upon the heritage conservation area in its current form. As discussed below the proposed gable windows are not supported and a condition requiring their removal is recommended. Implementation of this condition will ensure that the proposal does not impact upon the conservation area.	Yes

5.10(5)	Heritage assessment	<p>The consent authority may, before granting consent to any development:</p> <p>(d) On land on which heritage item is located, or</p> <p>(e) On land that is within a heritage conservation area, or</p> <p>(f) On land that is within the vicinity of land referred to in paragraph (a) or (b),</p> <p>Require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.</p>	<p>Appropriate documentation regarding heritage management and impacts upon heritage significance have been prepared and submitted as part of this development application. This documentation has been reviewed by Councils heritage advisors who outlined an objection to the proposals gable windows. Council's heritage advisor has outlined that this may be addressed through suitable conditions of consent.</p>	Yes
6.5	Development on land in Haberfield Heritage Conservation Area	<p>Development consent must not be granted to development for the purposes of a dwelling house on land to which this clause applies unless the consent authority is satisfied that:</p> <p>If the development involves an existing building:</p> <p>The gross floor area above the existing ground floor level will not exceed the gross floor area of the existing roof space, and</p> <p>The gross floor area below the existing ground floor level will not exceed 25% of the gross floor area of the existing ground floor, and</p> <p>The development will not involve excavation in excess of 3 metres below ground level ( existing), and</p> <p>The development will not involve the installation of dormer or gablet windows, and</p> <p>At least 50% of the site will be landscaped area. (348.4m<sup>2</sup>)</p>	<p>Gross floor area of new proposed roof space does not exceed the existing roof space</p> <p>N/A</p> <p>N/A</p> <p>Gable windows proposed</p> <p>Proposal does not reduce the existing on-site landscaped area</p>	<p>Yes</p> <p>No – see below</p> <p>Un-changed</p>

The following provides further discussion of the relevant issues:

Clause 4.6 Exceptions to Development Standards

The development has a maximum building height of 7.8 meters and thereby exceeds the maximum height of 7.0m of the development standard prescribed under Clause 4.3 of ALEP 2013.



Picture 2 – Section showing height control plane.

Under Clause 4.6 development consent must not be granted for a development that contravenes a development standard unless the consent authority has considered a written request from the applicant that demonstrates that:

- Compliance with the development standard is unreasonable or unnecessary in the circumstances of the case; and
- There are sufficient environmental planning grounds to justify contravening the development standard.

The consent authority must also be satisfied that the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.

The applicant seeks to vary the maximum height of building standard by a maximum of 0.8m or 11.4%.

A written request in relation to the contravention to the height development standard in accordance with Clause 4.6 (Exceptions to Development Standards) of ALEP 2013 was submitted with the application. In summary the applicant's written request justifies the non-compliance on the basis that:

- *The proposal presents a building roof form and pitch that is consistent with the Federation period;*
- *The proposal ridge line is consistent with adjoining buildings 45 and 49 Wolseley Street;*
- *The proposal height meets the objective of the height control in that articulation with adjoining buildings have been provided which negate the increased bulk of pitch change;*
- *The proposal do comply with site coverage and floor space ratio controls;*



The justification provided in the applicant's written request is considered well founded and worthy of support. Considering the above justification, strict compliance with the development standard is considered unreasonable and unnecessary given the circumstances of the site.

The height of buildings development standard was introduced to achieve a high quality built form for all buildings, maintain satisfactory sky exposure and daylight access to existing buildings to the sides and rear of taller buildings and to public areas, provide a transition in building form and land use intensity between different areas particular regard to the transition between heritage items and other buildings and to maintain satisfactory solar access to existing buildings and public areas.

In this instance the proposed 0.8m height variation relates to a section of the roof approximately 11m in length, roughly at the centre of the site and setback roughly 7.4m from the southern side boundary and 7.6m from the northern side boundary. Acceptance of the variation with the proposed side setbacks of 7.4m and 7.6m is expected to result in minimal loss of sky exposure/ daylight access for neighbouring sites to the sides.

The proposal continues the pattern of established roof forms for the locality, ensuring the proposal is more in line with the significance of the conservation area, while also ensuring the height variation will not be out of character for the locality. The proposed side and rear setbacks surrounding the portion of the height variation ensure satisfactory solar access to neighbouring buildings and public areas. The proposed development is considered to be consistent with both the objectives of the zone and the objectives of the development standard.

The contravention of the development standard does not raise any matter of significance for State and Regional environmental planning, and there is no public benefit in maintaining strict compliance with the standard.

#### Clause 6.5 (c) – Gable Windows

Analysis of the floor plans has highlighted that the proposal seeks consent for the instillation of large windows to the Wolseley Street gable. The proposed gable windows are a variation from the objective of clause 6.5 and control 6.5 (c) of the Ashfield LEP 2013, which outline:

*(1) The objective of this clause is to maintain the single storey appearance of dwellings in the Haberfield Heritage Conservation Area.*

*(3)(c) the development will not involve the installation of dormer or gable windows,*

Council's heritage advisor does not support the gable window. Council's heritage advisor has outlined that the heritage significance of Haberfield is indivisibly reliant upon its single storey scale, as it is clear in its typology and accounts of Richard Stanton, the areas founder. This is further enforced through the objectives of clause 6.5 of the Ashfield LEP 2013, which clearly outlines that development is to maintain the single storey appearance of dwellings in the Haberfield Heritage Conservation Area and clause 6.5 (3)(c) which states that development will not involve the installation of dormer or gable windows.

Acceptance of glazed windows within the proposed gable results in the development presenting a two storeys to Wolseley Street. A timber louver screen is proposed to the front gable.

This timber louver screening cannot be relied upon to ensure the building presents as single storey as the intention of these gable windows is to obtain an outlook/amenity from the attic level. Should the gable windows be accepted then the timber screening will almost certainly

be left in an open position on a daily basis and continually present a two storey facade to the street.

In this instance departure from the established objective for single storey dwellings and no glazing within gables will clearly conflict with the aims and intent of the LEP, which is to conserve the environmental heritage significance of Ashfield and Haberfield.

The acceptance of the proposed gable windows is expected to establish an unsympathetic precedent for the Haberfield Heritage Conservation Area and result in a direct conflict to a well-established LEP control.

In order to ensure compliance with the above mentioned LEP controls of clause 6.5 a deferred commencement condition of consent requiring the removal of the proposed glazed area and timber louver screens to the gable is recommended. Instead the proposed gable is to be solid.

**5(b) Draft Environmental Planning Instruments**

**Draft Environment SEPP (Environmental)**

The NSW government has been working towards developing a new State Environmental Planning Policy (SEPP) for the protection and management of our natural environment. The Explanation of Intended Effect (EIE) for the Environment SEPP was on exhibition from 31 October 2017 until the 31 January 2018. The EIE outlines changes to occur, implementation details, and the intended outcome. It considers the existing SEPPs proposed to be repealed and explains why certain provisions will be transferred directly to the new SEPP, amended and transferred, or repealed due to overlaps with other areas of the NSW planning system.

This consolidated SEPP proposes to simplify the planning rules for a number of water catchments, waterways, urban bushland and Willandra Lakes World Heritage Property. Changes proposed include consolidating the seven existing SEPPs including Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005. The proposed development would be consistent with the intended requirements within the Draft Environment SEPP.

**5(c) Development Control Plans**

DCP 2016 Chapter E2 – Haberfield Conservation Area				
Clause No.	Clause	Standard	Proposed	Compliance
2.6	Building Form	Alterations to the original main part of a building (other than a non-conforming building), including front and side facades, verandahs and roof forms, are not permitted	The existing building is non-conforming to the heritage significance of the locality. Proposed modifications assist to return the site to a more conforming dwelling	Yes
2.9	Roof Forms	New buildings are to have roofs that reflect the size, mass, shape and pitch of the neighbouring original roofs.	The development proposes a roof form that is in line with that of neighboring original roofs of the area.	Yes
2.12	Sitting, Setbacks and levels	The established pattern of front and side setbacks should be kept.	The existing setbacks are retained. Development maintains the established pattern.	Yes
		New residential buildings or extensions should not	Development is not	Yes

		be built forward of existing front building lines.	forward of existing building line	
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<b>DCP 2016 – Chapter F: Development Category Guidelines</b>				
<b>Control No.</b>	<b>Control</b>	<b>Standard</b>	<b>Proposed</b>	<b>Compliance</b>
DS8.3	Maximum site coverage	601m <sup>2</sup> and over 50% of site area	Proposal does not change the existing site coverage	Un-changed
DS3.4	Wall height	Maximum external wall height of 6 metres measured from the existing ground level.	Wall height remains as existing	N/A
DS4.3	Setbacks	Side setbacks are determined by compliance with the BCA. Generally, Council requires a minimum side setback of 900mm for houses	Existing side setbacks retained	N/A
DS6.1	Garages and carports	A minimum of one car parking is required per dwelling	Existing on-site parking does not change under the proposal	N/A
DS13.1	Solar access	Sunlight to at least 50% (or 35m <sup>2</sup> with minimum dimension 2.5m, whichever is the lesser) of private open space areas of adjoining properties is not to be reduced to less than three (3) hours between 9am and 3pm on 21 June.	Neighbouring sites to retain a minimum of 3 hours solar access	Yes
DS 13.2		Existing solar access is maintained to at least 40% of the glazed areas of any neighbouring north facing primary living area windows for a period of at least three hours between 9am and 3 pm on 21 June.	Existing solar access to at least 40% of neighbouring windows is to be retained	Yes
DS 13.3		Requires main living areas to be located on the northern side of buildings where possible and subject to streetscape quality considerations.	Proposal has been appropriately designed	Yes
DS 13.4		Requires sun shading devices such as eaves, overhangs or recessed balconies minimise the amount of direct sunlight striking facades.	Appropriate sun shading devices proposed	Yes
DS 11.1	Front gardens	Requires front garden to have an area and dimensions that provide sufficient soil area for ground cover, vegetation and trees.	No change to existing front garden	N/A
DS 11.2	Front gardens	Requires hard paved areas to be minimised, and driveways have a maximum width of 3 metres	No change to existing front garden	N/A
DS 12.1	Rear gardens	Requires rear gardens to have an area and dimension that provide sufficient soil area for ground cover, vegetation and trees.	No change to existing rear yard	N/A
DS14.1	Visual Privacy	Requires the number of windows to side elevations located above the ground floor to be minimised.	Development has been appropriately designed to ensure reasonable visual privacy	Yes
DS19.1	Stormwater Disposal	Stormwater from roofs is discharged by gravity to street gutter system	Conditioned to engineering requirements	Yes

### 5(d) The Likely Impacts

The assessment of the Development Application demonstrates that, subject to the recommended conditions, the proposal will have minimal impact in the locality.

### 5(e) The suitability of the site for the development

The site is zoned R2 Low Density Residential. Provided that any adverse effects on adjoining properties are minimised, this site is considered suitable to accommodate the proposed development, and this has been demonstrated in the assessment of the application.

### 5(f) Any submissions

The application was notified in accordance with the Inner West Comprehensive Development Control Plan 2016 for a period of 14 days to surrounding properties. A total of two (2) submissions were received.

The submissions raised the following concerns which are discussed under the respective headings below:

Issue: Visual Privacy

Comment: The applicant has submitted amended plans during the course of the assessment. These amended plans detail the removal of the rear gablet and window, which created opportunities for direct sightlines into neighbouring sites. The amended proposal seeks consent for the instillation of skylights on the proposed new roof form. The nature of these skylights ensures limited opportunities for direct sightlines into neighbouring properties. The amended design for the development has been appropriately designed to avoid visual privacy impacts for neighbouring residents.

### 5(g) The Public Interest

The public interest is best served by the consistent application of the requirements of the relevant Environmental Planning Instruments, and by Council ensuring that any adverse effects on the surrounding area and the environment are appropriately managed.

The proposal is not contrary to the public interest.

## 6 Referrals

### 6(a) Internal

The application was referred to the following internal officers and issues raised in those referrals have been discussed in section 5 above.

- Heritage Officer – Council's heritage officer raised concerns with the proposed glazing within the gable to the street frontage. An appropriate condition requiring the removal of this glazing is recommended for the consent.

- Development Engineer – Council’s development engineer has outlined no objection to the proposal, subject to suitable conditions of consent. These conditions have been added to the consent.

## 7. Section 94 Contributions

Section 94 contributions are payable for the proposal.

Based on the estimated value of works of \$240,780.00 a Section 7.12 Contribution fee of \$2,407.80 is payable to Council. An appropriate condition is recommended.

## 8. Conclusion

The proposal generally complies with the aims, objectives and design parameters contained in Ashfield Local Environmental Plan 2013 and Comprehensive Inner West Development Control Plan 2016. The development will not result in any significant impacts on the amenity of adjoining premises and the streetscape. The application is considered suitable for approval subject to the imposition of appropriate conditions.

### **RECOMMENDATION:**

- A. That the Inner West Local Planning Panel (IWLPP) approve a variation to the height of buildings control prescribed by clause 4.3 in the Ashfield Local Environmental Plan 2013, as it is satisfied that the applicant’s written request has adequately addressed the matters required to be demonstrated by Clause 4.6 of that Plan, and the proposed development would be in the public interest because it is consistent with the objectives of that particular standard and objectives for development within the zone.
- B. That the Inner West Local Planning Panel exercising the functions of the Council as the consent authority pursuant to s80 of the Environmental Planning and Assessment Act 1979, grant consent to Development Application No: 10.2018.96 for alterations and additions to an existing dwelling at 47 Wolseley Street subject to the conditions listed in Attachment A below.

## Attachment A – Recommended conditions of consent

### PART A – Deferred Commencement Conditions

Conditions to be satisfied prior to consent operating

- (a) The consent is not to operate until the following conditions are satisfied, within 12 months of the date of this determination;

**(1) Amendments required to approved plans**

The gable window and timber louver screen fronting Wolseley Street are not supported and are to be deleted.

The gable is to be solid walled, incorporating finishing details similar to those found on other gables within the Haberfield Heritage Conservation Area.

- (b) Evidence that will sufficiently enable Council to be satisfied as to these matters identified in the above deferred commencement conditions, must be submitted to and approved by Council within 12 months of the date of this deferred commencement consent, failing which this deferred commencement will lapse pursuant to section 4.53 of the Environmental Planning and Assessment Act 1979.
- (c) The consent will not operate until such time that the Council notified the Applicant in writing that deferred commencement consent conditions, as indicated above, have been satisfied; and
- (d) Upon Council giving written notification to the Applicant that the deferred commencement conditions have been satisfied, the consent will become operative from the date of that written notification, subject to the following conditions of consent and any other additional conditions reasonably arising from consideration of the deferred commencement consent conditions.

### PART B

**A General Conditions**

**(1) Approved Plans/ Documents**

The development must be carried out only in accordance with the plans and specifications set out on drawing numbers prepared by and date stamped by Council and any supporting documentation received with the application, except as amended by the conditions specified hereunder.

Approved Plans:

Drawing No.	Title/Description	Prepared by	Issue/Revision	Date
AR10 01	Site Plan	Form Architects	B	20/9/2018
AR20 02	Ground Floor	Form Architects	C	20/9/2018
AR20 03	First Floor	Form Architects	C	20/9/2018
AR20 04	Roof	Form Architects	C	20/9/2018
AR30 01	Section C & 3	Form Architects	C	20/9/2018
AR40 01	Elevation – North & South	Form Architects	C	20/9/2018
AR40 02	Elevation – East and West	Form Architects	C	20/9/2018

In the event of any inconsistency, the conditions of this consent shall prevail.

**(2) Compliance with BCA**

All architectural drawings, specifications and related documentation shall comply with the Building Code of Australia (BCA). All work must be carried out in accordance with the requirements of the Building Code of Australia (BCA).

**(3) BASIX Certificate**

A copy of the required completed BASIX certificate with respect to the proposed residential building works as per the approved drawings in Condition A1 of this consent, must be lodged with an application for a construction certificate and the items nominated as part of the subject BASIX certificate must be specified on the plans submitted with the construction certificate application.

All commitments listed in the BASIX Certificate for the development must be fulfilled prior to an Occupation Certificate being issued.

**B Design Changes**

Nil.

**C Conditions that must be satisfied prior to issuing/releasing a Construction Certificate****(1) Permits - General**

Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent shall obtain all applicable Permits from Council in accordance with Section 68 (Approvals) of the Local Government Act 1993 and/or Section 138 of the Roads Act 1993. Permits are required for the following activities:

- a) Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application.
- b) A concrete pump across the roadway/footpath
- c) Mobile crane or any standing plant
- d) Skip bins
- e) Scaffolding/Hoardings (fencing on public land)

- f) Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.
- g) Awning or street verandah over footpath
- h) Partial or full road closure
- i) Installation or replacement of private stormwater drain, utility service or water supply

Contact Council's Road Access team to ensure the correct Permit applications are made for the various activities.

Applications for such Permits shall be submitted and approved by Council prior to the commencement of the works associated with such activity or issue of the Construction Certificate (whichever occurs first). Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issue of any Construction Certificate.

## **(2) Dilapidation – minor**

The person acting on this consent shall submit to the Principal Certifying Authority a dilapidation report including colour photos showing the existing condition of the footpath and roadway adjacent to the site before the issue of a Construction Certificate.

## **(3) Alignment Levels**

Alignment levels for the site at all pedestrian and vehicular access locations shall match the existing back of footpath levels at the boundary

Note: This may require the internal site levels to be adjusted locally at the boundary to ensure that they match the above alignment levels. Failure to comply with this condition will result in vehicular access being denied.

## **(4) Waste Management Plan**

Prior to the issue of a Construction Certificate, the applicant shall prepare and submit a Waste Management Plan in accordance with the provisions of Inner West Council Comprehensive Development Control Plan 2016 - Planning For Less Waste and the Waste Planning Guide for Development Applications (Planning for Less Waste, prepared by the Regional Waste Boards), including:

- (a) Estimations of quantities and type of materials to be reused, recycled or left over for removal from site;
- (b) Identification on a plan of on site material storage areas during construction, waste storage, recycling and composting areas;
- (c) Details of construction materials and methods to be used to minimise the production of waste in the completion of the new building work.
- (d) How waste is to be treated on the site.
- (e) How any residual non-reusable and non-recyclable waste is to be disposed of and including details of the approved waste disposal outlets where disposal will take place.

## **(5) Erosion & sedimentation control-management plan**



Prior to issue of a construction certificate the applicant shall prepare an erosion and sedimentation control plan in accordance with Part 4 of the guidelines titled “*Pollution Control Manual for Urban Stormwater*”, as recommended by the Environmental Protection Authority.

Any stormwater runoff collected from the site must be treated in accordance with the Guidelines, before discharge off the site to comply with the *Protection of the Environment Operations Act 1997* or other subsequent Acts.

Where sedimentation control basins are provided discharge shall be to the requirements of the Environmental Protection Authority.

Applicants are further advised to refer to the following publications for additional information:

- (a) “*Sedimentation and Erosion Control*” - Department of Conservation and Land Management.
  - (b) “*Soil and Water Management for Urban Development*” - Department of Housing.
2. The plan must be submitted with the application for a construction certificate.

Further information may be obtained from:

Environment Protection Officer  
 Environment Protection Authority  
 Inner Sydney Region  
 Locked Bag 1502  
 BANKSTOWN NSW 2200

**(6) Security Deposit**

Prior to the commencement of demolition works or a Construction Certificate being issued for works approved by this development consent (whichever occurs first), a security deposit and inspection fee must be paid to Council to cover the cost of making good any damage caused to any Council property or the physical environment as a consequence of carrying out the works and as surety for the proper completion of any road, footpath and drainage works required by this consent.

Security Deposit (FOOT)	\$7,860.00
Inspection fee (FOOTI)	\$225.00

Payment will be accepted in the form of cash, bank cheque, EFTPOS/credit card (to a maximum of \$10,000) or bank guarantee. Bank Guarantees must not have an expiry date.

The inspection fee is required for Council to determine the condition of the adjacent road reserve and footpath prior to and on completion of the works being carried out.

Should any of Council’s property and/or the physical environment sustain damage during the course of the demolition or construction works, or if the works put Council’s assets or the environment at risk, or if any road, footpath or drainage works required by this consent are not completed satisfactorily, Council may carry out any works necessary to repair the damage, remove the risk or complete the works. Council may utilise part or all of the security deposit to restore any damages, and Council may recover, in any court of competent jurisdiction, any costs to Council for such restorations.

A request for release of the security may be made to the Council after all construction work has been completed and a final Occupation Certificate issued.

The amount nominated is only current for the financial year in which the consent was issued and is revised each financial year. The amount payable must be consistent with Council's Fees and Charges in force at the date of payment.

Requirements of this condition are to be met prior to works commencing or prior to release of a Construction Certificate (whichever occurs first). Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issue of any Construction Certificate.

**(7) Long service levy**

Compliance with Section 109F of the Environmental Planning and Assessment Act 1979 – payment of the long service levy under Section 34 of the Building and Construction Industry Long Service Payments Acts 1986 – is required. All building of \$25,000.00 and over are subject to the payment of a Long Service Levy fee. A copy of the receipt for the payment of the Long Service Levy shall be provided to the Principal Certifying Authority (PCA) prior to the issue of a Construction Certificate. Payments can be made at Long Service Payments Corporation offices or most Councils.

**(8) Section 7.12 Contributions**

A Section 7.12 Contribution fee of \$2,407.80 is to be paid in accordance with Section 7.12 of the *Environmental Planning and Assessment Act 1979*.

**(9) Services and infrastructure adjustment/relocation**

The applicant shall meet the full cost for Telstra, Sydney Water, Energy Australia, AGL Electricity/AGL Retail Energy or alternative service/energy providers to adjust/relocate their services/infrastructure as required. The applicant shall make the necessary arrangements with the relevant service authority or relevant retail energy company.

(For information on the location of services contact the “Dial before you Dig” service on 1100.)

Documentary evidence from the utility authorities/retail energy company confirming that all of their requirements have been satisfied shall be submitted to Council with the Construction Certificate.

**(10) Energy efficiency**

The development must be designed and constructed to maximise energy efficiency, including wall and ceiling insulation and energy efficient appliances/hot water/cooling systems. Contact the Sustainable Energy Development Authority, telephone 9291 5260 for general design and construction information relating to energy efficiency. Documentation detailing the energy efficiency features of the development is to be shown on the plans to be provided with the Construction Certificate

**(11) Footpath/laneway – photographs to be submitted**

Prior to the release of the Construction Certificate, the applicant shall lodge with Council photographs of the roadway, footpath and/or laneway at the property indicating the state of the relevant pavements. At the completion of construction, again at the expense of the applicant, a new set of photographs is to be taken to determine the extent, if any, of any

damage which has occurred to the relevant pavements. If any damage has occurred, the applicant shall meet the full cost to repair or reconstruct these damaged areas to Council's relevant standard.

## **(12) Public Liability Insurance**

Any person acting on this consent or any contractors carrying out works on public roads or Council controlled lands shall take out Public Liability Insurance with a minimum cover of twenty (20) million dollars in relation to the occupation of, and approved works within those lands. The Policy is to note, and provide protection for Inner West Council, as an interested party and a copy of the Policy must be submitted to Council prior to commencement of the works. The Policy must be valid for the entire period that the works are being undertaken on public property.

### **D Conditions that must be complied with before work commences**

#### **(1) Requirement for a Construction Certificate**

In accordance with the provisions of Section 81A of the *Environmental Planning and Assessment Act 1979* the erection of a building and/or construction works must not commence until:

- (a) detailed plans and specifications of the building have been endorsed with a Construction Certificate by:
  - (i) Council; or
  - (ii) an accredited certifier; and
- (b) a principal certifying authority (PCA) has been appointed and the Council has been notified in writing of the appointment, and
- (c) at least two days notice, in writing, has been given to Council of the intention to commence work.

The documentation required under this condition shall show that the proposal complies with all development consent conditions and the *Building Code of Australia*.

Note: If the principal certifying authority is the Council, the appointment will be subject to the payment of a fee for the service to cover the cost of undertaking building work and / or civil engineering inspections.

**WARNING:** Failure to obtain a Construction Certificate prior to the commencement of any building work is a serious breach of Section 81A(2) of the *Environmental Planning & Assessment Act 1979*. It is a criminal offence that attracts substantial penalties and may also result in action in the Land and Environment Court and orders for demolition.

#### **(2) Inspections required by Principal Certifying Authority**

Inspections shall be carried out at different stages of construction by Council or an accredited certifier. If Council is selected as the Principal Certifying Authority (PCA) the inspection fees must be paid for in advance which will be calculated at the rate applicable at the time of payment.

**(3) Sanitary facilities - demolition/construction sites**

Toilet facilities are to be provided, at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out, at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.

The provision of toilet facilities in accordance with this clause must be completed before any other work is commenced.

**(4) Site Controls**

Sediment and erosion controls must be in place before work is commenced on the site. The control strategies must be consistent with the technical requirements set out in the Sydney Coastal Councils' *Stormwater Pollution Control Code for Local Government*.

Material from the site is not to be tracked onto the road by vehicles entering or leaving the site. At the end of each working day any dust/dirt or other sediment shall be swept off the road and contained on the site and not washed down any stormwater pit or gutter.

A sediment and erosion control plan must be prepared and identify appropriate measures for bunding and siltation fencing. Any such erosion and sedimentation controls shall also include the protection of stormwater inlets or gutter systems within the immediate vicinity of the site.

The sediment and erosion control measures are to be inspected daily and defects or system failures are to be repaired as soon as they are detected.

**(5) Tree preservation order - approvals required**

A Tree Preservation Order applies to the whole of the Inner West Council area. In this regard it will be necessary to make a separate application to Council prior to the removal or lopping of any trees. Contact Council's Customer Service Centre, telephone 9392 5000 to apply for a "Tree Preservation Order Permit" for Pruning or Removal of protected trees.

**(6) Layout of buildings**

The layout of all external walls, including retaining walls and contiguous piling must be checked and verified by survey prior to the commencement of construction to ensure that building construction complies with the development consent and does not encroach beyond the boundaries of the site.

**(7) Boundary identification prior to construction**

The boundary shall be identified by survey prior to the pouring of any footings and concrete slabs.

**(8) Protection of public places - erection or demolition of building**

- If the work involved in the erection or demolition of a building is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient or involves the enclosure of a public place; a hoarding or fence must be erected between the work site and the public place.

- If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.
- The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.
- Any such hoarding, fence or awning is to be erected prior to works commencing and only with Council approval in accordance with Workcover requirements. The temporary structures are to be removed when the work has been completed.

**(9) Demolition work plan**

Prior to demolition, the applicant shall submit a Work Plan prepared in accordance with AS 2601 by a person with suitable expertise and experience to the Principal Certifying Authority. The Work Plan shall identify any hazardous materials, the method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.

**(10) Asbestos sheeting removal - EPA/Workcover Authority**

Asbestos removal is to be carried prior to principal works commencing in accordance with Environmental Protection Authority and Workcover Authority requirements. Proper procedures shall be employed in the handling and removal of asbestos and products containing asbestos so as to minimise the risk to personnel and the escape of asbestos particles in the atmosphere. Work is only to be carried out with the prior consent of the Work Cover Authority.

Note: There are substantial penalties for non-compliance with the above requirements.

**(11) Asbestos and/or lead removal certification**

The existing structures/land on the site potentially contain asbestos and/or lead. Following removal of any asbestos/lead located on site a clearance must be provided to the Principal Certifying Authority certifying that no such asbestos/lead remains on site from a suitably qualified person.

A copy of the clearance Certificate must be forwarded to Council before any other demolition work is commenced.

**(12) Garbage skips on Council land - Council approval**

Bulk refuse bins or garbage skips shall not be placed on grass verge, footpath or roadway without Council permission. Application forms and details of applicable fees are available from Council's Customer Service on telephone 9392 5000.

**(13) Sydney Water approval**

The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements and if further requirements need to be met. Plans will be appropriately stamped. For Quick Check agent details please refer to the web site: [www.sydneywater.com.au](http://www.sydneywater.com.au), see Your Business then Building & Developing then Building & Renovating or telephone Sydney Water 13 20 92.

**(14) Slabs/footings - standards**

To ensure compliance with the provision of Section B of the *Building Code of Australia*, all reinforced concrete to footings and slabs shall comply with all relevant provisions of AS 2870.1-1996 "Residential Slabs and Footings Construction" or, alternatively structural engineers details of all structural elements shall be submitted to the Principal Certifying Authority with the Construction Certificate.

**(15) Structural engineer's details**

To ensure compliance with the provision of Section B of the *Building Code of Australia* structural engineer's details of all structural elements shall be submitted to the Principal Certifying Authority prior to commencement of work, including:

- (i) pier and beam footings;
- (ii) reinforced concrete slabs;
- (iii) stairs, including patio steps;
- (iv) retaining walls
- (v) all structural timber including floors, walls and roof; and
- (vi) all structural steel.

**(16) Structural engineer's certificate - superimposed loads**

A practicing structural engineer's certificate to be submitted to the Principal Certifying Authority with the Construction Certificate application certifying that the existing dwelling is structurally capable of supporting the superimposed loads of the addition prior to commencement of any building work.

**(17) Roof trusses - structural engineer certification**

Details of roof trusses to be submitted to the Principal Certifying Authority and approval obtained prior to erection - for this purpose structural engineer certified truss plans will suffice and computation data is not required.

**(18) Timber Details**

Details of timber beam sizes, floor joists layouts and packing details are to be submitted to the Principal Certifying Authority for consideration prior to commencement of work.

**(19) Timber – National Timber Framing Code**

All timber used in construction shall comply with the *National Timber Framing Code AS 1684 – 1992* details are to be submitted to the Principal Certifying Authority for consideration prior to commencement of work.

**E Conditions that must be complied with during construction or demolition**

**(1) Plans to be available on site**

The Council stamped approved plans, Development Consent and Construction Certificate shall be held on site to be produced unobliterated to Council's officer at any time when required.

**(2) Building construction - check survey**

A check survey is to be submitted to the Principal Certifying Authority for perusal at an early stage of construction indicating excavated levels, boundary distances, site coverage and building alignment to ensure compliance with the approved plans.

**(3) Locate structures within boundaries**

The proposed structure(s) to be erected must stand wholly within the boundaries of the allotment.

**(4) Storage of building materials**

Building materials and spoil are to be located wholly on site and not placed in a position that may result in materials being washed onto the roadway or into the stormwater system.

**(5) Roof water, surface and subsoil drainage**

Roofwater, surface and subsoil drainage shall be piped to the street gutter or to an easement – absorption pits are not acceptable and are not approved.

**(6) Signs to be erected on building and demolition sites**

(1) A sign must be erected in a prominent position on any work site on which work involved in the erection or demolition of a building is being carried out:

- (a) stating that unauthorised entry to the work site is prohibited; and
- (b) showing the name and address of the contractor for the building work and the person in charge of the work site and a telephone number at which the person may be contacted outside working hours; and
- (c) showing the name, address and telephone number of the Principal Certifying Authority appointed for the building works.

(2) Any-sign shall be maintained and not removed until work has been finished.

**(7) Waste Management Plan – compliance**

- (a) All requirements of the approved Waste Management Plan must be implemented during the demolition and/or excavation and construction period of the development. Adequate measures need to be in place to ensure the ongoing waste management of the site.
- (b) Keep receipts of where waste will be taken to be treated or disposed. The receipts must be presented to the Principal Certifying Authority prior to issue of the occupation certificate.

**(8) Lead Removal - Renovation and Refurbishment**

Any paint containing lead on residential and commercial buildings is to be managed in accordance with the Australian Standard AS 4361.2, Guideline to Lead Paint Management Part 2: Residential and Commercial Buildings without causing any contamination to the environment.

Removal of lead paint and protective coatings, using methods such as abrasive blasting, from larger buildings and industrial infrastructure where higher lead protective coatings continued to be used is to be done in accordance with AS 4361.1 Guide for Lead Paint Management in Industrial Applications 1995.

The following measures must be undertaken when removing lead:

- (a) For outside works lay plastic sheeting under and around the work area to contain debris; close windows and doors. For indoor works, seal the work area off from the rest of the building and outside by covering floors, doors and windows with plastic and tape; remove soft furnishings, curtains, carpets and other household items or cover them with plastic.
- (b) Removal methods that distribute paint dust or flakes into the surrounding environment must not be used unless adequate protection and containment measures are taken such as wet-sanding and wet-scraping. All paint debris including dust and flakes must be collected and safely disposed of in a sealed container. No paint dust or flakes should be allowed to pollute the interior or exterior environment.
- (c) A high- efficiency particulate air (HEPA) vacuum cleaner is to be used to collect particles.
- (d) All workers shall wear an approved (AS1716) respirator fitted with P1 (dust) or P2 (dust & fumes) filters, and coveralls to prevent exposure to lead dust and fumes. Protective clothing (long sleeves and pants) that does not catch dust or flakes in pockets or cuffs (or disposable overalls and plastic boots) are to be worn.
- (e) The manufacturer's instructions are to be strictly adhered to if solvent or caustic chemical strippers are being used.
- (f) Following removal, the entire area is to be wet washed with a detergent, such as liquid soap and rinse with clean water. Where children will reoccupy the premises, consideration should be given to having a clearance test to ensure lead paint and dust has been thoroughly removed.
- g) All lead-contaminated material is to be disposed of in accordance with the NSW Environment Protection Authorities requirements.

**(9) Construction hours**

Unless otherwise approved by Council, excavation, demolition, construction or subdivision work shall only be permitted during the following hours:

- a) 7:00 am to 6.00 pm, Mondays to Fridays, inclusive (with demolition works finishing at 5pm);
- b) 8:00 am to 1:00 pm on Saturdays with no demolition works occurring during this time; and
- c) at no time on Sundays or public holidays.



Works may be undertaken outside these hours where they do not create any nuisance to neighbouring properties in terms of dust, noise, vibration etc and do not entail the use of power tools, hammers etc. This may include but is not limited to painting.

In the case that a standing plant or special permit is obtained from Council for works in association with this development, the works which are the subject of the permit may be carried out outside these hours.

This condition does not apply in the event of a direction from police or other relevant authority for safety reasons, to prevent risk to life or environmental harm.

Activities generating noise levels greater than 75dB(A) such as rock breaking, rock hammering, sheet piling and pile driving shall be limited to:

8:00 am to 12:00 pm, Monday to Saturday; and  
2:00 pm to 5:00 pm Monday to Friday.

The Proponent shall not undertake such activities for more than three continuous hours and shall provide a minimum of one 2 hour respite period between any two periods of such works.

“Continuous” means any period during which there is less than an uninterrupted 60 minute respite period between temporarily halting and recommencing any of that intrusively noisy work.

Noise arising from the works must be controlled in accordance with the requirements of the *Protection of the Environment Operations Act 1997* and guidelines contained in the New South Wales Environment Protection Authority Environmental Noise Control Manual.

**(10) Demolition/excavation/construction - noise - Protection of the Environment Operations Act 1997**

Noise arising from demolition/excavation/construction works shall be controlled in accordance with the requirements of *Protection of the Environment Operations Act 1997* and guidelines currently contained in the *NSW EPA Environmental Noise Control Manual*.

**(11) Demolition requirements/standards**

Demolition of is to be carried out in accordance with the following:

- (a) Australian Standard 2601 and any requirements of the Workcover Authority.
- (b) The Waste Management Plan submitted with the Development Application.
- (c) The property is to be secured to prohibit unauthorised entry.
- (d) All precautions are to be exercised in the handling, removal and disposal of all asbestos materials. Licensed contractors and the disposal of asbestos is to be carried out in accordance with the requirements of the Work Cover Authority.
- (e) All other materials and debris is to be removed from the site and disposed of to approved outlets.
- (f) Any demolition on the site is to be conducted in strict accordance with, but not limited to, sections 1.5, 1.6, 1.7, 3.1 and 3.9 of the AS 2601 - 1991, demolition of structures. The following measures must be undertaken for hazardous dust control:

- (g) Prior to demolition, the applicant shall submit a Work Plan prepared in accordance with AS 2601 by a person with suitable expertise and experience to the Principal Certifying Authority. The Work Plan shall identify any hazardous materials, the method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
- (h) Hazardous dust must not be allowed to escape from the site or contaminate the immediate environment. The use of fine mesh dust proof screens, wet-lead safe work practices, or other measures is required.
- (i) All contractors and employees directly involved in the removal of hazardous dusts and substances shall wear protective equipment conforming to AS 1716 Respiratory Protective Devices and shall adopt work practices in accordance with WorkSafe Requirements (in particular the WorkSafe standard for the *Control of Inorganic Lead At Work* (NOHSC: 1012, 1994) and AS 2641, 1998).
- (j) Any existing accumulations of dust (eg; ceiling voids and wall cavities must be removed by the use of an industrial vacuum fitted with a high efficiency particulate air (HEPA) filter and disposed of appropriately.
- (k) All dusty surfaces and dust created from work is to be suppressed by a fine water spray. Unclean water from the suppressant spray is not be allowed to enter the street gutter and stormwater systems.
- (l) Demolition is not to be performed during high winds that may cause dust to spread beyond the site boundaries without adequate containment.
- (m) All lead contaminated material is to be disposed of in accordance with the NSW Environment Protection Authorities requirements.
- (n) Construction and demolition waste, particularly timber, bricks and tiles, concrete and other materials need not be disposed of- they can be recycled and resold if segregated properly from any hazardous waste contamination.
- (o) Following demolition activities, soil must be tested by a person with suitable expertise to ensure the soil lead levels are below acceptable health criteria for residential areas. Full certification is to be provided for approval by the Principal Certifying Authority.

## **(12) Materials and colour schemes**

Materials of construction are to be as specified in the schedule of finishes submitted with the development application and on the approved plans, except where amended by the conditions hereunder.

## **(13) Road and footpath – safety and access requirements**

The contractor is to take all precautions to ensure footpaths and roads are kept in a safe condition and to prevent damage to Council's property.

Heavy vehicles entering and leaving the site must only cross the footpath where it is adequately timbered and strapped. Pedestrian access across this footpath must be maintained in good order at all times during the work. Any damage caused must be made good by Council at Council's restoration rates, at the applicant's or builder's expense.

**(14) Road opening permit – Council controlled lands**

A road opening permit shall be obtained for all works carried out in public or Council controlled lands. Contact Council's Engineering Services for details.

This road opening permit covers the direct costs involved in the repair/replacement of works where the public or Council controlled lands are specifically damaged/saw cut etc for the construction of services, stormwater pipes, kerb works, bitumen works, footpath works etc. It is *separate* from a Damage Deposit as listed elsewhere in these Conditions of Consent.

**(15) Surface run-off**

Allowance shall be made for surface run-off from adjacent properties, and to retain existing surface flow path systems through the site. Any redirection or treatment of these flows shall not adversely affect any other properties.

**(16) Termite treatment**

Treatment for the protection of the building from subterranean termites shall be carried out in accordance with AS 3660.1:2000 'Protection of Buildings from Subterranean Termites'.

On completion of the installation of the barrier the Principal Certifying Authority shall be furnished with a certificate from the person responsible, stating that the barrier complies with AS 3660.1.

A durable notice shall be permanently fixed to the building in a prominent location, such as the meter box or the like indicating:

- the method of protection;
- the date of installation;
- where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label; and
- the need to maintain and inspect the system on a regular basis.

Due to the present limited effective life of soil chemical treatments, Council does not permit hand spraying as a stand alone method of termite protection. It is recommended that any soil chemical treatment should embrace a reticulation system.

**(17) Balustrade design requirements**

Balustrades shall be constructed in accordance with the following requirements:

- (i) The height is not less than 865mm above the nosings of the stair treads or the floor of a ramp.
- (ii) The height is not less than:
  - (a) 1m above the floor of any access path, balcony, landing or the like; or
  - (b) 865mm above the floor of a landing to a stair or ramp where the balustrade is provided along the inside edge of the landing and does not exceed a length of 500mm.
  - (c) Any opening does not permit a 125mm sphere to pass through it and for stairs the space is tested above the nosings.

**(18) Plantation or recycled timbers to be used**

To minimise the damage to the environment, no rainforest timbers or timbers cut from old growth forests are to be used in the construction of buildings. These are to be limited to plantation timbers grown on Australian farms, or State Forest Plantations, or recycled timbers.

**(19) Waterproofing materials/installation – BCA/Australian Standards**

Approved products that are impervious to water shall only be used as a substrate or as a lining and as a finish to floors and walls of wet areas (i.e. bathroom/shower room, WC compartment and laundry). Floors and cubicles shall be properly graded and drained to approved outlets.

The wet areas in the building shall be impervious to water as required by Part 3.8.1 of the Building Code of Australia (BCA). The junction between the floor and wall and the construction of the bath shower recess, basin, sink or the like shall be in accordance with the BCA & AS 3740:2004 'Waterproofing of wet areas within residential buildings'.

On completion of the waterproofing of the wet areas, the Principal Certifying Authority shall be furnished with a certificate from the person responsible. This is to state that the materials are suitable for the situation and that the application and/or installation has been carried out in accordance with the manufacturer's instructions, the BCA and AS 3740.

**(20) Safety Glazing - BCA**

Safety glazing complying with B1 of the Building Code of Australia (BCA) is to be used in every glazed door or panel that is capable of being mistaken for a doorway or unimpeded path of travel. The glazing must comply with AS 1288:2006 'Glass in Buildings – Selection and Installation'.

Framed panels or doors enclosing or partially enclosing a shower or bath shall be glazed with "A" or "B" grade safety glazing material in accordance with AS 1288 and Part 3.6.4 of the BCA.

**(21) Fire Detection/Alarm System installation and certification**

Smoke alarms must be installed in dwellings in accordance with Clause 3.7.2.3 of the Building Code of Australia (BCA) and AS 3786 on or near the ceiling in -

- (a) any storey containing bedrooms -
  - between each area containing bedrooms and the remainder of the dwelling, including any hallway associated with the bedrooms
- (b) any storey not containing bedrooms.

Smoke alarms must be connected to the consumer mains power and have a stand-by power supply.

The licensed Electrical Contractor shall on completion of the installation of the smoke alarm system, submit to the Principal Certifying Authority a certificate certifying compliance with AS 3000 and AS 3786:1993.

**F Conditions that must be complied with prior to installation of services**

nil

**G**     **Conditions that must be complied with before the building is occupied****(1)**           **Compliance with submitted ridge height**

A survey report to be submitted upon completion of the works and prior to occupation verifying compliance with the approved ridge height details.

**(2)**     **Approval to use/occupy building**

The building or any part thereof must not be used or occupied until an Occupation Certificate has been obtained from the Principal Certifying Authority.

Note: If Council is chosen as the Principal Certifying Authority a fee is applicable prior to the release of the Construction Certificate.

**(3)**     **House Stormwater Disposal**

The stormwater disposal from the proposed development shall be connected to the existing site stormwater system via a 100mm dia UPVC pipe. No 'charged' lines are permitted.

The existing site stormwater system shall be tested by a qualified plumber to ensure it functions satisfactory in discharging water to the street gutter.

**(4)**     **House Number**

A House Number that is clearly visible to motorists and a minimum lettering height of 100mm, shall be displayed.

**H**     **Conditions that are ongoing requirements of development consents****(1)**     **Single dwelling use only**

Dwelling shall be used as a single domicile only and shall not be adapted or occupied in two or more parts as a residential flat building or dual occupancy.

**I**     **Advisory Notes****(1)**     **Works and requirements of other authorities**

- Sydney Water may require the construction of additional works and/or the payment of additional fees. Other Sydney Water approvals may also be necessary prior to the commencement of construction work. You should therefore confer with Sydney Water concerning all plumbing works, including connections to mains, installation or alteration of systems, and construction over or near existing water and sewerage services.
- Contact Sydney Water, Rockdale (Urban Development Section) regarding the water and sewerage services to this development.
- Australia Post has requirements for the positioning and dimensions of mail boxes in new commercial and residential developments. A brochure is available from your nearest Australia Post Office.
- Energy Australia/AGL Electricity/AGL Retail Energy or other alternative service/energy providers have requirements for the provision of connections.

- Energy Australia has a requirement for the approval of any encroachments including awnings, signs, etc over a public roadway or footway. The Engineer Mains Overhead Eastern Area should be contacted on 9663 9408 to ascertain what action, if any, is necessary.
- Telstra has requirements concerning access to services that it provides.

## **(2) Modifications to your consent - prior approval required**

Works or activities other than those authorised by the approval including changes to building configuration or use will require the submission and approval of an application to modify the consent under Section 96 of the *Environmental Planning & Assessment Act 1979*. You are advised to contact Council immediately if you wish to alter your approved plans or if you cannot comply with other requirements of your consent to confirm whether a Section 96 modification is required.

**Warning:** There are substantial penalties prescribed under the *Environmental Planning and Assessment Act 1979* for breaches involving unauthorised works or activities.

## **(3) Occupational health and safety**

All site works must comply with the occupational health and safety requirements of the NSW Work Cover Authority.

## **(4) Tree preservation**

Where tree removal or work has not been approved by this Development Consent, the developer is notified that a general Tree Preservation Order applies to all trees (with the exception of certain species) in the Inner West Council area with a height greater than five (5) metres. This order prohibits the ringbarking, cutting down, topping, lopping\*, pruning, transplanting, injuring or wilful destruction of such trees except with the prior approval of the Council. Written consent from Council for such tree works must be in the form of a "Tree Preservation Order Permit for Pruning or Removal of Protected Trees" to be obtained from Council.

- \* Lopping may be carried out without consent only to maintain a minimum clearance of 500mm from power lines, pruning to remove dead wood/branches and minor pruning of branches overhanging buildings to a height of 2 metres only with the agreement of the owner of the tree. Contact Council's Customer Service Centre - telephone 9392 5000, for details of the Tree Preservation Order.

## **(5) Relocation of stormwater drainage**

Council is not responsible for the cost of relocating Council's stormwater drainage pipes through the subject property.

Attachment B – Plans of proposed development

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**DA AMENDMENT**

**200/0018**

**DA AMENDMENT**

**DA AR03 02**

**DA AMENDMENT**

200/0018

**FORM**

**SAVANORE COTTULLO**

**47 WOLSELEY STREET HARBORFIED**

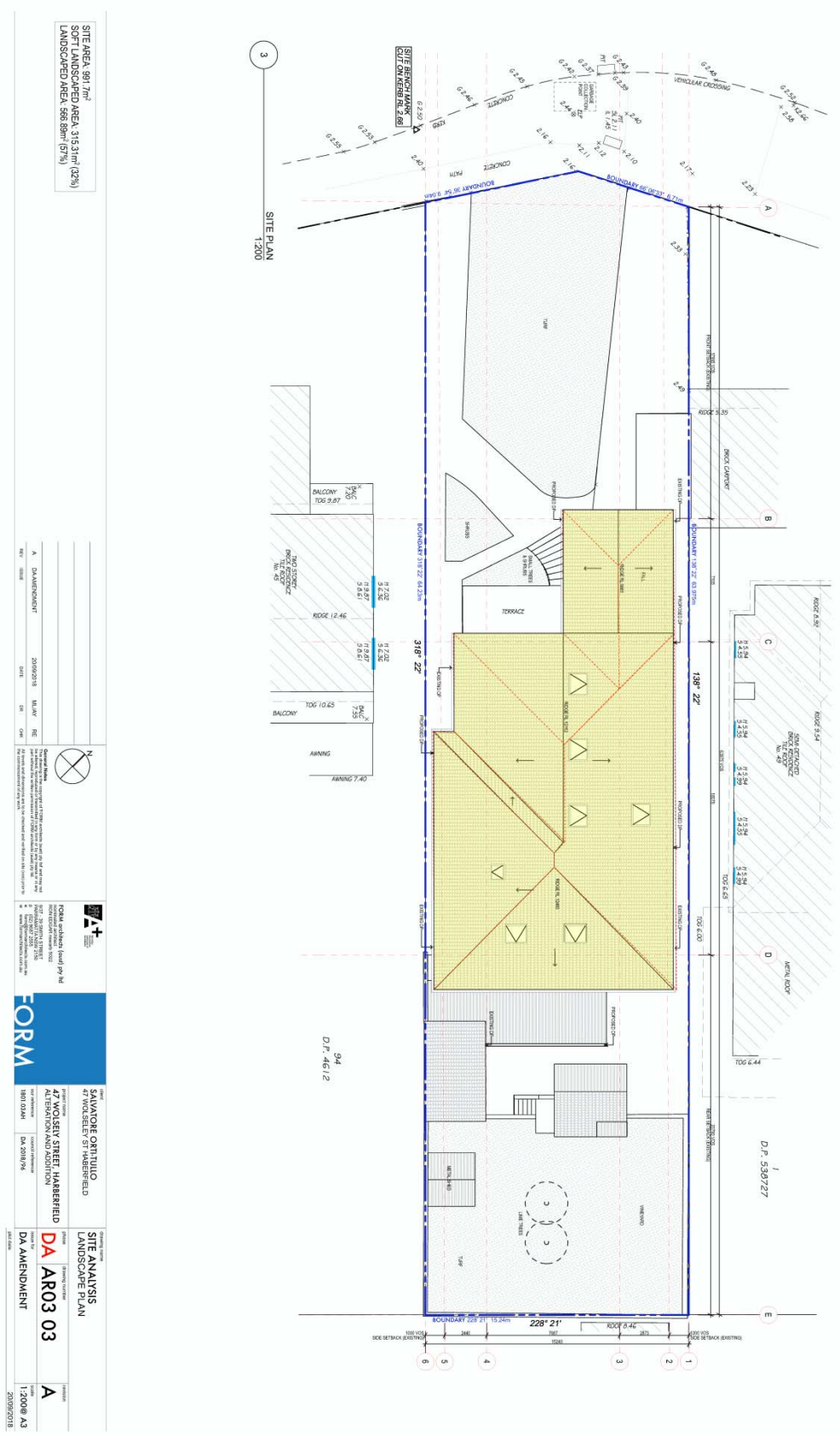
**47 WOLSELEY STREET HARBORFIED**

**DA AMENDMENT**

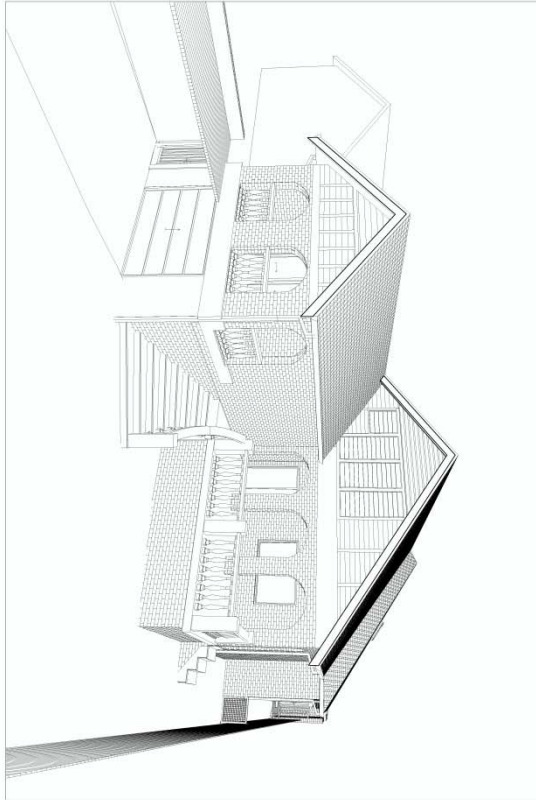
**DA AR03 02**

**DA AMENDMENT**

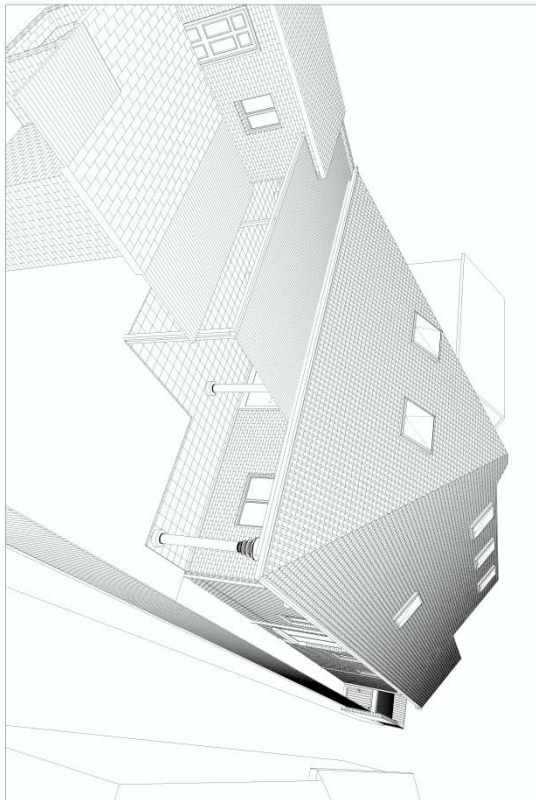
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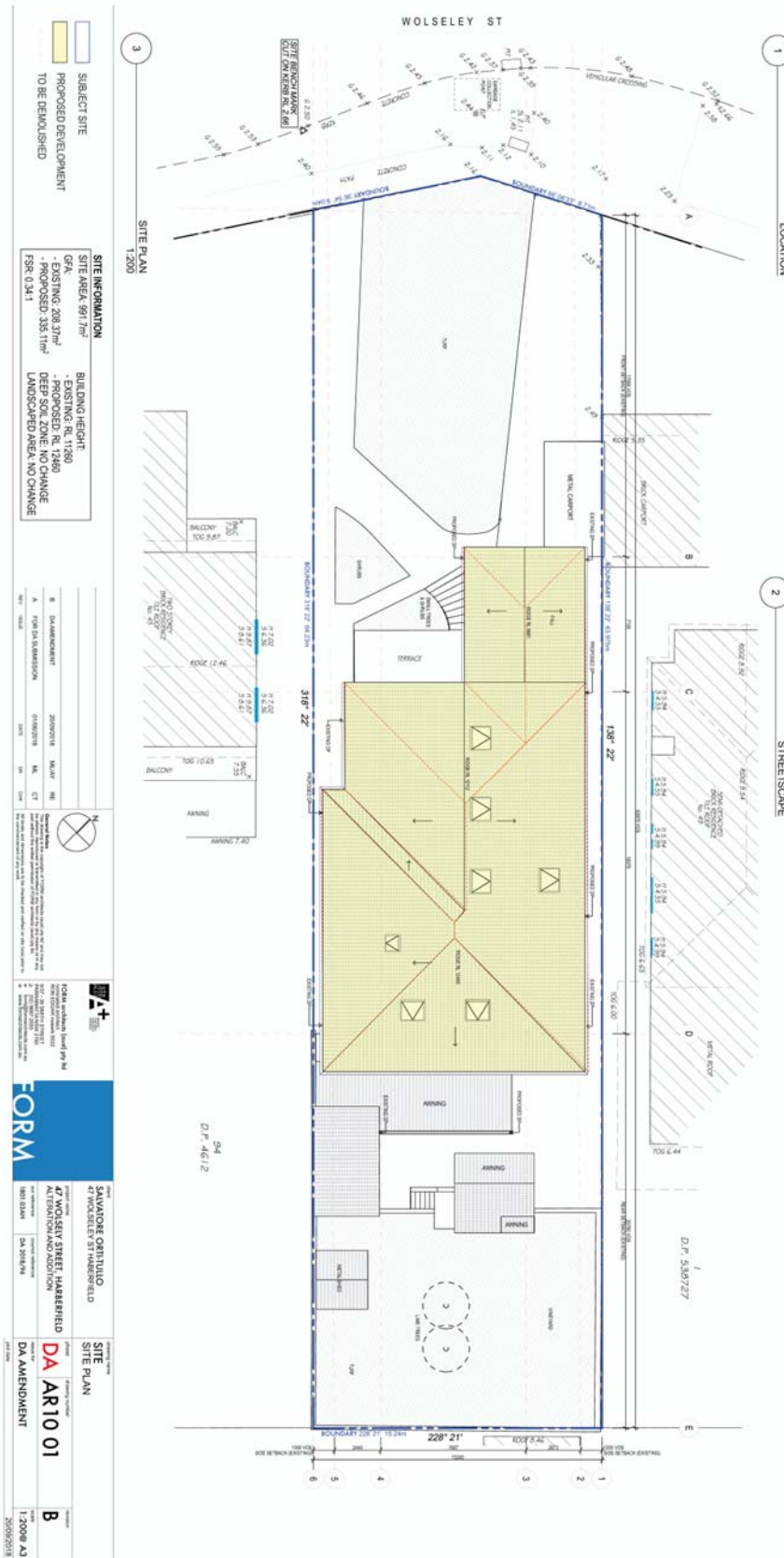


1 NORTH VIEW



2 SOUTH VIEW

<p><b>FORM</b></p>		<p><b>PROPOSED PROJECT</b></p> <p>SAVANORE ORPHANUS 27-31 VAN SLY STREET, HARBORFIELD ALTERNATION AND AMENDMENT</p>		<p><b>PROJECT TITLE</b></p> <p>DA ARO3 04 DA AMENDMENT</p>		<p><b>PROJECT NUMBER</b></p> <p>A</p>	
<p><b>CLIENT</b></p> <p>20/09/2018</p>		<p><b>DATE</b></p> <p>28/01/2024</p>		<p><b>PROJECT NUMBER</b></p> <p>DA 2018/79</p>		<p><b>PROJECT NUMBER</b></p> <p>20/09/2018</p>	
<p><b>PROJECT TYPE</b></p> <p>DA AMENDMENT</p>		<p><b>DATE</b></p> <p>28/01/2024</p>		<p><b>PROJECT NUMBER</b></p> <p>DA 2018/79</p>		<p><b>PROJECT NUMBER</b></p> <p>20/09/2018</p>	
<p><b>PROJECT TYPE</b></p> <p>DA AMENDMENT</p>		<p><b>DATE</b></p> <p>28/01/2024</p>		<p><b>PROJECT NUMBER</b></p> <p>DA 2018/79</p>		<p><b>PROJECT NUMBER</b></p> <p>20/09/2018</p>	



<p>PROPOSED DEVELOPMENT</p> <p>TO BE DEMOLISHED</p>	
<p>C. DEMOLITION</p> <p>20/09/2018</p>	<p>DA AMENDMENT</p> <p>20/09/2018</p>
<p>B. FOR EVALUATION</p> <p>18/09/2018</p>	<p>DA AMENDMENT</p> <p>18/09/2018</p>
<p>A. FOR SUBMISSION</p> <p>01/09/2018</p>	<p>DA AMENDMENT</p> <p>01/09/2018</p>

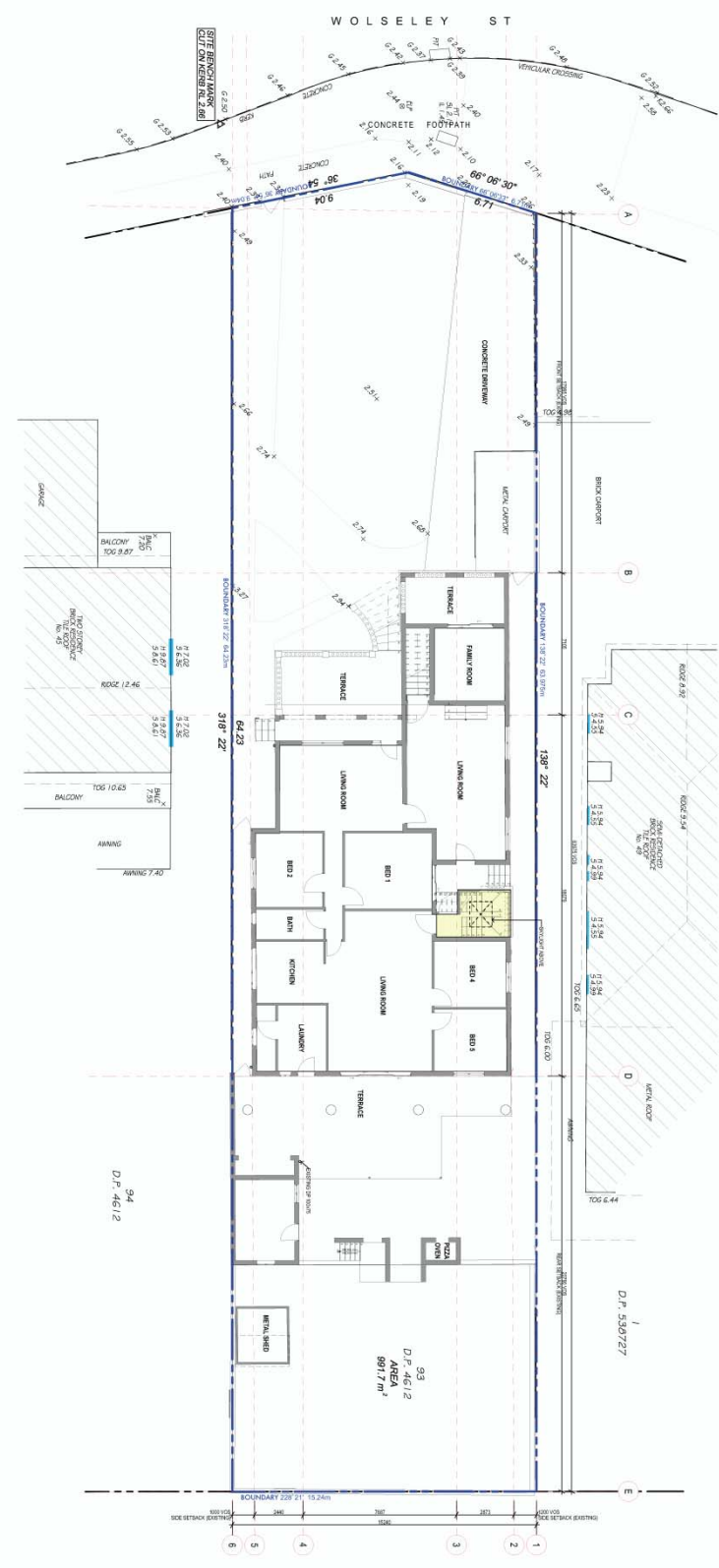
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<p>FOR EVALUATION</p> <p>18/09/2018</p>	<p>FOR EVALUATION</p> <p>18/09/2018</p>
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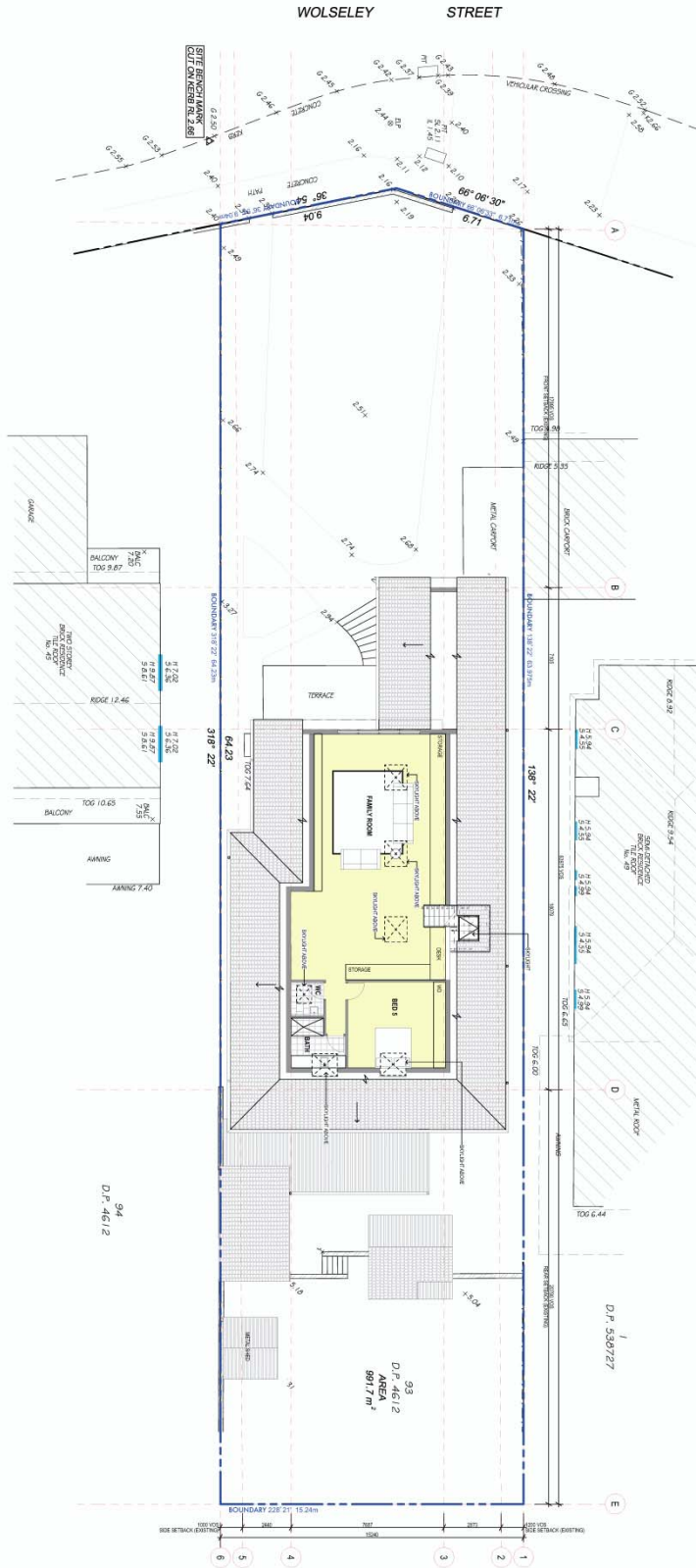
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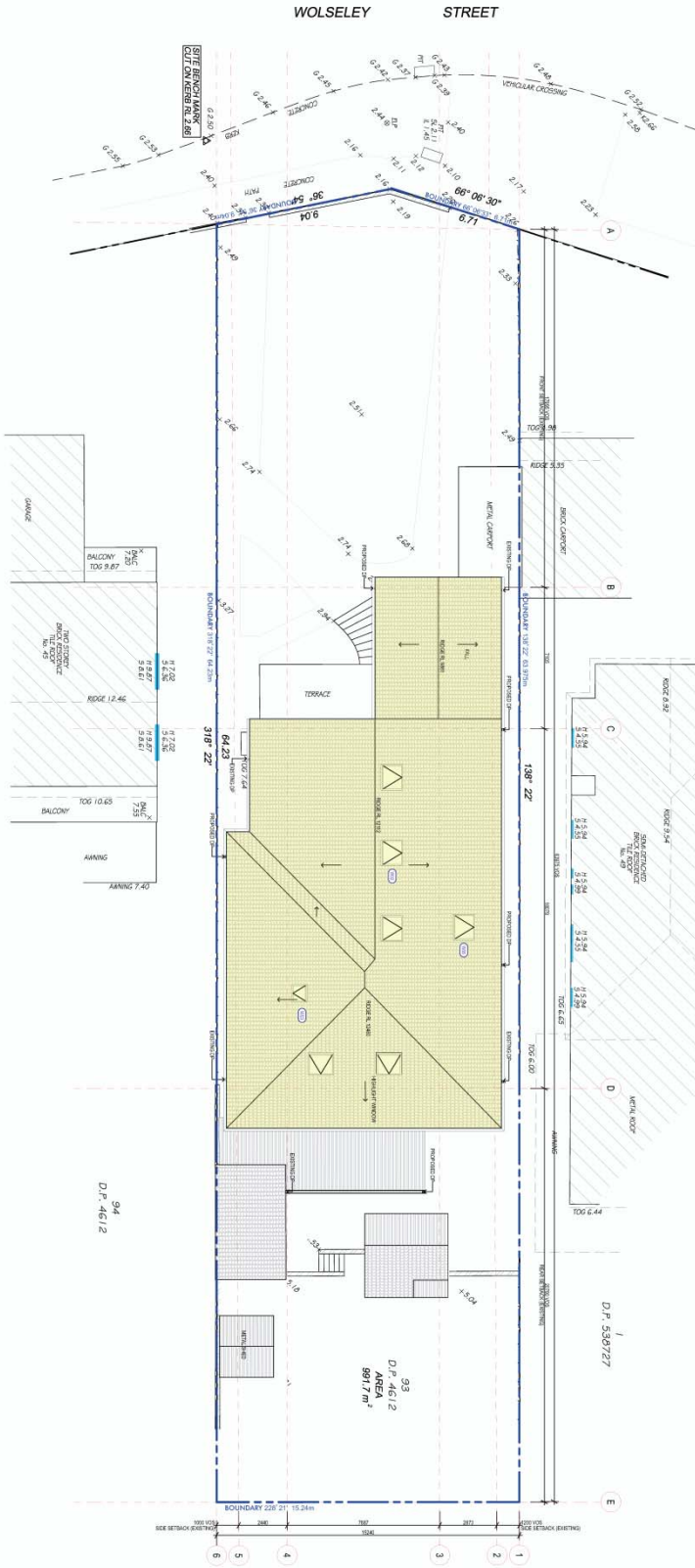
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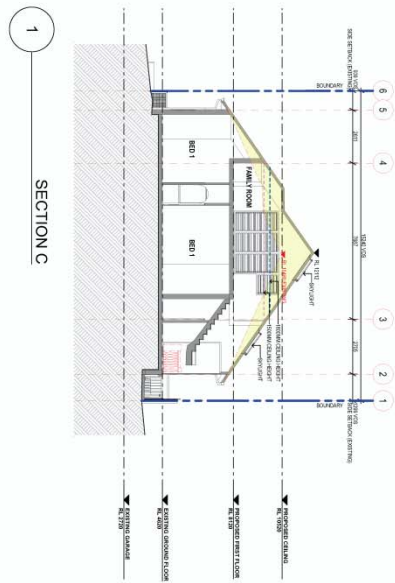


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<p><b>C DAMNMENT</b></p> <p>20/20/2018</p>	<p><b>W/LAV' RE</b></p>
<p><b>B FOR EVALUATION</b></p> <p>18/02/2018</p>	<p><b>AV' RE</b></p>
<p><b>A FOR SUBMISSION</b></p> <p>01/02/2018</p>	<p><b>ML CT</b></p>
<p>DATE</p> <p>2018</p>	<p>DATE</p> <p>2018</p>
<p><b>FORM</b></p>	
<p><b>DA AMENDMENT</b></p>	<p><b>DA AMENDMENT</b></p>
<p><b>DA AR20 03</b></p>	<p><b>DA AMENDMENT</b></p>
<p><b>GENERAL ARRANGEMENT</b></p>	<p><b>GENERAL ARRANGEMENT</b></p>
<p><b>AVADORE OPTIMULO</b></p> <p><b>27 WOLSELEY STREET, HAWKESBURY</b></p>	<p><b>DA AMENDMENT</b></p>
<p><b>DA AMENDMENT</b></p>	<p><b>DA AMENDMENT</b></p>
<p><b>1:200 @ A3</b></p>	<p><b>20/09/2018</b></p>

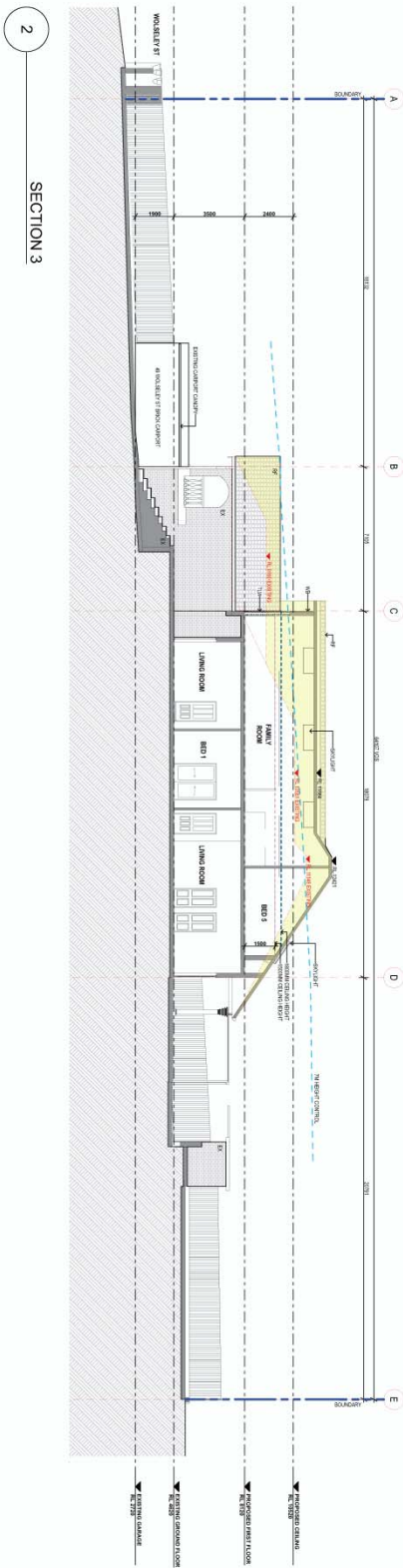


<p><b>PROPOSED DEVELOPMENT</b></p> <p>TO BE DEMOLISHED</p>		
<p><b>GENERAL ARRANGEMENT</b></p>		
<p><b>C DAMENMENT</b></p> <p>20/20/2018</p> <p><b>B FOR EVALUATION</b></p> <p>18/02/2018</p> <p><b>A FOR SUBMISSION</b></p> <p>01/02/2018</p>	<p><b>DA AR20 04</b></p> <p><b>DA AMENDMENT</b></p>	
<p><b>VALUOR'S REPORT</b></p> <p>7/1/2008/2018</p> <p><b>ALTERNATION AND AMENDMENT</b></p> <p>18/01/2018</p> <p>DA 2018/19</p>		<p><b>DA AR20 04</b></p> <p><b>DA AMENDMENT</b></p>
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<p><b>FORM</b></p>		<p>1:200@ A3</p> <p>20/08/2018</p>





SECTION C



SECTION 3

PROPOSED DEVELOPMENT  
TO BE DEMOLISHED

DA AMENDMENT	2019/0218	MLAV	RE
FLOOR EVALUATION	1/10/2018	AV	RE
FLOOR SUBMISSION	01/02/18	ML	CT
REV	DATE	BY	CHK

**FORM**

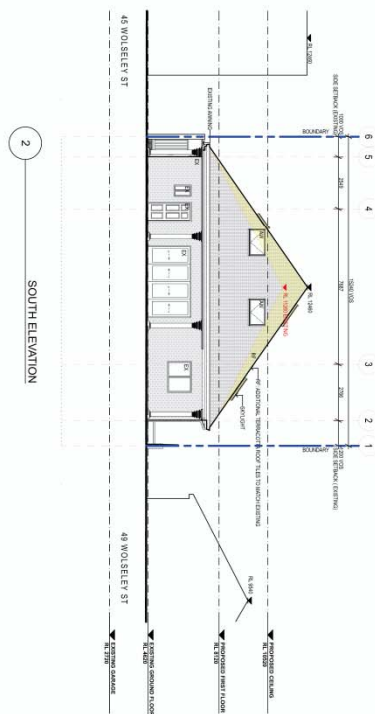
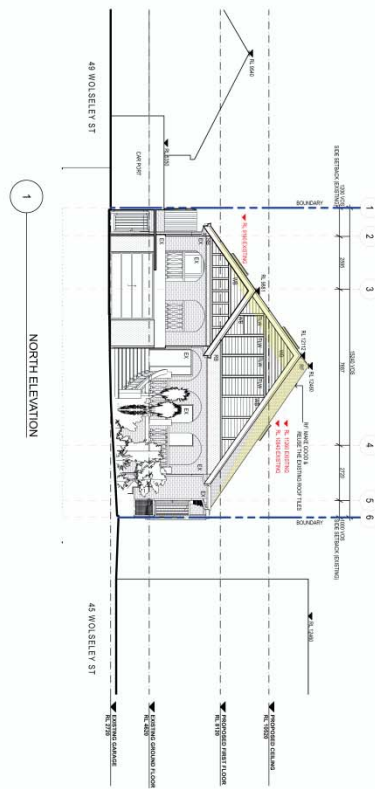
PROJECT: **FAVOURITE ORBITULO**  
 47 VAN SIEU STREET, HARBORFIELD  
 ALTERNATION AND ADAPTATION

SECTION: **SECTION C & 3**

DA: **DA AR30 01**

DA AMENDMENT

1:200 @ A3  
20/09/2018



**MATERIALS & FINISHES**

- RF - MAKE GOOD & REUSE THE EXISTING ROOF-TILES
- ADDITIONAL TERRACOTTA ROOF-TILES TO MATCH EXISTING



- TLW - TIMBER LOUVRE WINDOW
- WB - WEATHERBOARD
- RB - RENDER TO EXISTING BRICK
- AM - ALUMINIUM FRAMED DOORS / WINDOWS
- EX - EXISTING

PROPOSED DEVELOPMENT TO BE DEMOLISHED

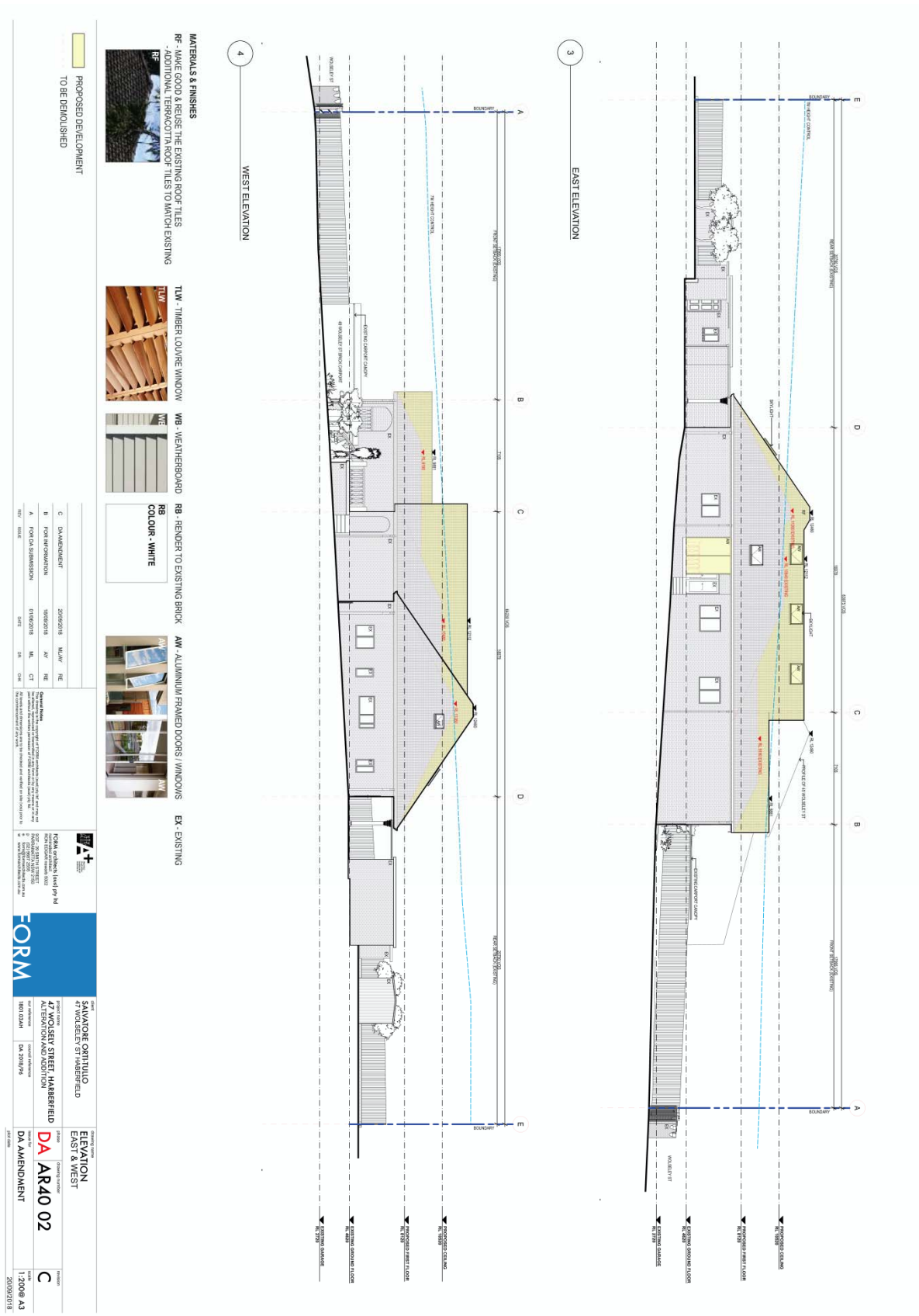
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B. FROM RECONSTRUCTION	19/09/2018	AY	NE
A. FROM EXISTING SUBSTANTIATION	01/09/2018	NE	CT
REV. ISSUE	2/8	2/8	2/8

**General Notes:**  
 1. All work to be done in accordance with the relevant Australian Standards and Codes of Practice.  
 2. All work to be done in accordance with the relevant Australian Standards and Codes of Practice.  
 3. All work to be done in accordance with the relevant Australian Standards and Codes of Practice.

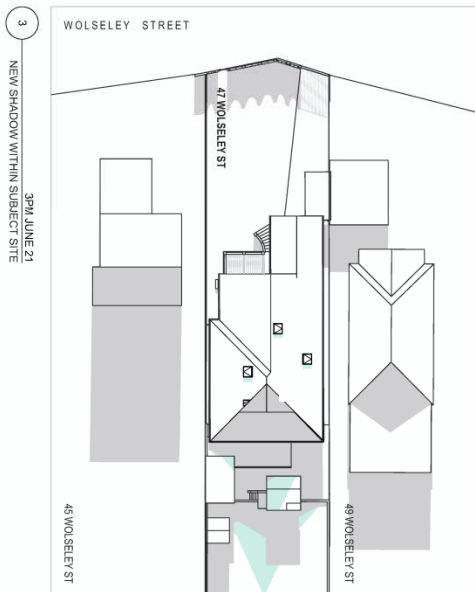
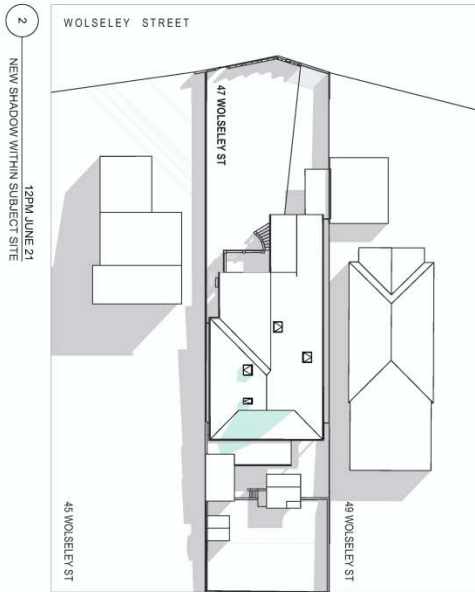
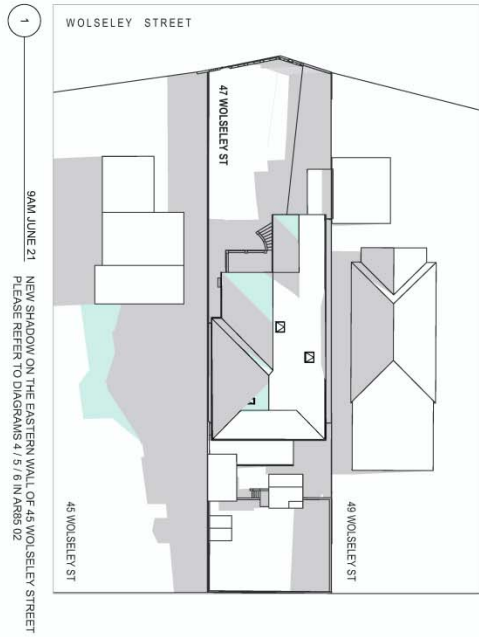


**FORM**

PROJECT	25 SAVOIRIE ORCHARD	DATE	20/09/2018
CLIENT	25 SAVOIRIE STREET, HANMERFIELD	PROJECT NO.	DA AMENDMENT
ALTERNATION AND ADDITION	18/01/2018	DATE	20/09/2018
DATE	20/09/2018	SCALE	1:200 @ A3
DATE	20/09/2018	SCALE	1:200 @ A3







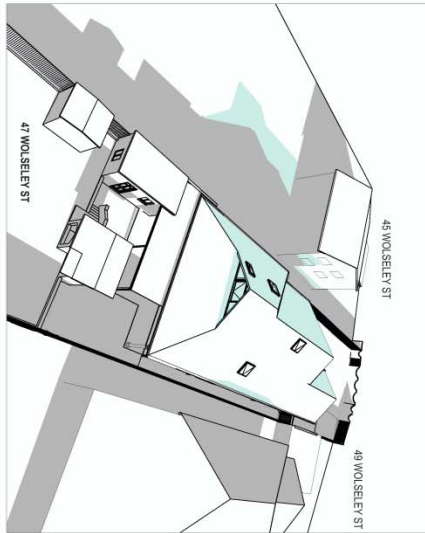
PROJECTED SHADOW CAST BY PROPOSED ALTERATIONS ON SITE  
 PROJECTED SHADOW CAST BY EXISTING ON SITE

**FORM**

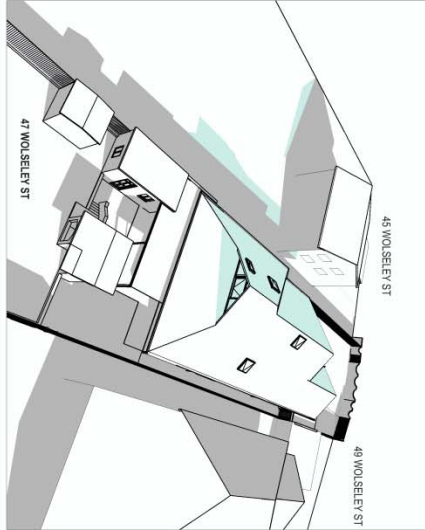
A. FOR DA SUBMISSION DATE: _____ DRAWN BY: _____ CHECKED BY: _____	B. FOR DA SUBMISSION DATE: _____ DRAWN BY: _____ CHECKED BY: _____	C. FOR DA SUBMISSION DATE: _____ DRAWN BY: _____ CHECKED BY: _____	D. FOR DA SUBMISSION DATE: _____ DRAWN BY: _____ CHECKED BY: _____
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**FORM**

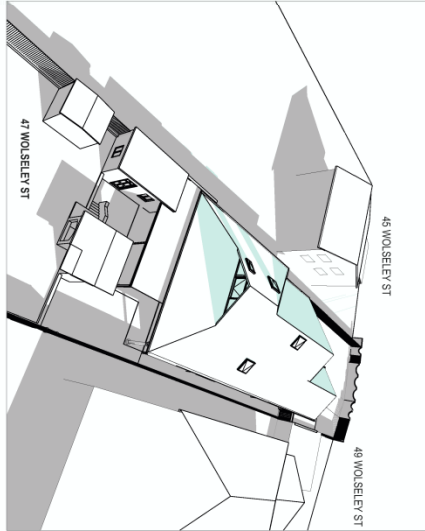
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PROJECT LOCATION 27 WOLSELEY STREET, HARRISFIELD	PROJECT STATUS FOR DA SUBMISSION	DATE 11/07/2018



4 9AM JUNE 21



5 10AM JUNE 21



6 11AM JUNE 21

	PROJECTED SHADOW CAST BY PROPOSED ALTERATIONS ON SITE
	PROJECTED SHADOW CAST BY EXISTING ON SITE

<p><b>FORM</b></p>	
<p><b>FORM NO. 1</b></p>	<p><b>FORM NO. 2</b></p>
<p><b>FORM NO. 3</b></p>	<p><b>FORM NO. 4</b></p>
<p><b>FORM NO. 5</b></p>	<p><b>FORM NO. 6</b></p>
<p><b>FORM NO. 7</b></p>	<p><b>FORM NO. 8</b></p>
<p><b>FORM NO. 9</b></p>	<p><b>FORM NO. 10</b></p>
<p><b>FORM NO. 11</b></p>	<p><b>FORM NO. 12</b></p>
<p><b>FORM NO. 13</b></p>	<p><b>FORM NO. 14</b></p>
<p><b>FORM NO. 15</b></p>	<p><b>FORM NO. 16</b></p>
<p><b>FORM NO. 17</b></p>	<p><b>FORM NO. 18</b></p>
<p><b>FORM NO. 19</b></p>	<p><b>FORM NO. 20</b></p>
<p><b>FORM NO. 21</b></p>	<p><b>FORM NO. 22</b></p>
<p><b>FORM NO. 23</b></p>	<p><b>FORM NO. 24</b></p>
<p><b>FORM NO. 25</b></p>	<p><b>FORM NO. 26</b></p>
<p><b>FORM NO. 27</b></p>	<p><b>FORM NO. 28</b></p>
<p><b>FORM NO. 29</b></p>	<p><b>FORM NO. 30</b></p>
<p><b>FORM NO. 31</b></p>	<p><b>FORM NO. 32</b></p>
<p><b>FORM NO. 33</b></p>	<p><b>FORM NO. 34</b></p>
<p><b>FORM NO. 35</b></p>	<p><b>FORM NO. 36</b></p>
<p><b>FORM NO. 37</b></p>	<p><b>FORM NO. 38</b></p>
<p><b>FORM NO. 39</b></p>	<p><b>FORM NO. 40</b></p>
<p><b>FORM NO. 41</b></p>	<p><b>FORM NO. 42</b></p>
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<p><b>FORM NO. 47</b></p>	<p><b>FORM NO. 48</b></p>
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<p><b>FORM NO. 53</b></p>	<p><b>FORM NO. 54</b></p>
<p><b>FORM NO. 55</b></p>	<p><b>FORM NO. 56</b></p>
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<p><b>FORM NO. 61</b></p>	<p><b>FORM NO. 62</b></p>
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<p><b>FORM NO. 71</b></p>	<p><b>FORM NO. 72</b></p>
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<p><b>FORM NO. 75</b></p>	<p><b>FORM NO. 76</b></p>
<p><b>FORM NO. 77</b></p>	<p><b>FORM NO. 78</b></p>
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<p><b>FORM NO. 85</b></p>	<p><b>FORM NO. 86</b></p>
<p><b>FORM NO. 87</b></p>	<p><b>FORM NO. 88</b></p>
<p><b>FORM NO. 89</b></p>	<p><b>FORM NO. 90</b></p>
<p><b>FORM NO. 91</b></p>	<p><b>FORM NO. 92</b></p>
<p><b>FORM NO. 93</b></p>	<p><b>FORM NO. 94</b></p>
<p><b>FORM NO. 95</b></p>	<p><b>FORM NO. 96</b></p>
<p><b>FORM NO. 97</b></p>	<p><b>FORM NO. 98</b></p>
<p><b>FORM NO. 99</b></p>	<p><b>FORM NO. 100</b></p>

Attachment C – Statement of Environmental Effects

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STATEMENT OF ENVIRONMENTAL EFFECTS  
PROPOSED ALTERATIONS AND ADDITIONS

47 WOLSELEY STREET

HABERFIELD NSW 2045



*for*

SALVATORE ORTI-TULLO

*Submitted to*

INNER WEST COUNCIL

---

*prepared by*

**FORM** architects (aust) pty ltd

MAY 2018

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STATEMENT OF ENVIRONMENTAL EFFECTS

FORM architects (aust) pty ltd



Nominated Architect  
 RON EDGAR (B ARCH FAIA)  
 NSW Registered Architect #5022  
 Architect / Heritage Consultant

FORM architects (aust) pty ltd  
 architecture • heritage • conservation • project coordination • due diligence

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Revision	Date	Status	Author	Approve
A	29/05/2018	DA	mc	RE

Statement

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## 1 Introduction

This Statement has been prepared to assess the environmental effects and heritage impacts of the proposed alterations and additions to adaptively reuse the existing roof space to create a habitable area at 47 Wolseley Street, Haberfield.

The proposed work is detailed in the architectural plans prepared by FORM architects (aust) Pty Ltd attached under Appendix 1 - Architectural Drawings.

This application is also supported with the following reports and documentations:

- Survey Plan
- Heritage Impact Assessment
- Basix Certificate
- Stormwater
- Waste Management Plan

Having regard to the applicable legislative framework, it is considered that the proposed work is consistent with the aims and objectives of the relevant environmental planning instruments and development control plan whilst being compatible with the emerging character of the locality and minimising any potential impacts on the amenity of the adjoining properties.

The proposal meets all statutory controls and planning guideline requirements, good dwelling design principles and is comparable to the adjacent dwellings, appropriate in the context of the streetscape character.



*Figure 1 47 Wolseley Street Haberfield – View from front boundary*

### 1.1 Section 149 Certificate

Section 149 certificate 20170913 dated 2017 10 19 stated:

- Part 4c - The land is within a "heritage conservation area under Ashfield LEP 2013;
- Part 11 - Development consent requires for demolitions;
- Part 12 - Minimum land size for dwelling 500m<sup>2</sup>; and
- Part 14 - Land subject to flood related control.

and clear the following of any planning requirements:

- Part 4b - Not a "critical habitat";
- Part 4d - Not a "heritage item" situated on the land;
- Part 4e - Not an item in the "State Heritage Register";
- Part 5 - Not under coastal protection;
- Part 6 - Not affected by mine subsidence;
- Part 7 - Not affected by road widening or road realignment,
- Part 8 - Not affected by council restricted risks and hazards;
- Part 9 - Not reserved for land acquisition;
- Part 10 - Contributions Plans not applicable;
- Part 13 - Land subject to tree preservation order not applicable;
- Part 15 - Not in bushfire prone land;
- Part 16 - Not subject to Property Vegetation Plan;
- Part 17 - Orders under Tree, none;
- Part 18 - Part 3A not applicable;
- Part 19, 20 and 21 - Site compatibility not applicable;
- Part 22 - Site verification certificate not available;
- Part 23 - No matters arising from Contaminated Land Management;
- Part 24 - Complying Development not applicable;
- Part 25 - Council not aware of loose fill asbestos;
- Part 26 and 27 - Land not bio-diversity certified; and
- Part 28 - No set aside area required for native vegetation.

### 1.2 Pre-Lodgement

Pre-lodgement meeting dated 30 April 2018 advised the following:

- The site is sited in the Haberfield Heritage Conservation Area under Ashfield LEP 2103, controlled in heritage terms by clause 6.5 .... And chapter E2 - Haberfield Heritage Conservation Area (HHCA), Ashfield 2016;
- ....maintain the single storey appearance of dwellings in the HHCA;
- 2 storey forms are largely available where the land slopes to the rear;
- Whilst dwelling is non-conforming, principles and controls in section 2 of chapter E2 apply;
- Council heritage advisor advised:
  - Classified as non-conforming house built post 1920s;

- Generally meets HCA controls, single storey with garage under due to natural land fall, low set, brick construction with hipped tile roof;
- An explicit 2-storey development would not be permitted;
- Any alterations to the shape, scale and materials of the building should respond to the original Haberfield
- Opportunity to incorporate an extension with an attic provided the extension does not compete with the scale and shape of the main roof and is not visible from the public domain;
- Attic windows to the front or sides not permitted;
- Modest size in-line skylight may be considered;
- Rear roof form should be lower than main roof.
- If additional space was required, it may take the form of a “room in a roof” or attic space;
- It will necessitate an increased roof pitch and the assessment of this approach will take into account whether this pitch and overall height will be appropriate to the dwelling and the broader roof forms of the HCA;
- DA to provide hourly winter equinox shadow diagrams in both plan and elevations prepared in line with PC13 – Solar Access ... differentiating between extant and new shadows
- 45 Wolseley is to the south and vulnerable to overshadowing;
- 50% of site to be landscaped in accordance with clause 6.5 of ALEP 2013;
- FSR 0.5:1, HoB 7m, 50% landscape area and 50% site coverage;
- Potential HoB encroachment over 7m to be justified;
- Stormwater connection proposal required;
- Proposed work is upper level extension, no further flood control documentation required;
- Section 94/94A Contributions requirement to be advised;
- BCA compliance required; and
- HIS, solar access diagrams, survey and materials finishes are required to support application.

These considerations are dealt with under the relevant statutory and non-statutory considerations.

### 1.3 Scope of Assessment

This Statement has been prepared pursuant to section 78A of the Environmental Planning and Assessment Act 1979 and clause 50 of the Environmental Planning and Assessment Regulation 2000.

The Statement provides an assessment of the development proposal having regard to the relevant legislative context, social economic and environmental impacts, potential amenity impacts of the development on the surrounding locality and the measures proposed within the application to mitigate such impacts.

The Statement details the proposed development’s compliance against applicable environmental planning instruments and development control plans including:



- Requirements of Section 79C(1) of the Act,
- Ashfield Local Environmental Plan 2013;
- Inner West Comprehensive Development Control Plan 2016; and
- Inner West Council planning policies.

**1.4 Authorship**

This assessment was carried out by FORM architects (aust) pty ltd for Salvatore Orti-Tullo and supports a development application to the Inner West Council for Demolitions, alterations and additions to the dwelling at 47 Wolseley Street Haberfield.

This document was written and edited by Min Chuah, architect and Surbjit Bhatti, urban planner. Diagrams and photographs used in this document were prepared by FORM architects (aust) pty ltd, unless identified otherwise.

**2 Site and Context**

47 Wolseley Street Haberfield is identified as Lot 93 on DP 4612 with an area of 992m<sup>2</sup>. The site falls under the jurisdiction of the Inner West Council and is zoned under R2 Low density residential, FSR 0.5:1 and HoB of 7m.



Figure 2 Site – Aerial and Locality

Table 1 Site Dimensions

Boundaries	Dimensions	Setback
North (Wolseley)	6.7m & 9.1m	17.9m
South (rear)	15.2m	20.8m
East (side)	63.9m	1.2m
West (side)	64.2m	1.0m
Site Area	992m <sup>2</sup>	
Site coverage	50%	

extant		
Site coverage proposed	50%	
Builtup area extant ) FSR	208m <sup>2</sup>	208/992=21%
Builtup area proposed   FSR	323m <sup>2</sup>	323/992=33%

47 Wolseley Street is situated in a local street, a rectangular plot of land with a bend to the front boundary. It has a northerly aspect to Iron Cove Creek and Timbrrell Park to the east. It is situated within the Haberfield Heritage Conservation Area.

There is little traffic noise from the local street, Wolseley. Classified road number 5, main highway Parramatta Road is 400m to the west of the site.

For detail references, survey plan prepared by Junek & Junek is attached in the Appendices.

### 3 Development Outline

The development application consists of demolitions of the extant roof and the construction of a new roof with higher pitch to accommodate additional habitable space in the attic.

This solution is consistent with the advice from pre-lodgement meeting held on 30 April 2018. The extant roof pitch is consistent with roofs built to lower pitch of 25° to 30° after the First World War. The proposed roof pitch of 35° is more consistent with the steeper roof pitch of the Federation period.

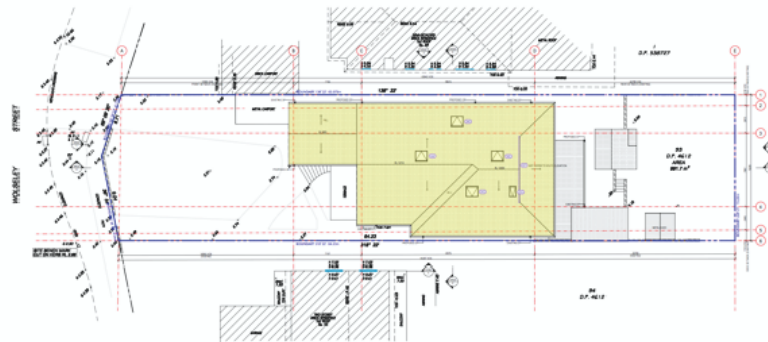


Figure 3 Roof plan

The overall roof footprint and form is being retained. Extant roof tiles will be reused and replacement roof tiles will be selected to match. No building extension or additional outbuilding are being proposed.

#### 4 Statutory Controls

The following compliance table schedule relevant controls outlined in the Ashfield Local Environmental Plan 2013, including the relevant appendices:

Table 2 Statutory Compliance Table

Ashfield LEP 2013	Comment	Compliance
<b>Part 2 Permitted or prohibited development</b>		
2.1 Land use zones	R2 Residential.	Yes.
2.2 Zoning of land to which Plan applies	Not applicable.	-
2.3 Zone objectives and Land Use Table	Not applicable.	-
2.4 Unzoned Land	Not applicable.	-
2.5 Additional permitted uses for particular land	Not applicable.	-
2.6 Subdivision – consent requirements	Not applicable.	-
2.7 Demolition requires development consent	Roof demolition requires for alteration to roof pitch.	Yes.
2.8 Temporary use of land	Not applicable.	Yes.
<b>Part 3 Exempt and complying development</b>	Not applicable.	-
<b>Part 4 Principal development standards</b>		
4.1 Minimum subdivision lot size	Not applicable.	-
4.2 Rural division	Not applicable.	-
4.3 Height of Buildings	Encroachment over 7m HoB, refer to 4.6 variation.	No.
4.4 Floor Space Ratio	FSR below 0.5:1.	Yes.
4.5 Calculation of Floor Space Ratio	Statement noted.	-
4.6 Exceptions to development standard	HoB encroachment.	-
<b>Part 5 Miscellaneous provision</b>		
5.1 Relevant acquisition authority	Not applicable	-
5.2 Classification and reclassification of public land	Not applicable	-
5.3 Development near zone boundaries	Not applicable	-
5.4 Controls relating to miscellaneous permissible uses	Not applicable	-
5.5 (Repealed)	-	-
5.6 Architectural roof features	Simple roof form as advised by council heritage advisor.	Yes.
5.7 Development below mean high water mark	Not applicable	-

5.8 Conversion of fire alarms	Not applicable	-
5.9 (Repealed)	-	-
5.10 Heritage Conservation	Chapter E2 HHCA.	Yes.
5.11 Bush fire hazard reduction	Not applicable	-
5.12 Infrastructure development and use of existing buildings of the Crown	Not applicable	-
5.13 Eco-tourist facilities	Not applicable	-
5.14 Siding Spring Observatory - maintaining dark sky	Not applicable	-
5.15 Defence communications facility	Not applicable	-
Part 6 Additional local provisions		
6.1 Acid sulphate soils	Permissible	Yes.
6.2 Flood planning	Upper level development, additional documentation not required.	Yes.
6.3 Development in areas subject to aircraft noise	Not applicable	-
6.4 Converting serviced apartments to residential flat buildings	Not applicable	-
6.5 Development on land in Haberfield Heritage Conservation Area	Application subject to Chapter E2 planning guidelines.	Yes.
6.6 Location of restricted premises and sex services premises	Not applicable.	-

4.1 4.6 Variation

For the purpose of this SEE submission, references to clauses of the ACT has not been updated.

The height of a building on any land is not to exceed the maximum height shown for the land on the "Heights of Buildings Map". The maximum shown for this site is 7m.

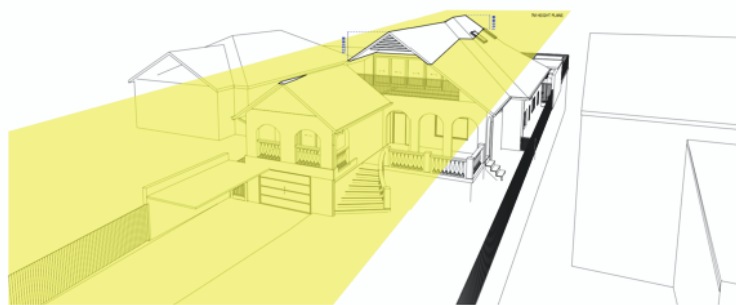


Figure 4 HoB Encroachment

The proposed development has a point encroachment at the ridge of the roof for approximately 1m as indicated in the figure above. The proposed variation to the height control is considered acceptable for the following reasons:

- The proposal presents a building roof form and pitch that is consistent with the Federation period;
- The proposal ridge line is consistent with adjoining buildings 45 and 49 Wolsley Street;
- The proposal height meets the objective of the height control in that articulation with adjoining buildings have been provided which negate the increased bulk of pitch change;
- The proposal do comply with site coverage and floor space ratio controls;
- As is indicated by the solar access study, the additional shadow will overshadow 1 window to the east wall of 45 Wolsley Steert by 1 hour on Winter solstice morning.

Having regard to the above, the proposed height and encroachment do not result in any detrimental impacts to surrounding properties and it is reasoned that the overall height is consistent with the period buildings in the conservation area.

### 5 Non-Statutory Controls

Comprehensive Inner West Development Control Plan 2016 Chapter E2 Haberfield Heritage Conservation Area supports the LEP by providing additional objectives and development standards for development within the area.

The following compliance table schedule relevant planning guidelines outlined in the council planning policies:

Table 3 Non-Statutory Compliance Table 1

Comprehensive Inner West DCP 2016	Comment	Compliance
E2 Haberfield Conservation Area		
Pattern of Development		
2.1 Description	<i>Statement noted.</i>	-
2.2 Significance	<i>Statement noted.</i>	-
2.3 Controls		
a) Subdivision of existing allotments would be detrimental to the heritage significance of the Garden Suburb and is not acceptable.	<i>No sub-division application.</i>	Yes.
b) Any new development (new building or extension to an existing building) shall produce site coverage similar in pattern and size to the site coverage established by the original	<i>Extant site coverage retained.</i>	Yes.

Comprehensive Inner West DCP 2016	Comment	Compliance
development of the suburb.		
c) No new structures are to be built forward of the existing building line. Car standing spaces with light shelters (carports) may be permitted where access is impossible to the rear of the house, and where such a structure is subservient to the existing dwelling house and does not intrude upon the house or onto the established streetscape.	<i>No additional new structure proposed.</i>	Yes.
<b>Building Form</b>		
2.4 Description	<i>Statement noted.</i>	-
2.5 Significance	<i>Statement noted.</i>	-
<b>2.6 Controls</b>		
a) Alterations to the original main part of a building (other than a non-conforming building), including front and side facades, verandahs and roof forms, are not permitted.	<i>Roof pitch elevated as agreed in pre-lodgement meeting.</i>	Yes
b) Where a building, other than a non-conforming building has undergone limited change, restoration and repair of the original front of the building is encouraged.	<i>Extant front elevation is retained, new roof provide for gable ends.</i>	Yes.
c) Where a building, other than a non-conforming building has suffered major alteration, reinstatement is encouraged. When no surviving physical or documentary evidence of the original can be found, reconstruction similar to the neighbouring or other original Haberfield houses is encouraged.	<i>Not applicable.</i>	-
d) Extensions shall not conceal, dominate or otherwise compete with the original shape, height, proportion and scale of the existing buildings.	<i>New roof pitch is consistent with Federation model.</i>	Yes.
e) Extensions are permitted only to the rear. In certain circumstances (where there is inadequate rear land) modest side extensions may be allowed where this does not alter or overwhelm the original front façade	<i>No rear or side extensions proposed.</i>	Yes.

Comprehensive Inner West DCP 2016	Comment	Compliance
or the presentation of the house from the street.		
f) Where extensions are involved, new roofs are to be lower than the main roof form with a maximum height considerably less than the principal ridge point.	<i>No proposed extension.</i>	Yes.
g) The overall length of any extension is to be less than, and secondary to, the original house.	<i>No proposed extension.</i>	Yes.
h) New roof shapes may include gables and gablets where these are related to shapes already present in the main roof, and where they are subordinate to the main roof shape. Dormer windows, Juliet balconies and similar protrusions will not be permitted.	<i>No dormer window or Juliet balcony proposed.</i>	Yes.
i) Attic rooms can be built within the main roof shape where they do not involve alteration of the roof shape. They are to be modest in scale and comprise one (1) of at the most two (2) rooms capable of habitation. Attic windows in the front or side faces of the main roof are not permitted.	<i>Proposed roof pitch is within guideline and roof form is not altered. A single room and living space with ensuite is proposed.</i>	Yes.
j) Rear extension containing an attic may be considered where the attic does not cause the extension to compete with the scale and shape of the main roof and is not visible from a public place.	<i>No rear extension proposed.</i>	Yes.
k) Where attics are permitted, their windows shall be located in rear gable ends or gablets. They shall be discreet in scale and appearance and cannot be visible from a public place. Where extensions to existing roofs are being undertaken, modest sized in-line skylights may be considered in the side and rear planes of the extension only, and limited to one such window per roof plane.	<i>Proposed window is located as prescribed.</i>	Yes.

Comprehensive Inner West DCP 2016	Comment	Compliance
l) Extensions shall not employ any major or prominent design elements that compete with the architectural features of the existing building.	<i>No special architectural element is proposed.</i>	Yes.
<b>Roof Forms</b>		
2.7 Description	<i>Statement noted.</i>	-
2.8 Significance	<i>Statement noted.</i>	-
2.9 Controls		
a) Since roof shapes are integral with building shape, this section should be read in conjunction with Clauses 2.4-2.6 of this Plan.	<i>Read 2.6 a-l.</i>	Yes.
b) Roof extensions are to relate sympathetically and subordinately to the original roof in shape, pitch, proportion and materials.	<i>Roof pitch altered, no roof extension proposed.</i>	Yes.
c) New buildings are to have roofs that reflect the size, mass, shape and pitch of the neighbouring original roofs.	<i>Not applicable.</i>	-
d) Roof extensions are to be considerably lower than the original roof and clearly differentiated between the original and the new section. (See Clause 2.6)	<i>Not applicable.</i>	-
e) Replacement roof materials are to match original materials or are to employ approved alternative materials. Suitable roof materials are: unglazed terra cotta Marseilles tiles; Welsh slate; approved fibrous cement tiles; and at the rear, corrugated non-reflective galvanised steel sheeting (painted or natural).	<i>Extant roof tiles will be reused.</i>	Yes.
f) Roof details such as finials, ridge capping, are to be maintained, repaired and reinstated where necessary.	<i>Extant roof do not contain finials or capping, none proposed for new roof.</i>	Yes.
<b>Siting, Setbacks and Levels</b>		
2.10 Description	<i>Statement noted.</i>	-
2.11 Significance	<i>Statement noted.</i>	-
2.12 Controls		
a) The established pattern of front and side setbacks should be kept.	<i>No alteration to setbacks.</i>	Yes.
b) New residential buildings or	<i>No new extension</i>	Yes.



Comprehensive Inner West DCP 2016	Comment	Compliance
extensions should not be built forward of existing front building lines.	proposed.	
c) Site coverage should be similar to the traditional pattern of development, leaving generous green garden space to the front and back areas.	Extant site coverage retained.	Yes.
d) There should be no substantial or visible difference between the main floor levels of adjacent houses unless natural ground levels require this.	No floor level being altered.	Yes.
e) Where natural land slope allows, sub-floor and basement development is permitted for use as laundries, storerooms, workrooms or garages.	No basement proposed.	Yes.
f) Where land slope or the existing plate height allows, split level development is permitted so long as the structure complies with Clauses 2.7 - 2.9 'Roof Forms' of this Plan, and does not result in visible of otherwise explicit two-storey development.	Not applicable.	-

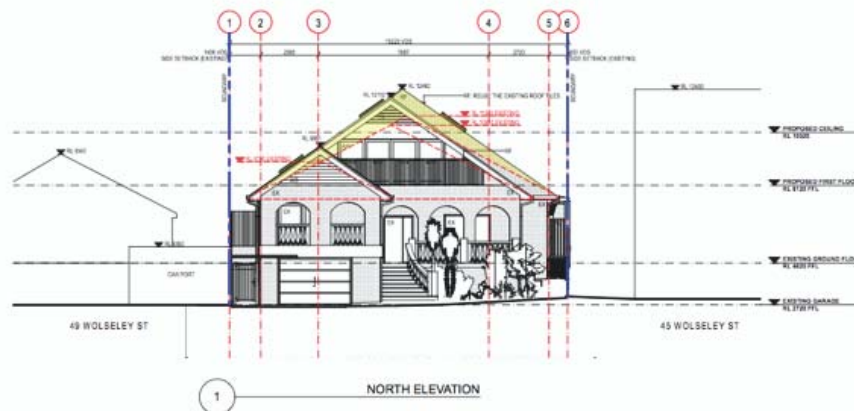


Figure 5 North Elevation



Figure 6 South Elevation

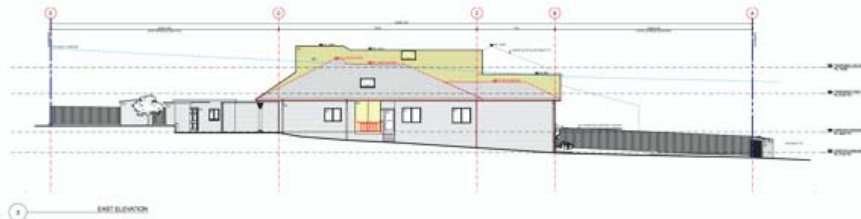


Figure 7 East Elevation



Figure 8 West Elevation

Table 4 Non-Statutory Compliance Table 2

Comprehensive Inner West DCP 2016	Comment	Compliance
<b>Walls</b>		
2.13 Description	Statement noted.	-
2.14 Significance	Statement noted.	-
2.15 Controls		

Comprehensive Inner West DCP 2016	Comment	Compliance
a) The original shape and materials of the front and side walls shall not be altered.	No change to external walls.	Yes.
b) The removal of the external skin or rendering of an exterior wall is not permitted, unless an essential part of approved reconstruction and authentic restoration works.	No change to external walls.	Yes.
c) Unpainted surfaces shall not be painted.	No change to extant face brickwork.	Yes.
d) In repairing the fabric of external walls, matching materials shall be used.	No repair required.	Yes.
e) Reconstruction of walls previously re-skinned is encouraged using machined smooth faced bricks similar in colour to those on original Haberfield houses.	None proposed.	Yes.
<b>Chimneys</b>		
2.16 Description	Statement noted.	-
2.17 Significance	Statement noted.	-
<b>2.18 Controls</b>		
a) Chimneys cannot be demolished, unless they are structurally unsound and only when followed by immediate reconstruction in the original design.	None extant.	-
b) All chimneys are to be retained internally and externally. Where necessary chimneys should be repaired even if the fireplace is no longer in use.	None extant.	-
c) Reconstruction of original chimneys is encouraged.	None extant.	-
<b>Joinery</b>		
2.19 Description	Statement noted.	-
2.20 Significance	Statement noted.	-
<b>2.21 Controls</b>		
a) Existing joinery is to be kept, maintained and repaired where necessary.	None extant.	-
b) Authentic reconstruction or reinstatement of missing joinery is encouraged.	None extant.	-
c) Timber detailing on extensions and	None extant.	-

Comprehensive Inner West DCP 2016	Comment	Compliance
alterations shall respect the existing detailing but avoid excessive copying and over embellishment. Simpler approaches are best.		
<b>Windows and Doors</b>		
2.22 Description	<i>Statement noted.</i>	-
2.23 Significance	<i>Statement noted.</i>	-
2.24 Controls		
a) Original doors and windows are to be kept, maintained and repaired when necessary. Where necessary authentic reconstruction is encouraged.	<i>None extant.</i>	-
b) Original leadlight and coloured glass panes are to be kept and restored, matched or reconstructed where necessary.	<i>None extant.</i>	-
c) The size and style of new doors and windows should reflect the relative importance of the room to which they belong.	<i>New openings are designed to planning guidelines.</i>	Yes.
d) New doors and windows are to reflect the proportion, location, size, sill heights, header treatment, materials, detailing and glazing pattern of the original doors and windows on the house to which they belong.	<i>New openings are designed to planning guidelines.</i>	Yes.
e) If no indication of original treatment is available, new doors or windows should be vertical and be kept simple.	<i>New openings are designed to planning guidelines.</i>	Yes.
<b>Window Sunhoods, Blinds and Awnings</b>		
2.25 Description	<i>Statement noted.</i>	-
2.26 Significance	<i>Statement noted.</i>	-
2.27 Controls		
a) Original sunhoods, blinds and awnings are to be retained and repaired when necessary.	<i>None extant.</i>	-
b) Authentic restoration, reinstatement or reproduction is encouraged, based on evidence on the house itself, or on photos.	<i>None extant.</i>	-
c) Modern-style security grilles, roll-up metal screens, metal window	<i>None proposed.</i>	-

Comprehensive Inner West DCP 2016	Comment	Compliance
awnings, and non-characteristic shade treatments are not acceptable on the exterior of Haberfield cottages.		
<b>Verandahs</b>		
2.28 Description	<i>Statement noted.</i>	-
2.29 Significance	<i>Statement noted.</i>	-
2.30 Controls		
a) Existing original verandahs are to be kept and repaired or reinstated where necessary.	<i>None extant.</i>	-
b) Removal, or infill of verandahs visible from a public place is not permitted.	<i>None proposed.</i>	-
c) Verandah additions are to be simple in design and are not to compete with the importance of the original verandah. New rear verandahs are to be generally simpler than the front main verandahs, and not to challenge the street presentation of the house.	<i>None proposed.</i>	-
d) The design of any new house shall take into account the architectural significance and design techniques of verandahs as used in Haberfield.	<i>None proposed.</i>	-
e) Authentic reconstruction of verandahs is encouraged.	<i>None proposed.</i>	-
<b>Garages and Carports</b>		
2.31 Description	<i>Statement noted.</i>	-
2.32 Significance	<i>Statement noted.</i>	-
2.33 Controls		
a) The retention, repair and reconstruction of significantly early garages, carports and sheds is encouraged.	<i>None proposed.</i>	-
b) New garages and carports are to be located at the back or at the side of the house.	<i>None proposed.</i>	-
c) Where a garage or carport is at the side of the house it must be at least 1 metre back from the front wall of the house.	<i>Extant garage.</i>	Yes.
d) Carports but not garages forward of the building line may be permitted	<i>Extant garage behind building line.</i>	Yes.

Comprehensive Inner West DCP 2016	Comment	Compliance
only in circumstances where access is not available to the rear.		
e) Garages and carports shall be of simple utilitarian design. They shall not challenge the mass or bulk of the individual house.	<i>Extant garage.</i>	-
f) Garages and carports are to be free standing.	<i>Extant garage attached to dwelling.</i>	-
g) Attached garages which form part of a basement level (as outlined in this Plan), at the rear of the house and not visible from a public place, may be considered, but only where they would not conflict with other considerations in this Plan.	<i>Not relevant.</i>	-
<b>Garden Sheds/Store Sheds, etc</b>		
2.34 Description	<i>Statement noted.</i>	-
2.35 Significance	<i>Statement noted.</i>	-
2.36 Controls		
a) The retention, repair and reconstruction of significant early garden sheds and outhouses is encouraged.	<i>None proposed.</i>	-
b) New outbuildings shall be located at the rear of the allotment.	<i>None proposed.</i>	-
c) New outbuilding shall be sited to minimise visibility from the street and from neighbouring properties.	<i>None proposed.</i>	-
d) New garden sheds, store sheds, and similar outbuildings shall be subordinate to the main house. They shall not challenge the shape, size, form or decoration.	<i>None proposed.</i>	-
e) The floor plan for new outbuildings shall be simple, not complex.	<i>None proposed.</i>	-
f) The roof form of new outbuildings shall be simple and practical in scale. The pitch shall be lower than the roof pitch of the house and shall use skillion, hip or gable forms. Storerooms and outhouses attached to the main house or garage are encouraged where lean-to skillion roofs can shelter them.	<i>Alteration to roof pitch designed in line with planning guidelines.</i>	Yes.
g) Construction materials shall be brick,	<i>Extant roof tiles to be</i>	Yes.

Comprehensive Inner West DCP 2016	Comment	Compliance
weatherboard or fibro with cover battens. Roofs shall be of terra cotta Marseilles tiles or corrugated metal. Kit garden sheds of metal construction are acceptable subject to screening from the street or a public place.	<i>reused, replacement roof tiles to match extant.</i>	
h) Windows to outbuildings shall be of vertical proportions and shall be timber-framed.	<i>None proposed.</i>	-
i) Merging outbuildings into the landscape by use of planting and screen elements is encouraged.	<i>None proposed.</i>	-
<b>Colour Schemes</b>		
2.37 Description	<i>Statement noted.</i>	-
2.38 Significance	<i>Statement noted.</i>	-
<b>2.39 Controls</b>		
a) Paint shall not be applied to any brickwork, stonework, exposed bricks on chimneys, terra cotta chimneypots, tessellated or glazed tiling, slate verandah edging and steps.	<i>None proposed.</i>	-
b) New exterior brickwork is to remain unpainted.	<i>None proposed.</i>	-
c) On an existing house Council encourages owners to identify and use the original colour scheme.	<i>Proposed colour schedule is in line with planning guidelines.</i>	Yes.
d) On an existing house, where the original colour scheme or traditional colour scheme is not to be used, the scheme should be simple, consisting of one or two lighter tones and a darker colour for contrast. A trim colour may be used.	<i>Not relevant.</i>	-
e) New buildings should use colours that harmonise with the traditional colour schemes.	<i>Not relevant.</i>	-
<b>Fences and Gates</b>		
2.40 Description	<i>Statement noted.</i>	-
2.41 Significance	<i>Statement noted.</i>	-
<b>2.42 Controls</b>		
a) Original front fences and gates are to be kept and repaired.	<i>Extant remodelled brick fence being retained.</i>	-
b) Reconstruction of lost fences to their	<i>None proposed.</i>	-

Comprehensive Inner West DCP 2016	Comment	Compliance
early design and detail is encouraged. It needs to be based on documentary evidence (photographs, descriptions). Demolition should only be permitted where accurate reconstruction is to occur immediately.		
c) New front fences which are not reconstructions of an earlier fence should be simple in design and decoration and fit in with the design of traditional fences in Haberfield.	<i>Extant remodelled brick fence being retained.</i>	-
d) New front fences of timber are encouraged. They should be between 1m to 1.4m in height. The timber should be painted and in an appropriate colour (see Clause 2.37 'Colour Scheme' of this Plan).	<i>Not applicable</i>	-
e) High brick fences on front alignments are not permitted in Haberfield.	<i>Not applicable</i>	-
f) Materials and designs inappropriate to the age of the house or to the character of Haberfield Conservation Area will not be considered.	<i>Not applicable</i>	-
g) Brick dividing fences are not permitted unless there are overriding environmental, safety or fire separation reasons for such use.	<i>Not applicable</i>	-
h) Unobtrusive swimming pool safety fencing will be considered at the rear of properties, where it is not visible from a public place.	<i>Not applicable</i>	-
<b>Garden Elements, Including Paving, Driveways, Pergolas and Pools</b>		
2.43 Description	<i>Statement noted.</i>	-
2.44 Significance	<i>Statement noted.</i>	-
2.45 Controls		
a) The surviving original garden elements in Haberfield are to be kept and repaired where necessary.	<i>Not applicable</i>	-
b) Reconstruction of lost garden elements is encouraged where it can be based on documentary evidence (photos, plans).	<i>Not applicable</i>	-
c) Paving, hard surfacing and	<i>Not applicable</i>	-



Comprehensive Inner West DCP 2016	Comment	Compliance
secondary outbuildings shall be kept to an absolute minimum on individual sites.		
d) Materials for front path shall be only tessellated tiles or smooth-textured red-tinted concrete.	<i>Not applicable</i>	-
e) Driveways shall consist of two (2) strips of hard surface paving with grass, garden or gravel in between.	<i>Not applicable</i>	-
f) Concrete paving for driveway strips is to be natural off-white, pale grey or have a red-tinted finish. Bright white concrete is not permitted.	<i>Not applicable</i>	-
g) Swimming pools shall be at the rear of the property, and shall be small enough to retain an adequate garden setting.	<i>Not applicable.</i>	-
<b>Treatment of Non-Conforming Houses</b>		
2.46 Description	<i>Statement noted.</i>	-
2.47 Controls		
a) Any alterations and additions to the shape, scale and materials of non-conforming houses should respond to the form of surrounding original dwellings.	<i>Not applicable.</i>	-
<b>Section 3 – Planning Measures for Commercial Properties</b>	<i>Not applicable.</i>	-
<b>Section 4 - Miscellaneous</b>	<i>Not applicable</i>	-
<b>Modern Technological Developments</b>		
4.1 Significance	<i>Statement noted.</i>	-
4.2 Controls		
a) Solar collector/photovoltaic panels should be installed on the roof cladding and at the same pitch. They are to be of modest size and not visible from the street.	<i>None proposed.</i>	-
b) Hot water tanks should not be located externally on the roof but be within the roof space or within the building envelope.	<i>None proposed.</i>	-
c) Rainwater tanks are to be located at the rear of the dwelling and/or suitably screened. They should not be obvious from the street. They are to be painted a dark colour.	<i>None proposed.</i>	-

Comprehensive Inner West DCP 2016	Comment	Compliance
d) Other modern technologies should have similar regard to their siting, such as satellite dishes and microwave receivers. They should not be visible from a public place nor loom large in the vistas gained from neighbouring properties.	None proposed.	-
Dual Occupancy	Not applicable.	-

6 Design principles

The demolitions, alterations and additions will adopt similar terra cotta roof tiles that matches extant and the overall building form is not altered with the exception of the roof pitch.

The new roof is designed to match in with the extant and produce minimal shadow impact on the subject site and adjoining properties. To this end the solar access study show that additional shadow will only affect the 1 window for 1 hour on the east wall of 45 Wolseley Street.

The new built is supported by Basix ABSA certificate that satisfy minimum energy efficiency standards.

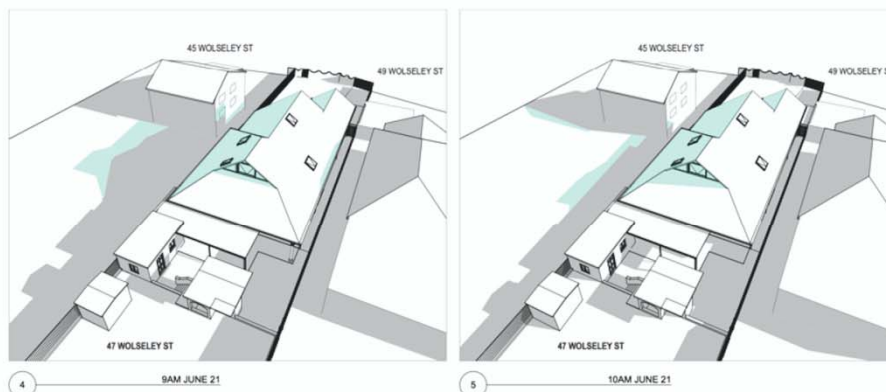


Figure 9 Winter solstice 9am overshadows 1 window for 1 hour

7 Conclusion

The proposal is a development under the terms of the Environmental Planning and Assessment Act 1979 and has been assessed against the requirements of Section 79C(1)

of the Act, the Ashfield Local Environmental Plan 2013 and the Inner West Comprehensive Development Control Plan 2016.

Careful consideration has been given to the location, size and design of the proposed replacement of the roof form and front fence to ensure that a high-quality outcome will be achieved, which is consistent with the historic and future character of the area. The development is appropriate and sympathetic to the existing building and streetscape characteristics.

The proposal complies with all statutory controls and planning guide lines and will not have a detrimental impact on the subject site, adjoining properties, the surrounding areas or the character of the precinct.

It is therefore recommended that the application for Demolition, alterations and additions to 47 Wolseley Street Haberfield is considered to be of merit and worthy of Council's support.



FORM architects (aust) pty ltd  
Ron Edgar B Arch FRAIA  
Architect & Heritage Consultant  
Nominated Architect nswarb no.5022

## Appendices

## Appendix 1 – Architectural Drawings

Phase	Reference	Drawing	Revision	Date
DA	AR00-01	Cover Page	A	20180531
DA	AR03-01	Analysis Site Context Locality	A	20180531
DA	AR03-02	Analysis Site Envelope Control	A	20180521
DA	AR10-01	Site Plan	A	20180521
DA	AR20-01	General Arrangement Basement		
DA	AR20-02	General Arrangement Ground Floor	A	20180531
DA	AR20-03	General Arrangement First Floor	A	20180531
DA	AR20-04	General Arrangement Roof	A	20180531
DA	AR30-01	Sections 3 & C	A	20180531
DA	AR40-01	Elevations North & South	A	20180531
DA	AR40-01	Elevations East & West	A	20180531