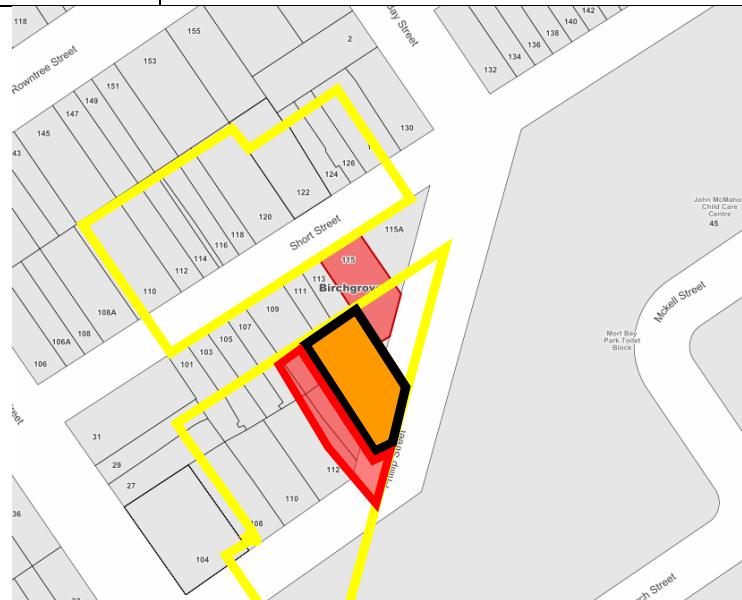








DEVELOPMENT ASSESSMENT PANEL REPORT

Application No.	MOD/2023/0336
Address	115 Short Street BIRCHGROVE NSW 2041
Proposal	Section 4.56 modification of Determination No DA/2021/0841 which approved a new dwelling, carport and associated works, with this proposal seeking to enclose the carport to form a garage
Date of Lodgement	10 October 2023
Applicant	SJB Planning
Owner	Ms Belinda J Ainsworth
Number of Submissions	Two (2)
Cost of works	\$1,300,000.00
Reason for determination at Planning Panel	Floor Space Ratio variation exceeds 10%
Main Issues	Variation to Floor Space Ratio development standard
Recommendation	Approved with Conditions
Attachment A	Recommended conditions of consent to be amended
Attachment B	Plans of proposed development
Attachment C	Conditions of Development Consent – DA/2021/0841
Attachment D	Stamped Approved Plans – DA/2021/0841



LOCALITY MAP

Subject Site		Objectors		↑ N
Notified Area		Supporters		

1. Executive Summary

This report is an assessment of the application submitted to Council under Section 4.56 of the *Environmental Planning and Assessment Act 1979* to modify Determination No DA/2021/0841 dated 4 August 2022 which approved a new dwelling, carport and associated works, and this modification now seeks to enclose the carport to form to a garage at 115 Short Street Birchgrove.

The application was notified to surrounding properties and two (2) submissions were received in response to the initial notification.

The main issues that have arisen from the application include:

- Non-compliance with the Floor Space Ratio (FSR) development standard.

The non-compliance is considered acceptable as the increase in FSR is contained within the approved building envelope under DA/2021/0841 and does not result in any undue or adverse streetscape or amenity impacts, and therefore, the application is recommended for approval.

2. Proposal

The proposed development seeks consent for the following component:

- Conversion of the approved carport under DA/2021/0841 to a garage with a gravel roof; and
- Amendment of the approved concrete finished wall on the western elevation to a face brick finish.

3. Site Description

The subject site is located on the southern side of Short Street at the intersection of Short and Bay Street. The site area is approximately 228.6sqm and is legally described as Lot 1 in DP 543492. The site is irregular in shape, with an approximate frontage of 10.3m to Short Street and a splayed secondary frontage of approximately 9.8m to Bay Street.

The site is currently under construction in accordance with DA/2021/0841 and CCP/2023/0416. Adjoining the site to the south-west is a pair of 2 and 3 storey terraces. Adjoining the site to north-east is a vacant lot zoned for public recreation, located on the corner of Short and Bay Street.

The subject site is not listed as a heritage item; however, it is located within a Heritage Conservation Area. The closest heritage item in the vicinity is Heritage Item I523 at 31 Cameron Street (on the corner of Short and Cameron Streets).

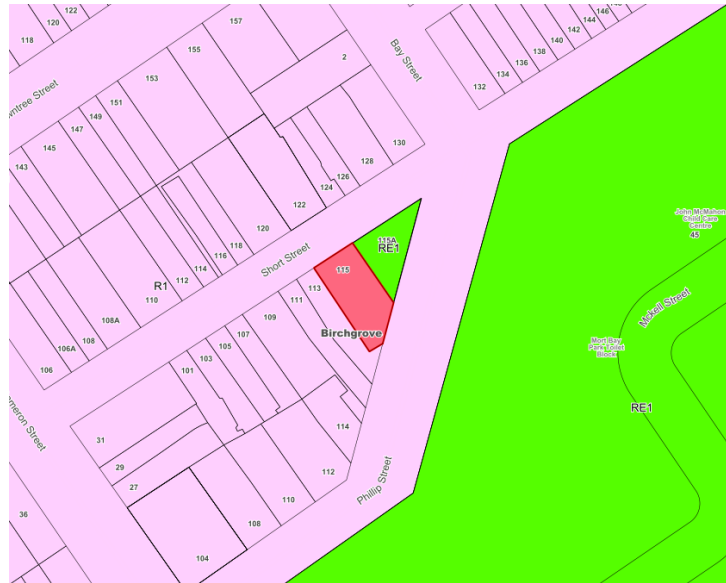


Figure 1: Zoning Map with subject site in red



Figure 2 : Site Photo

4. Background

Site history

The following application outlines the relevant development history of the subject site and any relevant applications on surrounding properties.

Subject Site

Application	Proposal	Decision & Date
CCP/2023/0416	Construction Certificate – DA/2021/0841	25/07/2023 Completed
DA/2021/0841	Demolition of existing dwelling and construction of a new multi level dwelling, carport to rear and associated works, including tree removal.	04/08/2022 Consent Order with Amended Plans – COURT
DA/2020/0375	Demolition of existing dwelling and construction of a new multi level dwelling with parking at rear and associated works.	10/11/2020 Refused (IWLPP)
PREDA/2019/181	Demolition and construction of a new three level dwelling-house, and associated works, including associated parking and tree removal.	05/12/2019 Issued
PREDA/2012/49	Alterations and addition to existing dwelling including addition of second storey.	25/05/2012 Issued

Surrounding Properties

No recent relevant history.

5. Section 4.56 Modification of Consent

The following is a summary of the assessment of the application in accordance with Section 4.56 of the *Environmental Planning and Assessment Act 1979 (EPA Act 1979)*.

Section 4.56

Section 4.56 of the *EPA Act 1979* allows a consent authority to modify a development consent granted by it, if:

- (a) *it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all), and*

Comment: In considering whether the development as modified is substantially the same as that for which consent was originally granted, an assessment against relevant case law has been undertaken, with particular regard to *Moto Projects (No 2) v North Sydney Council [1999] NSWLEC 280*, which deals with taking both a qualitative and quantitative approach to addressing the 'substantially the same' test of Section 4.56. The proposed modifications will result in a development that is substantially the same development as the originally approved development. The built form and appearance remains largely the same, the conversion of the carport to garage and change in finish from concrete to face brick is within the scope of the previous application and is considered acceptable in this regard.

- (b) *it has notified the application in accordance with—*
- (i) *the regulations, if the regulations so require, and*
 - (ii) *a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and*

Comment: The application was notified in accordance with the above and Council's Community Engagement Strategy.

- (c) *it has notified, or made reasonable attempts to notify, each person who made a submission in respect of the relevant development application of the proposed modification by sending written notice to the last address known to the consent authority of the objector or other person, and*

Comment / Assessment: The application was notified to persons who made a submission against the original application in accordance with the above as well as in line with Council's Community Engagement Strategy.

- (d) *it has considered any submissions made concerning the proposed modification within any period prescribed by the regulations or provided by the development control plan, as the case may be.*

Comment: Two submissions were received which are discussed in detail later in this report.

6. Assessment

The following is a summary of the assessment of the application in accordance with Section 4.15 of the *Environmental Planning and Assessment Act 1979 (EPA Act 1979)*.

A. Environmental Planning Instruments

The application has been assessed and the following provides a summary of the relevant Environmental Planning Instruments to this modification.

Inner West Local Environmental Plan 2022 (IWLEP 2022)

The application was assessed against the following relevant sections of the *IWLEP 2022*.

Part 4 – Principal Development Standards

Section	Proposed	Compliance
Section 4.3C (3)(a) Landscaped Area	No changes from the previously approved under DA/2021/0841	No change
Section 4.3C (3)(b) Site Coverage		
Section 4.4 Floor Space Ratio	Maximum	0.9:1 or 205.74sqm
	Proposed	1.03:1 or 235.48sqm
	Variation	29.74sqm or 14.46%
Section 4.5 Calculation of Floor Space Ratio and Site Area	The Site Area and Floor Space Ratio for the proposal has been calculated in accordance with the section.	Yes

Section	Proposed	Compliance
Section 4.6 Exceptions to Development Standards	<p>The proposed modification is not required to formally submit a written request to vary a development standard having regard to the decision within <i>North Sydney Council v Michael Standley & Associates Pty Ltd</i> [1998] NSWSC 163 that states that Section 96 (now Section 4.55) is a:</p> <p><i>'free-standing provision', meaning that "a modification application may be approved notwithstanding the development would be in breach of an applicable development standard were it the subject of an original development application.</i></p> <p>Notwithstanding, the assessment principles and considerations set out in Section 4.6 of <i>IWLEP 2022</i> are applied as guidance, which is discussed below this table.</p>	See discussion below

Section 4.6 – Exceptions to Development Standards

As outlined in table above, the proposal results in a breach of the following development standards:

- Section 4.4 – Floor Space Ratio

The objectives of the Floor Space Ratio development standard are as follows:

- To establish a maximum floor space ratio to enable appropriate development density;
- To ensure development density reflects its locality;
- To provide an appropriate transition between development of different densities;
- To minimise adverse impacts on local amenity; and
- To increase the tree canopy and to protect the use and enjoyment of private properties and the public domain.

The applicant seeks a variation to the Floor Space Ratio (FSR) development standard prescribed under Section 4.4 of the *IWLEP 2022*.

The Land and Environment Court has established that SEPP 1 cannot be used at Section 4.55 / Section 4.56 stage, as SEPP 1 expressly only applies 'where a development application is made', not when a modification application is made. The same would apply to Clause 4.6 variations, which expressly only regulates whether 'development consent' may be granted, not whether an existing consent may be modified. As such, a Clause 4.6 variation has no application to Section 4.55 / Section 4.56 modifications.

Notwithstanding, the variation to the FSR development standard is supported for the following reasons:

- The lack of any undue adverse amenity impacts on adjoining properties;
- The proposal is consistent with the zone objectives as the development density reflects its locality and the proposal has minimal impact on local amenity; and
- The modified proposal will be consistent with the objectives of the Floor Space Ratio development standard for the following reasons:
 - The development provides for an appropriate development density in light of the site constraints (i.e small lot area and HCA) which is reflective of that in the locality.

- The numerical departure does not contribute to any undue adverse bulk and scale and amenity impacts to neighbouring properties, with particular regard for solar access, view sharing, visual and acoustic privacy.
- The proposal will not remove any existing canopy trees or significant vegetation to accommodate the amendments.
- The proposed development does not detract from the desired character of the distinctive neighbourhood.
- The proposed development, as reinforced by condition, will result in acceptable streetscape impacts.

Part 5 – Miscellaneous Provisions

Section	Compliance	Compliance
<p>Section 5.10 Heritage Conservation</p>	<p>The subject property at 115 Short Street, Birchgrove is a contributory dwelling located within the Town of Waterview Heritage Conservation Area (C31 in Schedule 5 of the <i>IWLEP 2022</i>).</p> <p>As previously noted, the proposal includes the following changes:</p> <ul style="list-style-type: none"> • Conversion of the approved carport to a garage with a gravel roof; and • Amend all concrete finished walls to face brick. <p>The proposed changes have been considered against the relevant streetscape and heritage controls of the <i>IWLEP 2022</i> and Leichhardt Development Control Plan 2013 (LDCP 2013), including inter-alia:</p> <ul style="list-style-type: none"> • This part of the LEP; • The following Sections of the LDCP 2013: <ul style="list-style-type: none"> ○ Part C1.4: <i>Heritage Conservation Areas and Heritage Items</i>; ○ Part C1.5: <i>Corner Sites</i>; ○ Part C2.2.2.5: <i>Mort Bay Distinctive Neighbourhood</i>; ○ Part C2.2.2.5(c): <i>Upper Slopes Sub Area</i>; and <p>The modification to convert the approved carport under to a garage is generally acceptable from a heritage perspective because it is within the approved envelope of the approved carport. It is the same height as the carport and the proposed roof form is smaller than that approved for the carport.</p> <p>However, the render paint in “Dark Bronze” for the proposed garage is not supported as this is not a complementary colour in the streetscape. Materials, finishes, textures and colours must be complementary to the colour schemes of contributory dwellings within the streetscape. Reflective wall cladding is not acceptable, and light, warm, earthy tones are to be used. Greys and blacks are not acceptable and should be avoided.</p> <p>In order to address the above concerns, the following design change condition is recommended to be added as a condition of consent:</p> <p>X. Design Change</p>	<p>Yes, as conditioned</p>

Section	Compliance	Compliance
	<p>Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans demonstrating the following:</p> <p><i>X. The dark bronze rendered paint to the external walls of the garage in the Revised Finishes Schedule (PR01) must be replaced with "Selected off white brick OR concrete finish with brick pattern" (BR01) or "Brick, Off White" (BR02), as approved by the Court in the Finishes Schedule.</i></p> <p>Subject to the above design change condition, the roof form, proportions to openings and finishes and materials and the overall form, scale and general design and appearance of the works, will be compatible with, and will not detract from the approved dwelling house or the streetscape.</p> <p>In summary, the new dwelling and associated works, as modified and as conditioned, will be of a siting, form, size, scale, design, appearance and detail that will be compatible with the streetscape and Heritage Conservation Area, and will satisfy the relevant streetscape and heritage controls of this part of the LEP and those contained in the LDCP 2013.</p>	

Part 6 – Additional Local Provisions

Section	Proposed	Compliance
Section 6.1 Acid Sulfate Soils	The site is identified as containing Class 5 acid sulfate soils. The proposal is considered to adequately satisfy this section as the application does not propose any works that would result in any significant adverse impacts to the watertable.	Yes
Section 6.2 Earthworks	No change to the approved earthworks proposed under DA/2021/0841.	Yes
Section 6.3 Stormwater Management	Standard conditions relating to stormwater management during construction were imposed on the original consent and will remain in force as part of any consent granted.	Yes

B. Development Control Plans

Summary

The application has been assessed and the following provides a summary of the relevant provisions of Leichhardt Development Control Plan 2013 (LDCP 2013).

LDCP2013	Compliance
Part A: Introductions	
Section 3 – Notification of Applications	Yes
Part B: Connections	
B1.1 Connections – Objectives	Yes
Part C	

C1.0 General Provisions	Yes
C1.1 Site and Context Analysis	Yes
C1.4 Heritage Conservation Areas and Heritage Items	Yes, as conditioned
C1.5 Corner Sites	Yes
C1.11 Parking	Yes
C1.12 Landscaping	Yes
C1.14 Tree Management	Yes
Part C: Place – Section 2 Urban Character	
C2.2.2.5 – Mort Bay Distinctive Neighbourhood C2.2.2.5(c) – Upper Slopes Sub Area	Yes
Part C: Place – Section 3 – Residential Provisions	
C3.1 Residential General Provisions	Yes, as conditioned
C3.2 Site Layout and Building Design	Yes
C3.3 Elevation and Materials	Yes, as conditioned
C3.8 Private Open Space	Yes
C3.9 Solar Access	Yes
C3.10 Views	Yes
C3.11 Visual Privacy	Yes
C3.12 Acoustic Privacy	Yes
Part D: Energy	
Section 1 – Energy Management	Yes
Section 2 – Resource Recovery and Waste Management	
D2.1 General Requirements	Yes
D2.2 Demolition and Construction of All Development	Yes
D2.3 Residential Development	Yes
Part E: Water	
Section 1 – Sustainable Water and Risk Management	
E1.1 Approvals Process and Reports Required With Development Applications	Yes
E1.1.1 Water Management Statement	Yes
E1.1.2 Integrated Water Cycle Plan	Yes
E1.1.3 Stormwater Drainage Concept Plan	Yes
E1.2 Water Management	Yes
E1.2.1 Water Conservation	Yes
E1.2.2 Managing Stormwater within the Site	Yes

The following provides discussion of the relevant issues:

Leichhardt Development Control Plan 2013 (LDCP 2013)

The application was assessed against the following relevant parts of the LDCP 2013.

Part B – Connections

Control	Proposed / Discussion	Compliance
B1.1 Connections - Objectives	The proposed modifications will not alter the key strategic objectives of this Part of the DCP.	Yes

Part C – Section 1 – General Provisions

Control	Proposed / Discussion	Compliance
C1.1 Site and Context Analysis	The development is well designed and appropriately considers context, scale, built form, density and resource, energy and water efficiency, streetscape, travel networks and connections, social dimensions, and aesthetics.	Yes
C1.4 Heritage Conservation Areas and Heritage Items	For reasons discussed in this report, the proposed modifications, as conditioned, will not detract from the heritage significance of the site or the HCA and will result in acceptable amenity outcomes and impacts on adjoining properties.	Yes, as conditioned
C1.5 Corner Sites	The proposed modifications raise no issues that will be contrary to the provisions and objectives of this part of the DCP.	Yes
C1.11 Parking	Council’s Engineer has recommended a condition with regard to the design of the vehicular access and off-street parking facilities, which will be imposed on any consent granted.	Yes, as conditioned
C1.12 Landscaping & C1.14 Tree Management	The proposal will not change the Landscaped Area approved under DA/2021/0841 and will not adversely impact on existing prescribed trees.	Yes

Part C – Section 2 – Urban Character

Control	Proposed / Discussion	Compliance
C2.2.2.5 Mort Bay Distinctive Neighbourho od C2.2.2.5(c) – Upper Slopes Sub Area	The proposed works will not breach the approved building envelope under DA/2021/0841, and as reinforced by conditions, remains sympathetic to the pattern of development in the locality and preserves conservation values when viewed from the street.	Yes, as conditioned

Part C – Section 3 – Residential Provisions

Control	Proposed / Discussion	Compliance
C3.1 Residential General Provisions	The development, as modified and as conditioned, will result in acceptable streetscape, and on-site and off-site amenity outcomes and impacts, and will remain respectful of the existing dwelling and pattern of development in the street and wider area.	Yes, as conditioned
C3.2 Site Layout and Building Design	The dwelling house modifications will not alter the siting, side wall heights and setbacks, and / or front and rear building line locations of the approved dwelling house under DA/2021/0841. Further, the proposed enclosure of the carport to form a garage will be compliant with the Side Boundary Setbacks Graph prescribed in this part of the DCP to the western boundary shared with No. 113 Short Street.	Yes
C3.3 Elevation and Materials	Roof forms, the shape and proportions to openings, and finishes and materials, as modified and as conditioned (see Heritage Conservation assessment previously in this report), will remain compatible with the existing dwelling house and the approved development under DA/2021/0841.	Yes, as conditioned
C3.8 Private Open Space	The proposal does not alter the dimension and area of, or access arrangements to, the approved Private Open Space to the subject dwelling house.	Yes
3.9 Solar Access	The proposal will have no implications in terms of solar access to the subject site, nor additionally overshadow any adjoining living room windows and / or private open space contrary to the Solar Access controls prescribed in this part of the DCP. Given the above, the proposal raises no issues that will be contrary to the provisions and objectives of this part of the DCP.	Yes
C3.10 Views	There will be no view loss implications that will arise as a result of the proposed changes.	Yes
C3.11 Visual Privacy	The proposal will not exacerbate, nor result in, any undue adverse view lines, into the windows or rear POS of any adjoining properties, and hence, raises no issues that will be contrary to the provisions and objectives of this part of the DCP.	Yes
C3.12 Acoustic Privacy	There will be no acoustic privacy implications that will arise as a result of the proposal.	Yes

C. The Likely Impacts

These matters have been considered as part of the assessment of the development application. It is considered that the proposed development will not have significant adverse environmental, social or economic impacts upon the locality.

D. The Suitability of the Site for the Development

The proposal is of a nature in keeping with the overall function of the site. The premises are in a residential surrounding and amongst similar uses to that proposed.

E. Submissions

The application was notified in accordance with Council’s Community Engagement Strategy between 25 October 2023 to 13 November 2023.

A total of two (2) submissions were received in response to the initial notification.

Further issues raised in the submissions received are discussed below:

Concern	Comment
Obstruction to stormwater overland flow paths	The proposed modifications do not result in any further obstruction of overland flow paths, and subject to standard conditions as recommended by Council’s Engineers under DA/2021/0841 which will remain in force as part of any consent granted, is satisfactory with regard to site drainage and stormwater control considerations.
Increased GFA, height and bulk, and building footprint as a result of enclosing the carport to form a garage	<p>As noted previously in this report, a variation to the Floor Space Ratio (FSR) development standard under Section 4.4 of the <i>IWLEP 2022</i> is supported for the following reasons:</p> <ul style="list-style-type: none"> • The lack of any undue adverse amenity impacts on adjoining properties; • The proposal is consistent with the zone objectives (see Section 2.3 above); and • The modified proposal will be consistent with the objectives of the Floor Space Ratio development standard. <p>In addition, the proposal will not alter the siting, side wall heights and setbacks, and / or front and rear building line locations of the approved dwelling house under DA/2021/0841, and the garage will have the same height and building envelope as the approved carport and will comply with the side boundary setback control to the western boundary shared with No. 113 Short Street.</p>
Adverse streetscape impacts from the proposed changes to appearance	As noted previously in this report, the proposal modifications, as conditioned, will be of a siting, form, size, scale, design, appearance and detail that will be compatible with, and / or will not detract from the existing dwelling house, the streetscape, Heritage Conservation Area, and will satisfy the relevant streetscape and heritage controls of this part of the LEP and those contained in the LDCP 2013.
Notification of the subject MOD made by post being not fully accessible	The subject application was notified in accordance with the requirements of the <i>EP and A Act 1979</i> and Council’s Community Engagement Strategy.

F. The Public Interest

The public interest is best served by the consistent application of the requirements of the relevant Environmental Planning Instruments, and by Council ensuring that any adverse effects on the surrounding area and the environment are appropriately managed.

This has been achieved in this instance.

7. Section 7.11 / 7.12 Contributions

The proposed modifications would not trigger any changes to the contributions as they appear on the current consent.

8. Referrals

The following internal referrals were made, and their comments have been considered as part of the above assessment:

- Heritage Specialist – Acceptable, subject to a recommended additional condition – see the *IWLEP 2022 - Heritage Conservation* previously in this report for further details.
- Development Engineer – Satisfactory, subject to conditions as recommended and imposed on the original consent.

9. Conclusion

The proposal generally complies with the aims, objectives and design parameters contained in *Inner West Local Environmental Plan 2022* and *Leichhardt Development Control Plan 2013*.

The development, as modified and as conditioned, will not result in any significant impacts on the amenity of the adjoining properties and the streetscape and is considered to be in the public interest.

The application is considered suitable for approval subject to the imposition of appropriate conditions.

10. Recommendation

- A. That the Inner West Local Planning Panel exercising the functions of the Council as the consent authority, pursuant to s4.56 of the *Environmental Planning and Assessment Act 1979*, grant consent to Application No MOD/2023/0336 to enclose the carport to form a garage at 115 Short Street, Birchgrove subject to the conditions listed in Attachment A below.

Attachment A – Recommended conditions of consent to be amended

1. Documents related to the consent

The development must be carried out in accordance with plans and documents listed below:

Plans			
Plan, Revision and Issue No.	Plan Name	Date Issued	Prepared by
A001 Rev 3	Existing Site Plan	29/09/23	Studio Johnston
A002 Rev 3	Existing Floor Plan	29/09/23	Studio Johnston
A010 Rev 3	Demolition Plan	29/09/23	Studio Johnston
A100 Rev 3	Proposed Site Plan/Site Analysis	29/09/23	Studio Johnston
A101 Rev 3	Proposed Ground Floor Plan	29/09/23	Studio Johnston
A102 Rev 3	Proposed First Floor Plan	29/09/23	Studio Johnston
A103 Rev 3	Proposed Second Floor Plan	29/09/23	Studio Johnston
A104 Rev 3	Proposed Roof Plan	29/09/23	Studio Johnston
A200 Rev 3	Proposed East Elevation – Reserve	29/09/23	Studio Johnston
A200 Rev 3	Proposed West Elevation Adjacent to No 113 Short Street	29/09/23	Studio Johnston
A202 Rev 3	Proposed North Elevation – Short Street	29/09/23	Studio Johnston
A203 Rev 3	Proposed South Elevation – Bay Street	29/09/23	Studio Johnston
A300 Rev 3	Preliminary Section A	29/09/23	Studio Johnston
A301 Rev 3	Preliminary Section B	29/09/23	Studio Johnston
A302 Rev 3	Preliminary Section C	29/09/23	Studio Johnston
Revision A	Finishes Schedule	29/09/23	Studio Johnston

19234 C1 Rev B	Civil Plan	13/08/2021	Bradley Moran
1319261S	BASIX Certificate	1/07/2022	LC Consulting Engineers
SK 1	Amended 3 – Landscape Plan – Privacy Screen & Planting	30/06/2022	Phillips Marler
SK 2	East Elevation – Existing Proposed Levels	09/06/2022	Phillips Marler
SK 3	2 – Section – Planting Bed P1 – New Carport Slab – Planting Bed P2	09/06/2022	Phillips Marler
SK 4	3 – Section – Proposed Deck & Garden Bed P3	24/06/2022	Phillips Marler

As amended by the conditions of consent.

(Condition modified by MOD/2023/0336 – 14 May 2024)

2 Amendments

Prior to the commencement of demolition works or prior to the issue of a Construction Certificate, the proposal is to be amended in the following manner:

- a. The Architectural Plans are to be amended as follows:
 - i. the privacy screen shown in Amended 3 – Landscape Plan – Privacy Screen & Planting Drawing SK1 is to be of solid timber construction.
 - ii. The dark bronze rendered paint to the external walls of the garage in the Revised Finishes Schedule (PR01) must be replaced with “Selected off white brick OR concrete finish with brick pattern” (BR01) or “Brick, Off White” (BR02), as approved by the Court in the Finishes Schedule.

Plans detailing these amendments are required to be shown on the Construction Certificate.

Reason: To ensure the finishes are compatible with the character of the area.

(Condition modified by MOD/2023/0336 – 14 May 2024)

Attachment B – Plans of proposed development

115 SHORT STREET
BIRCHGROVE

DRAWING LIST

PAGE NO.	DRAWING TITLE	SCALE	REV.	ISSUE	PAGE NO.	DRAWING TITLE	SCALE	REV.	ISSUE
A000A	BASEX THERMAL SPECIFICATION	-	3	SECTION 4.55	A000	SHADOW CALCULATIONS - 21/06 WINTER	NA	3	SECTION 4.55
A001	EXISTING SITE PLAN	1:200	3	SECTION 4.55	A001	EXISTING SHADOW DIAGRAM - 21/06 9AM	1:200	3	SECTION 4.55
A002	EXISTING GROUND FLOOR PLAN	1:100	3	SECTION 4.55	A002	EXISTING SHADOW DIAGRAM - 21/06 10AM	1:200	3	SECTION 4.55
A010	GROUND FLOOR DEMOLITION PLAN	1:100	3	SECTION 4.55	A003	EXISTING SHADOW DIAGRAM - 21/06 11AM	1:200	3	SECTION 4.55
A100	PROPOSED SITE PLANSITE ANALYSIS	1:200	3	SECTION 4.55	A004	EXISTING SHADOW DIAGRAM - 21/06 12M	1:200	3	SECTION 4.55
A101	PROPOSED GROUND FLOOR PLAN	1:100	3	SECTION 4.55	A005	EXISTING SHADOW DIAGRAM - 21/06 1PM	1:200	3	SECTION 4.55
A102	PROPOSED FIRST FLOOR	1:100	3	SECTION 4.55	A006	EXISTING SHADOW DIAGRAM - 21/06 2PM	1:200	3	SECTION 4.55
A103	PROPOSED SECOND FLOOR	1:100	3	SECTION 4.55	A007	EXISTING SHADOW DIAGRAM - 21/06 3PM	1:200	3	SECTION 4.55
A104	PROPOSED ROOF PLAN	1:100	3	SECTION 4.55	A008	PROPOSED SHADOW DIAGRAM - 21/06 9AM	1:200	3	SECTION 4.55
A200	PROPOSED ELEVATIONS - SOUTH	1:100	3	SECTION 4.55	A009	PROPOSED SHADOW DIAGRAM - 21/06 10AM	1:200	3	SECTION 4.55
A201	PROPOSED ELEVATIONS - NORTH	1:100	3	SECTION 4.55	A010	PROPOSED SHADOW DIAGRAM - 21/06 11AM	1:200	3	SECTION 4.55
A202	PROPOSED ELEVATIONS - WEST/STREETSCAPE	1:100	3	SECTION 4.55	A011	PROPOSED SHADOW DIAGRAM - 21/06 12M	1:200	3	SECTION 4.55
A203	PROPOSED ELEVATIONS - EAST	1:100	3	SECTION 4.55	A012	PROPOSED SHADOW DIAGRAM - 21/06 1PM	1:200	3	SECTION 4.55
A300	PROPOSED SECTION A	1:100	3	SECTION 4.55	A013	PROPOSED SHADOW DIAGRAM - 21/06 2PM	1:200	3	SECTION 4.55
A301	PROPOSED SECTION B	1:100	3	SECTION 4.55	A014	PROPOSED SHADOW DIAGRAM - 21/06 3PM	1:200	3	SECTION 4.55
A302	PROPOSED SECTION C	1:100	3	SECTION 4.55	A015	PROPOSED SHADOW ELEVATION - 21/06 9AM	1:100	3	SECTION 4.55
A400	GFA CALCULATION	1:125	3	SECTION 4.55	A016	PROPOSED SHADOW ELEVATION - 21/06 10AM	1:100	3	SECTION 4.55
A401	SITE COVERAGE AND LANDSCAPE CALCULATION	1:125	3	SECTION 4.55	A017	PROPOSED SHADOW ELEVATION - 21/06 11AM	1:100	3	SECTION 4.55
A500	DOOR / WINDOW SCHEDULE GROUND FLOOR	1:100	3	SECTION 4.55	A018	PROPOSED SHADOW ELEVATION - 21/06 12M	1:100	3	SECTION 4.55
A501	DOOR / WINDOW SCHEDULE FIRST FLOOR	1:100	3	SECTION 4.55	A019	PROPOSED SHADOW ELEVATION - 21/06 1PM	1:100	3	SECTION 4.55
A502	DOOR / WINDOW SCHEDULE SECOND FLOOR	1:100	3	SECTION 4.55					

NO CHANGES IN SHADOW IMPACTS FROM DA SET

AREA ANALYSIS

TOTAL SITE AREA	228.68m ²
EXISTING	
EX GROUND FLOOR	14.85m ²
EX FIRST FLOOR	108.29m ²
EX SECOND FLOOR	86.52m ²
EXISTING_GROSS FLOOR AREA	209.66m ²
EXISTING BALCONIES	46.67m ²
EXISTING CARPORT	28.37m ²
EXISTING SITE COVERAGE	152.12m ² (67%)
EX HARD SURFACES	41.90m ²
EX IMPERVIOUS AREA	194.08m ² (85%)
EXISTING LANDSCAPED AREA	34.50m ² (15%)
EXISTING FLOOR SPACE RATIO	0.92 : 1 (0.92:0.98)
PROPOSED GARAGE	31.00m ²
PROPOSED IMPERVIOUS FLOOR	78.50m ²
PROPOSED SECOND FLOOR	42.38m ²
PROPOSED GROSS FLOOR AREA	235.45m ²
PROPOSED BALCONY	17.25m ²
PROPOSED VERANDAH	2.64m ²
PROPOSED SITE COVERAGE	141.50m ² (62%)
PROPOSED HARD SURFACES	00.00m ²
PROPOSED IMPERVIOUS AREA	157.66m ² (69%)
TOTAL LANDSCAPED AREA	56.95m ² (24.9%)
PROPOSED FLOOR SPACE RATIO	1.03:1 (0.93:1.07)



LAND SURVEY

FEATURE SURVEY PREPARED BY RYGGATE & COMPANY PTY. LTD. - LICENCED LAND SURVEYORS.
 LG, 88 YORK ST SYDNEY NSW, PH: 02 9262 8800.
 PERS: 02 9262 8800 FAX: 02 9262 8801
 DATUM: SURVEY DATE: 14/12/2016 REF NO: 77320

<p>Level 1, 786A Devonshire Street Surry Hills NSW, 2010 AUSTRALIA studio@studiojohnston.com.au</p>		<p>Project: 115 Short St, Birchgrove</p>	
<p>Tel: 61 2 9211 2700 F: 61 2 9211 2795 ABN: 6511528455 studio@studiojohnston.com.au</p>		<p>Rev: 3</p>	
<p>STUDIO JOHNSTON</p>		<p>Scale: A 000</p>	
<p>115 Short St, Birchgrove</p>		<p>DATE: 08/04/2024</p>	
<p>DRAWING LIST + AREA ANALYSIS</p>		<p>DATE: 08/04/2024</p>	

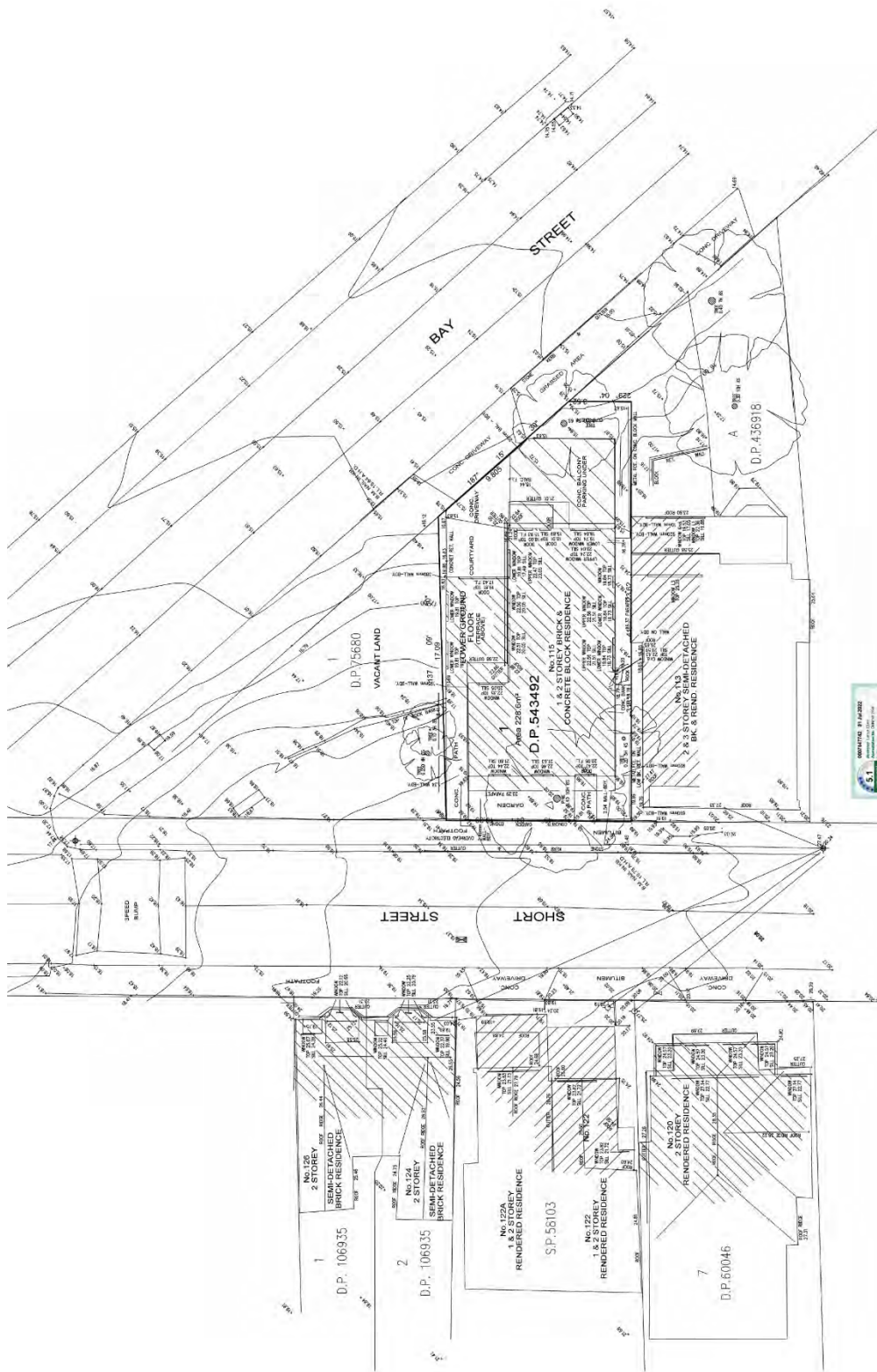
BASIX Thermal Specification – 115 Short St, Birchgrove NSW

Element	Construction	Details
Roof / External Ceiling	Metal deck roof + roof blanket of R2.0 bulk insulation with reflective foils (e.g. Anlicon 90) + R4.0 bulk ceiling insulation + Plasterboard (PB) ceiling Concrete slab + PB ceiling without insulation Concrete floor + R3.0 bulk insulation + PB ceiling	Light colour (Solar Absorptance<0.475) Applicable to the roof over the kitchen on the first floor Applicable to the roof over the bathroom / laundry on the ground floor Applicable to all the other external roof (including the balcony roof slab above Bed 2), except the above
Internal ceiling	Concrete slab + PB ceiling without insulation	Throughout
External walls	Concrete walls + PB without insulation Concrete walls + R2.0 bulk insulation + PB Cavity brick walls + reflective foil wraps	Applicable to the retaining walls on the ground floor Light colour (Solar Absorptance<0.475) As per elevations / floor plans As per elevations / floor plans
Internal walls	Concrete walls + PB without insulation Double brick walls without insulation PB stud walls without insulation	Applicable to the internal walls forming the staircases Applicable to the internal walls - between the Bed 3 & Bath / Laundry on the ground floor - between the kitchen & the entry on the first floor; and the Bed 1 ensuite internal walls on the second floor Applicable to all other internal walls except the above
Windows	Frameless, weather stripping fitted, single glazed, high solar gain low-e Standard aluminium frame, weather stripping fitted, single glazed, high solar gain low-e Standard aluminium frame, weather stripping fitted, single glazed, clear Thermally broken frame, weather stripping fitted, double glazed, high solar gain low-e/air fill /clear	NFRC glazing system (Glass+Frame) values – Applicable to all frameless glass Group B (fixed type); U = 5.4 and SHGC = 0.58; Applicable to all the louvre windows – W1.2 – W1.4 & W2.2 – W2.7 (including the fixed panels immediately adjacent to the louvre glass) Group B (louvre & fixed types); U = 5.4 and SHGC = 0.58; Applicable to the fixed fluted glazing unit W2.8 Group B (fixed type); U = 6.7 and SHGC = 0.70; Applicable to all other windows except those mentioned above Group A (awning type); U = 3.1 and SHGC = 0.39; Group B (fixed & sliding types); U = 3.1 and SHGC = 0.49;
Skylights	N/A	
Floors	Concrete slab on ground without insulation Suspended concrete slabs without insulation Floor coverings	Applicable to the ground floor and part of the first floor as per plans Applicable to the cantilevered slabs (exposed to the outdoor air) on part of the first floor, and the second floor Kitchen & all living areas: bare concrete; All wet areas: tile; All bedrooms: timber
Downlights	If to be planned, IC rated LED downlights recommended to be used throughout	Rating without downlights due to lighting layout plans / RCPs Rating with downlights (if planned) shall be required when lighting layout design is completed prior to application of construction certificate.
Ceiling fans	Minimum diameter of 1,200 mm	One required to be installed in the Rumpus on the ground floor
Exhaust fans	Exhaust fans to all wet areas	Sealed



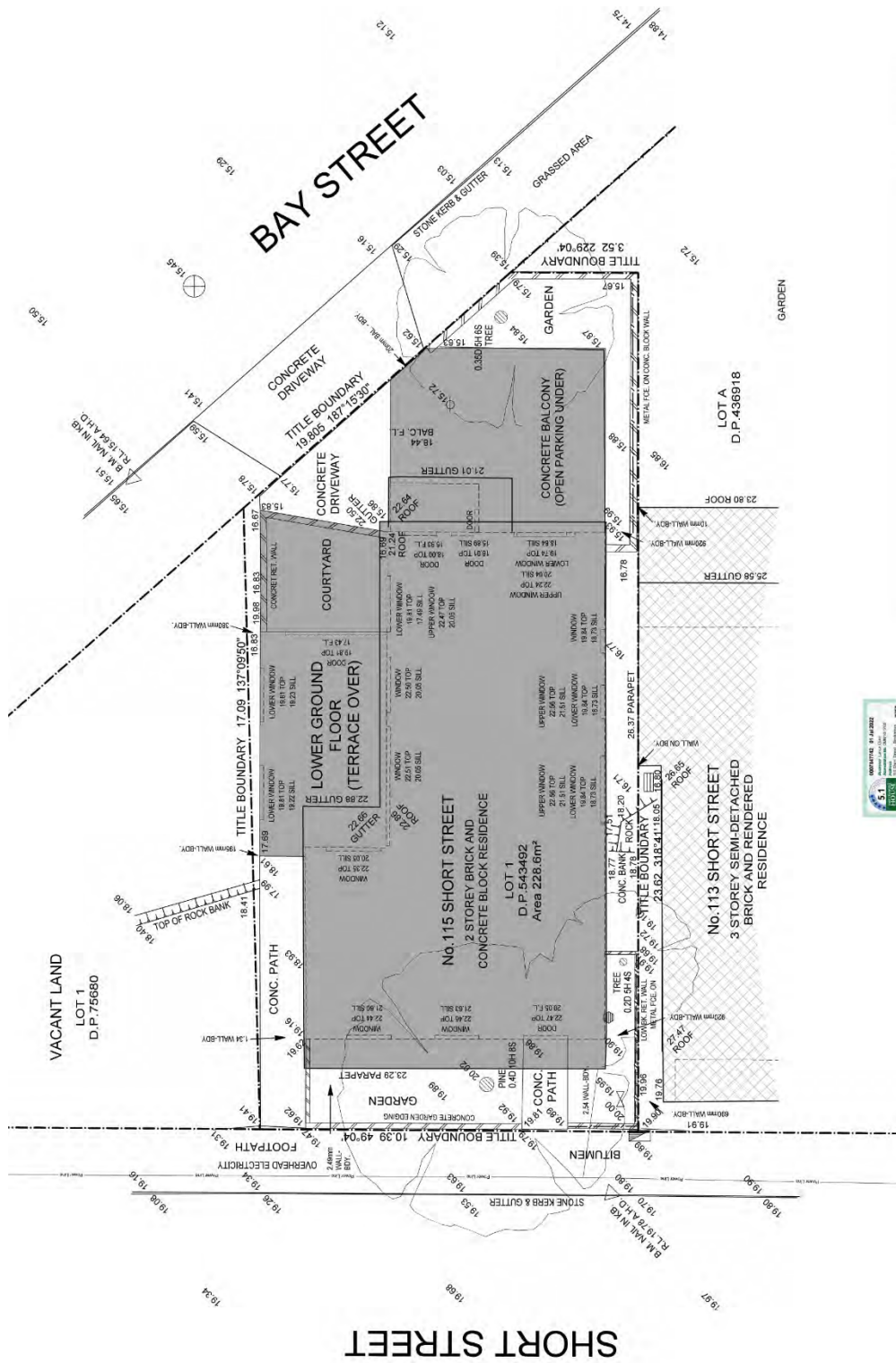
<p>Lewis J. 2868 Devonshire Street Surry Hills NSW 2010 AUSTRALIA studiojohnston.com.au</p>		NOV - 2023/2024 DEC - 2023/2024 JAN - 2024/2025 FEB - 2024/2025 MAR - 2024/2025 APR - 2024/2025 MAY - 2024/2025 JUN - 2024/2025 JUL - 2024/2025 AUG - 2024/2025 SEP - 2024/2025 OCT - 2024/2025 NOV - 2024/2025 DEC - 2024/2025	61 2 9211 2700 61 2 9211 2795 6511 524 555 contact@studiojohnston.com.au	ALL PAGES TO BE PRINTED AND INSTALLED AS PER THE CONTRACT DOCUMENTS. IF THE CONTRACT DOCUMENTS REFER TO A COMMERCIAL RATING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE RATING FROM THE RELEVANT AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE RATING FROM THE RELEVANT AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE RATING FROM THE RELEVANT AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE RATING FROM THE RELEVANT AUTHORITY.	Project: 115 Short St, Birchgrove Title: BASIX THERMAL SPECIFICATION	Date: 2023 Drawn: 11/06/23 Check: 20/06/23 Issue: 01/07/23	Page No: A 000 Rev: 3
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Version: 1, Version Date: 08/04/2024



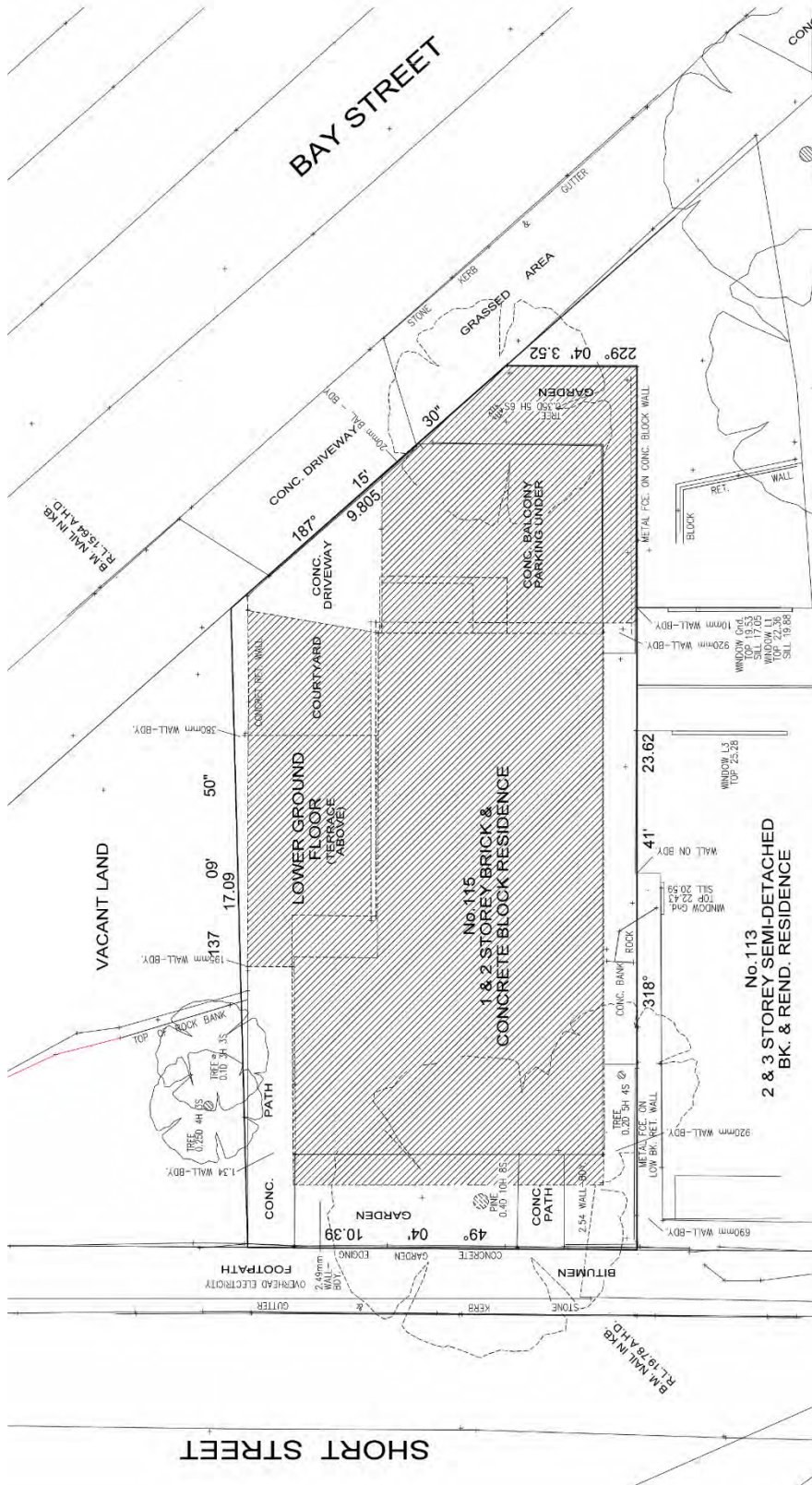
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 Version: 1, Version Date: 08/04/2024



<p>115 Short St, Birchgrove</p> <p>EXISTING FLOOR PLAN</p>		<p>DATE: 2021</p> <p>SCALE: 1:1000</p> <p>DRAWN BY: JAW</p> <p>CHECKED BY: JAW</p>	<p>REV: 3</p> <p>NO: A 002</p>
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<p>Level 1: 286A Devonshire Street Surry Hills NSW 2010 AUSTRALIA studiojohnston.com.au</p> <p>T + 61 2 9211 2700 F + 61 2 9211 2795 A/N: (0)11 528 555 Contact: info@studiojohnston.com.au</p>		<p>STUDIO JOHNSTON</p>	

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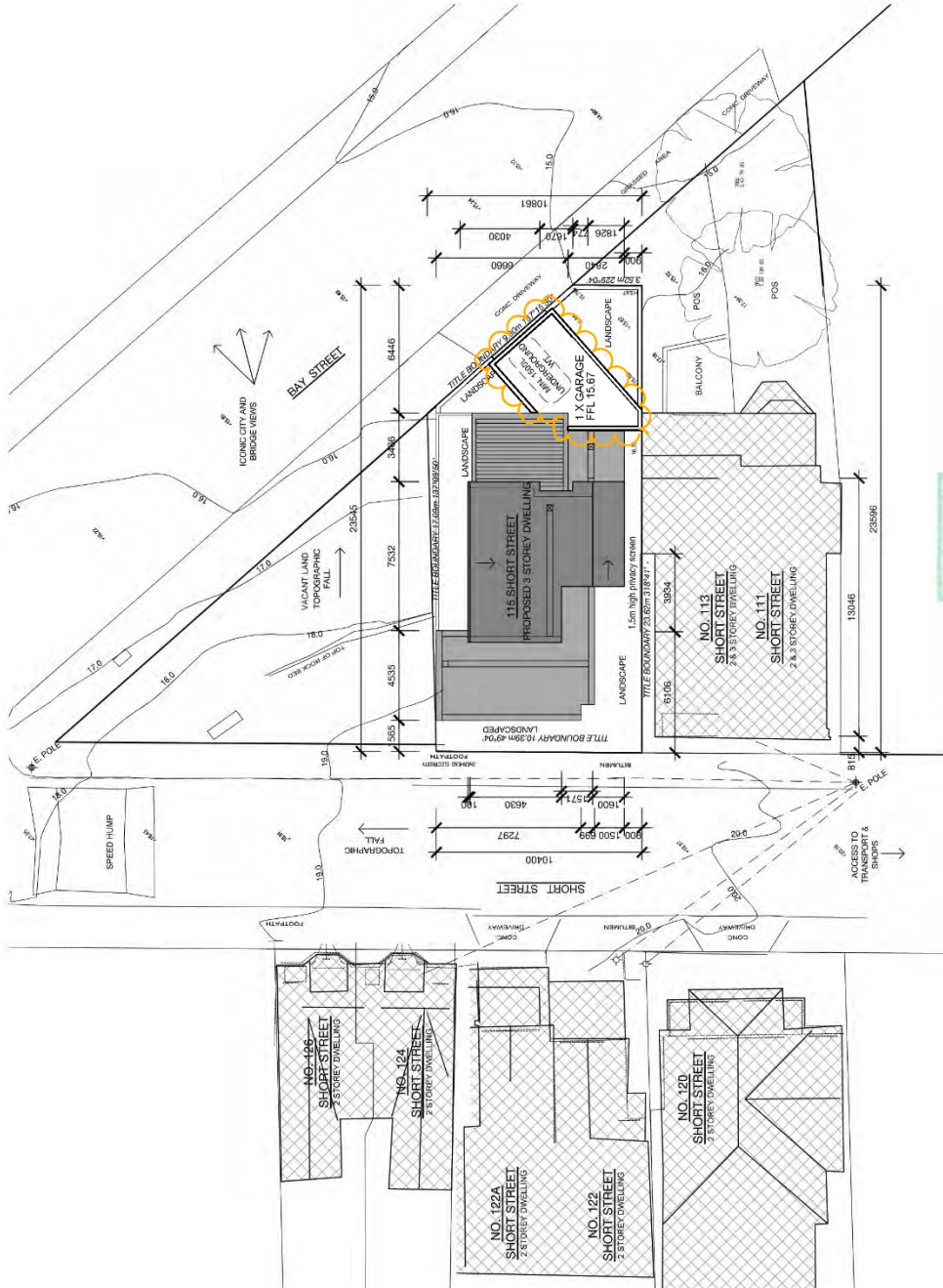


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<p>115 Short St, Birchgrove</p>															
<p>DEMOLITION PLAN</p>															
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<p>Rev: 3</p>															

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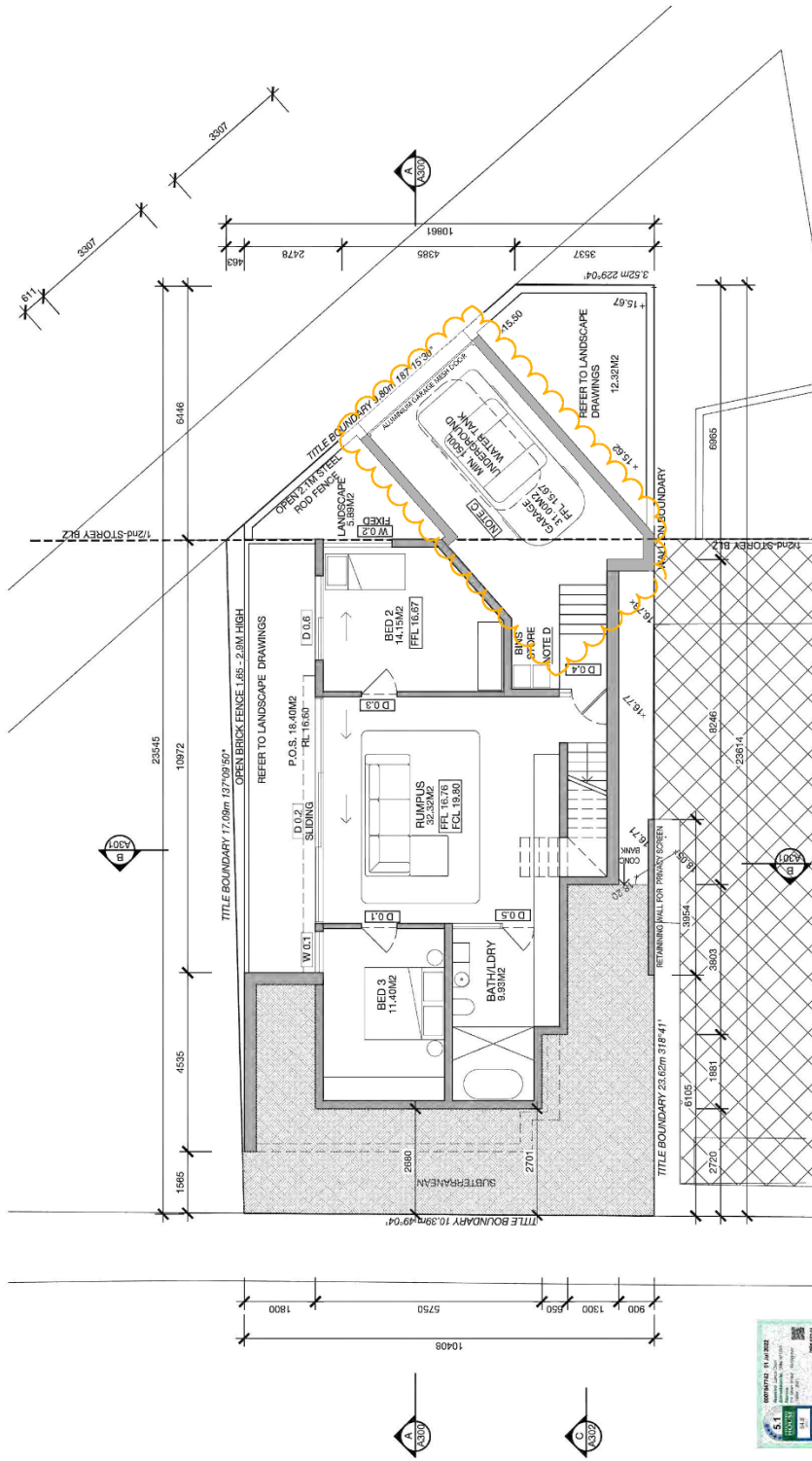
AREA ANALYSIS

TOTAL SITE AREA	228.58m ²
EXISTING	
EX GROUND FLOOR	14.85m ²
EX FIRST FLOOR	108.28m ²
EX SECOND FLOOR	86.50m ²
EXISTING GROSS FLOOR AREA	209.66m ²
EXISTING BALCONIES	46.67m ²
EXISTING CARPORT	29.37m ²
EXISTING SITE COVERAGE	192.12m ² (87%)
EX HARD SURFACES	41.96m ²
EX IMPERVIOUS AREA	194.08m ² (89%)
EXISTING LANDSCAPED AREA	34.50m ² (15%)
EXISTING FLOOR SPACE RATIO	0.82:1 (200.66m ²)
PROPOSED	
PROPOSED GARAGE	31.00m ²
PROPOSED GROUND FLOOR	78.59m ²
PROPOSED FIRST FLOOR	108.28m ²
PROPOSED SECOND FLOOR	42.89m ²
PROPOSED GROSS FLOOR AREA	235.46m ²
PROPOSED BALCONY	17.35m ²
PROPOSED VERANDAH	2.64m ²
PROPOSED SITE COVERAGE	141.10m ² (61%)
PROPOSED HARD SURFACES	00.00m ²
PROPOSED IMPERVIOUS AREA	157.69m ² (69%)
TOTAL LANDSCAPED AREA	58.95m ² (24.53%)
PROPOSED FLOOR SPACE RATIO	1.03:1 (235.46m ²)



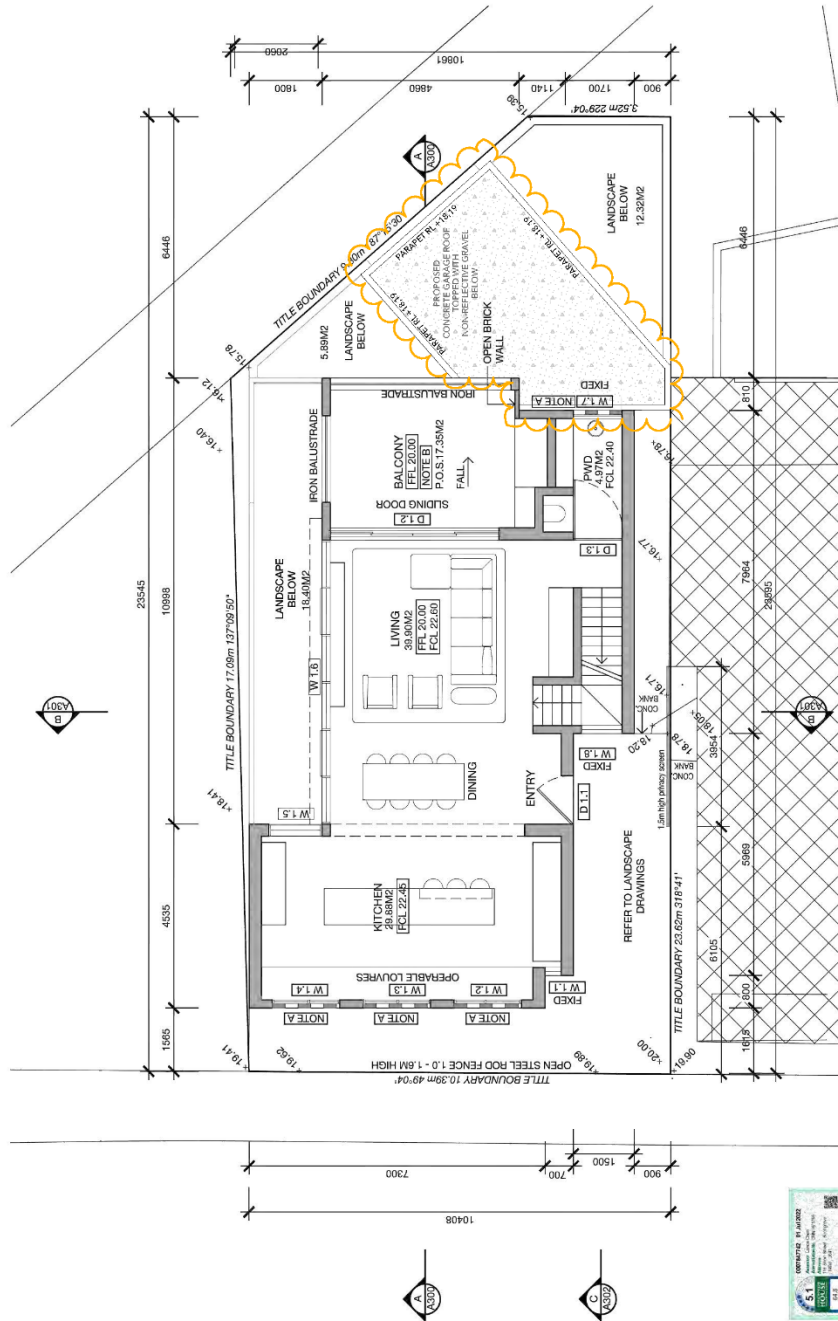
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1	PRELIMINARY DESIGN	11/06/21	STJ
2	REVISED DESIGN	24/06/21	STJ
3	FINAL DESIGN	24/06/21	STJ
PROPOSED SITE PLAN/SITE ANALYSIS			
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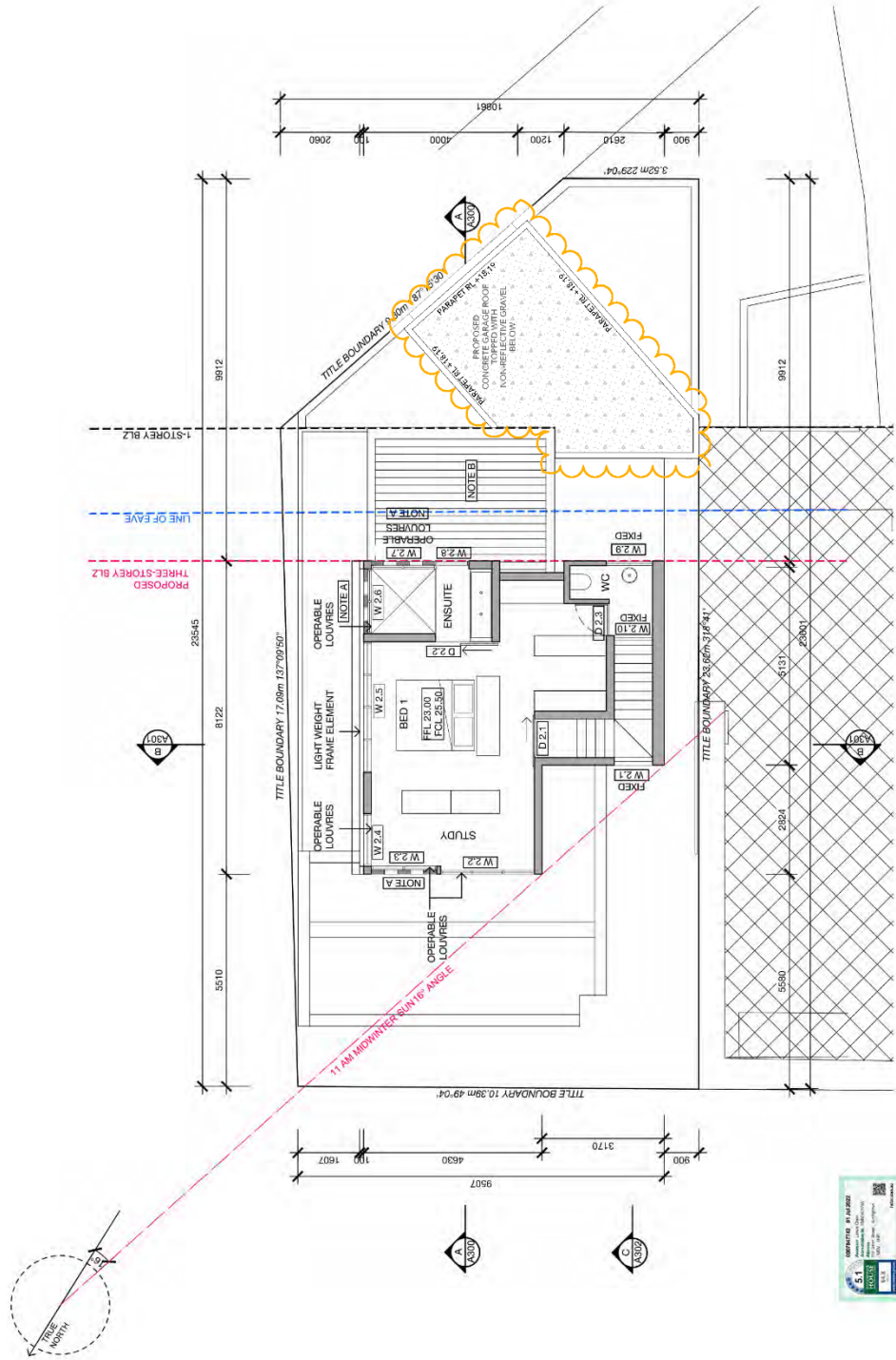
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<p>Project: 115 Short St, Birchgrove</p> <p>Client: STUDIO JOHNSTON</p>		<p>NOV - 2024 (CONCEPT)</p> <p>DEC - 2024 (SCHEMATIC)</p> <p>JAN - 2025 (DEVELOPMENT)</p> <p>FEB - 2025 (CONSTRUCTION)</p> <p>MAR - 2025 (COMPLETION)</p>	
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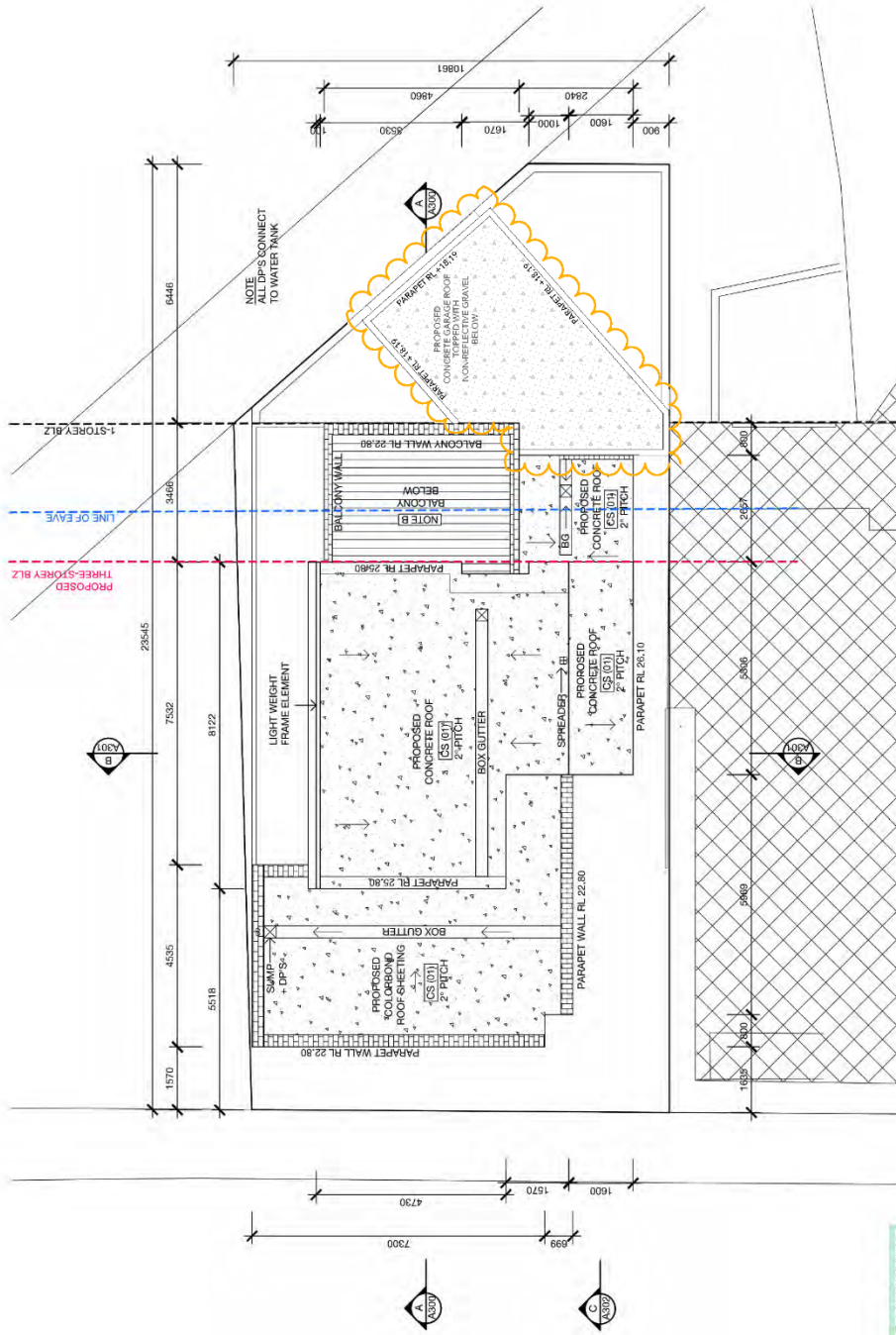
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 Version: 1, Version Date: 08/04/2024



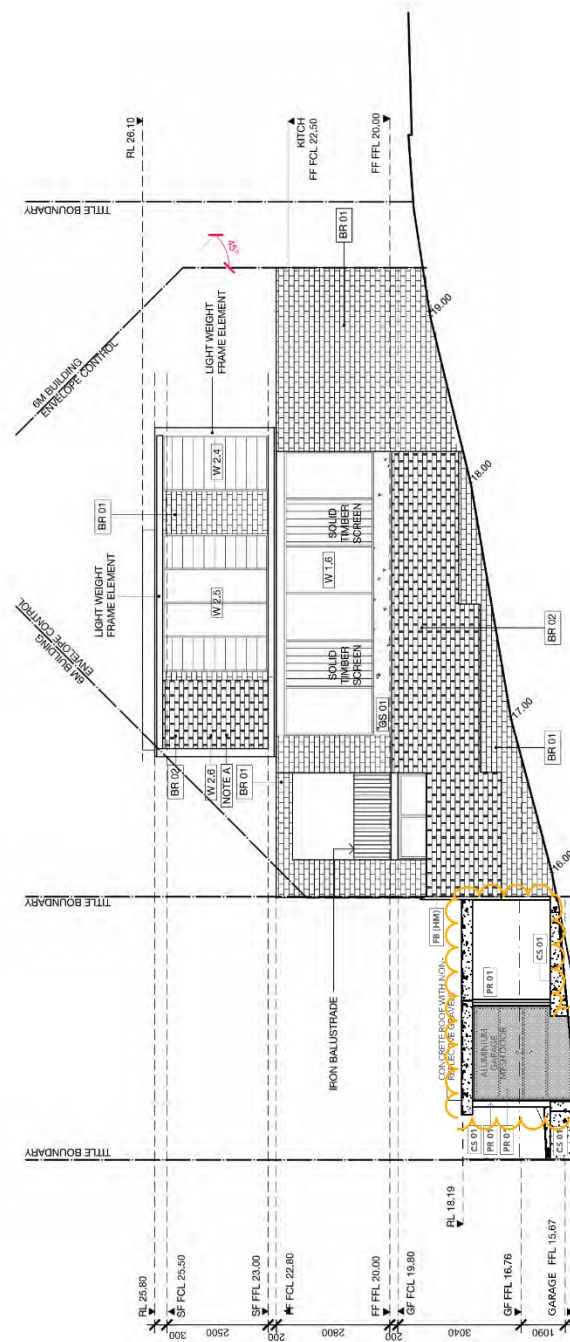
 STUDIO JOHNSTON Level 1, 286A Devonshire Street Surry Hills NSW 2010 AUSTRALIA Sydney Australia +61 2 9211 2700 +61 2 9211 2786 A/N: +61 2 9211 2345 contact@studiojohnston.com.au		ALL PERMITS AND APPROVALS TO BE OBTAINED BY THE CONTRACTOR RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.	Project: 115 Short St, Birchgrove Title: PROPOSED SECOND FLOOR PLAN	Date: 2024 Drawn: [Blank] Check: [Blank] Date: 2024 Drawn: [Blank] Check: [Blank]	Rev: 3 Desc: A 10 3
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 Version: 1, Version Date: 08/04/2024



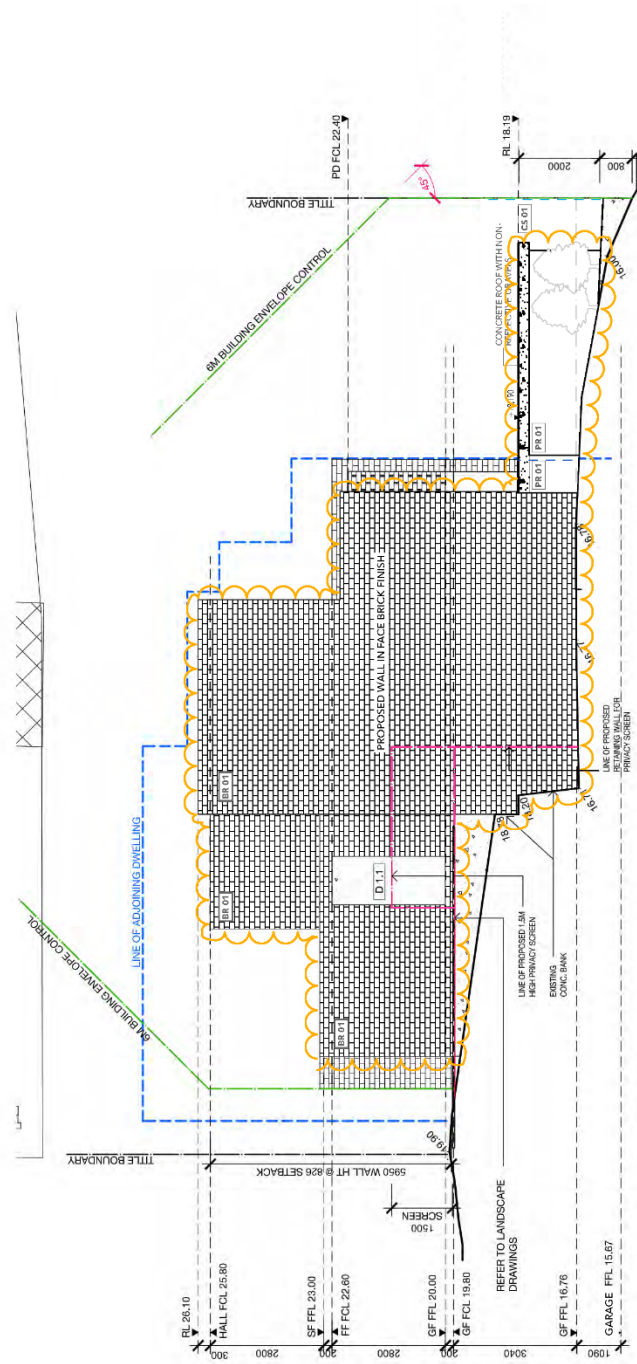
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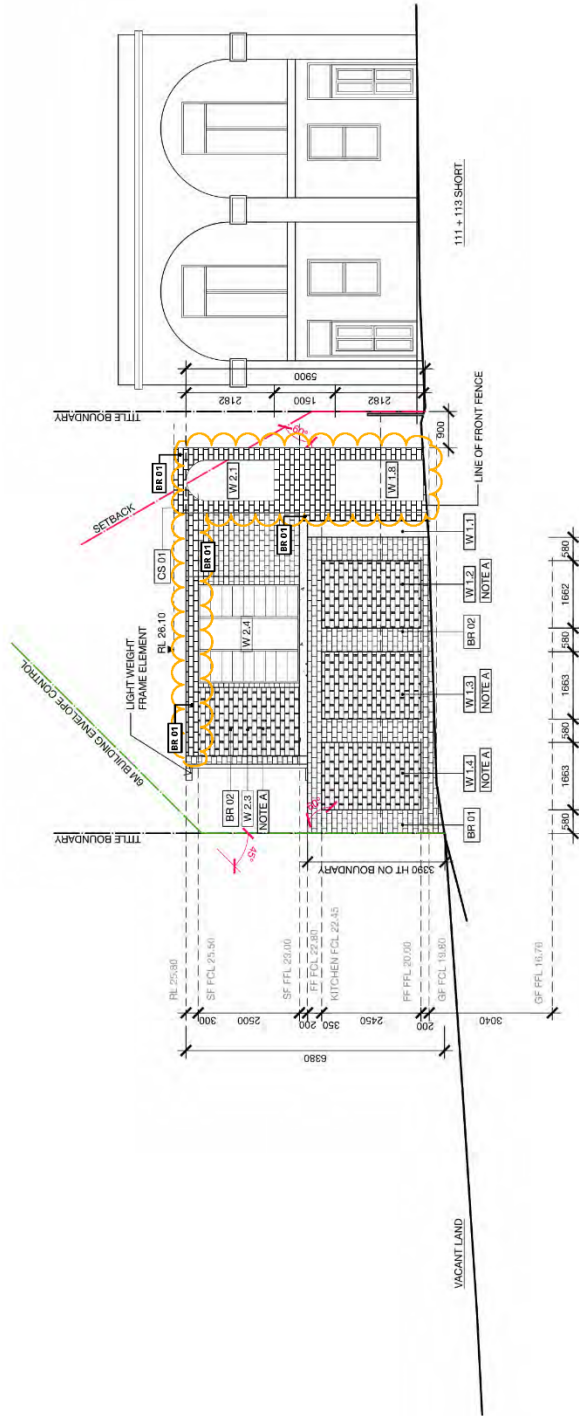
<p>Project: 115 Short St, Birchgrove</p> <p>Title: PROPOSED EAST ELEVATION - RESERVE</p>		<p>DATE: 2024</p> <p>SCALE: 1:100 (S&L)</p> <p>DATE: 2024</p> <p>DATE: 2024</p>	<p>Doc No: A 200</p> <p>Rev: 3</p>
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Version: 1, Version Date: 08/04/2024



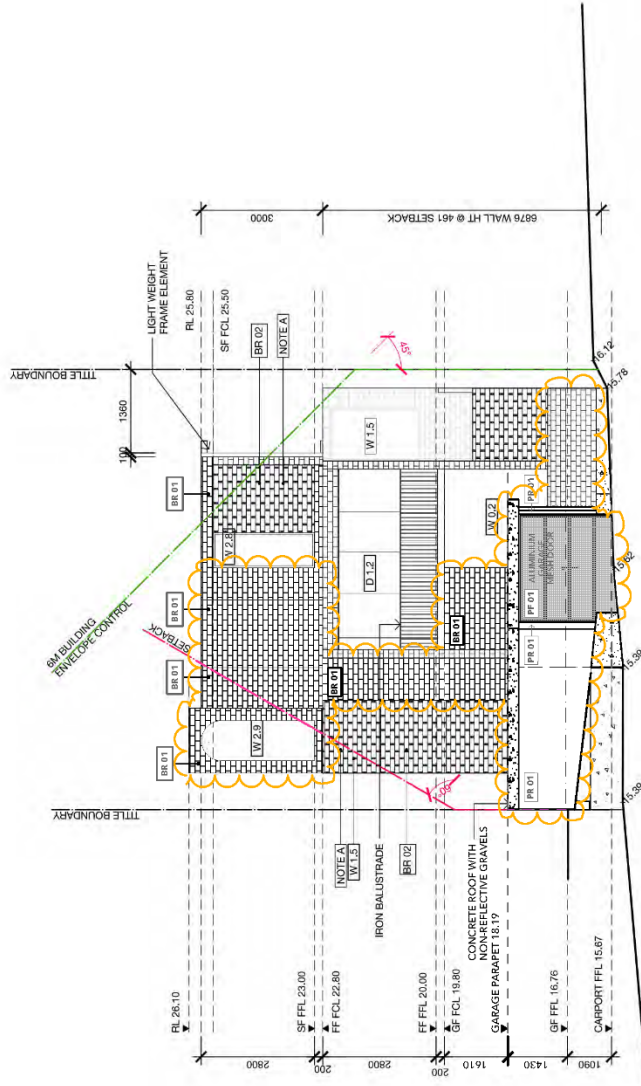
<p>STUDIO JOHNSTON</p> <p>Level 1, 286A Devonshire Street Surry Hills NSW 2010 AUSTRALIA 61 2 9511 2700 61 2 9511 2786 61 2 9511 2785 61 2 9511 2785 info@studiojohnston.com.au</p>		<p>NOV 2020</p> <p>REV 01</p> <p>REV 02</p> <p>REV 03</p> <p>REV 04</p> <p>REV 05</p> <p>REV 06</p> <p>REV 07</p> <p>REV 08</p> <p>REV 09</p> <p>REV 10</p> <p>REV 11</p> <p>REV 12</p> <p>REV 13</p> <p>REV 14</p> <p>REV 15</p> <p>REV 16</p> <p>REV 17</p> <p>REV 18</p> <p>REV 19</p> <p>REV 20</p> <p>REV 21</p> <p>REV 22</p> <p>REV 23</p> <p>REV 24</p> <p>REV 25</p> <p>REV 26</p> <p>REV 27</p> <p>REV 28</p> <p>REV 29</p> <p>REV 30</p> <p>REV 31</p> <p>REV 32</p> <p>REV 33</p> <p>REV 34</p> <p>REV 35</p> <p>REV 36</p> <p>REV 37</p> <p>REV 38</p> <p>REV 39</p> <p>REV 40</p> <p>REV 41</p> <p>REV 42</p> <p>REV 43</p> <p>REV 44</p> <p>REV 45</p> <p>REV 46</p> <p>REV 47</p> <p>REV 48</p> <p>REV 49</p> <p>REV 50</p> <p>REV 51</p> <p>REV 52</p> <p>REV 53</p> <p>REV 54</p> <p>REV 55</p> <p>REV 56</p> <p>REV 57</p> <p>REV 58</p> <p>REV 59</p> <p>REV 60</p> <p>REV 61</p> <p>REV 62</p> <p>REV 63</p> <p>REV 64</p> <p>REV 65</p> <p>REV 66</p> <p>REV 67</p> <p>REV 68</p> <p>REV 69</p> <p>REV 70</p> <p>REV 71</p> <p>REV 72</p> <p>REV 73</p> <p>REV 74</p> <p>REV 75</p> <p>REV 76</p> <p>REV 77</p> <p>REV 78</p> <p>REV 79</p> <p>REV 80</p> <p>REV 81</p> <p>REV 82</p> <p>REV 83</p> <p>REV 84</p> <p>REV 85</p> <p>REV 86</p> <p>REV 87</p> <p>REV 88</p> <p>REV 89</p> <p>REV 90</p> <p>REV 91</p> <p>REV 92</p> <p>REV 93</p> <p>REV 94</p> <p>REV 95</p> <p>REV 96</p> <p>REV 97</p> <p>REV 98</p> <p>REV 99</p> <p>REV 100</p>	<p>Project</p> <p>115 Short St, Birchgrove</p> <p>115 Short St, Birchgrove</p> <p>PROPOSED WEST ELEVATION ADJACENT TO 88-112 SHORT STREET</p>	<p>Doc No</p> <p>A 200</p> <p>Rev</p> <p>3</p>
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 Version: 1, Version Date: 08/04/2024



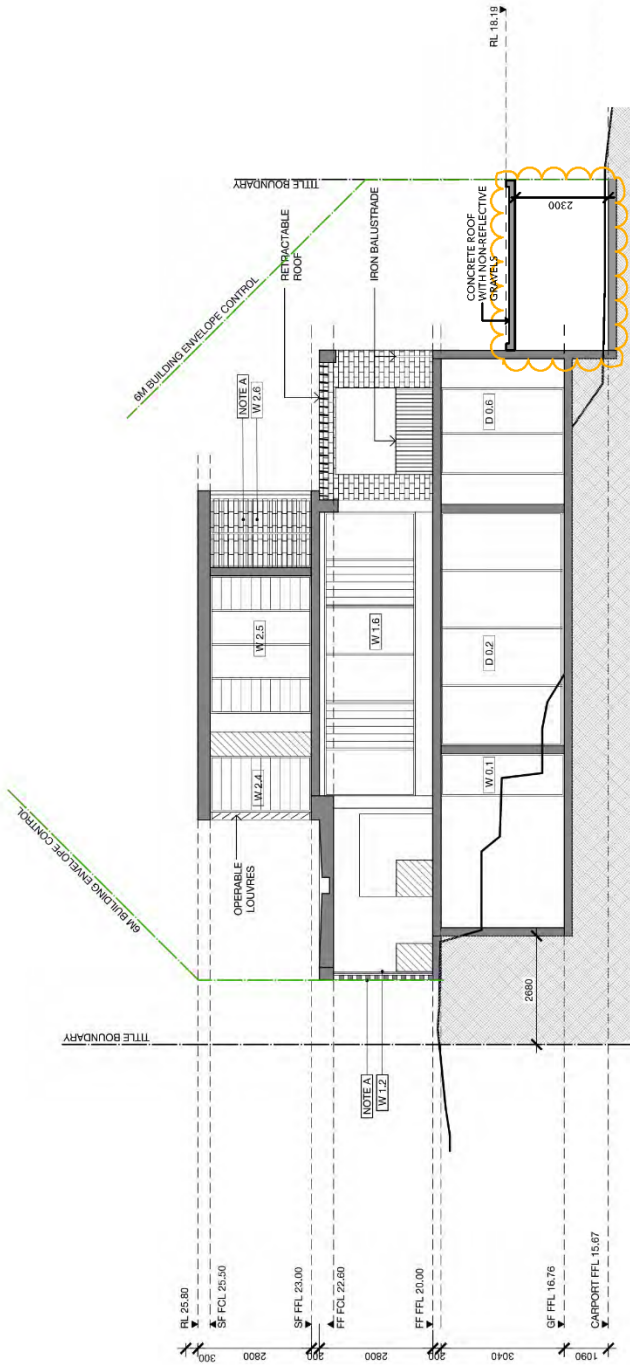
Level 1: 286A Devonshire Street Sydney NSW 1510 AS/NZS 3845:2014 286a@studiojohnston.com.au		T + 61 2 9311 2700 F + 61 2 9311 2786 A/N: (61) 1324 355 contact@studiojohnston.com.au		ALL PROJECTS TO BE APPROVED BY THE LOCAL GOVERNMENT. IF THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH THE LOCAL GOVERNMENT'S REQUIREMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.		Project: 115 Short St, Birchgrove Title: PROPOSED NORTH ELEVATION - SHORT STREET		Date: 2024 Drawn: 11/04/24 Scale: 1:100 Project No: A 202 Rev: 3	
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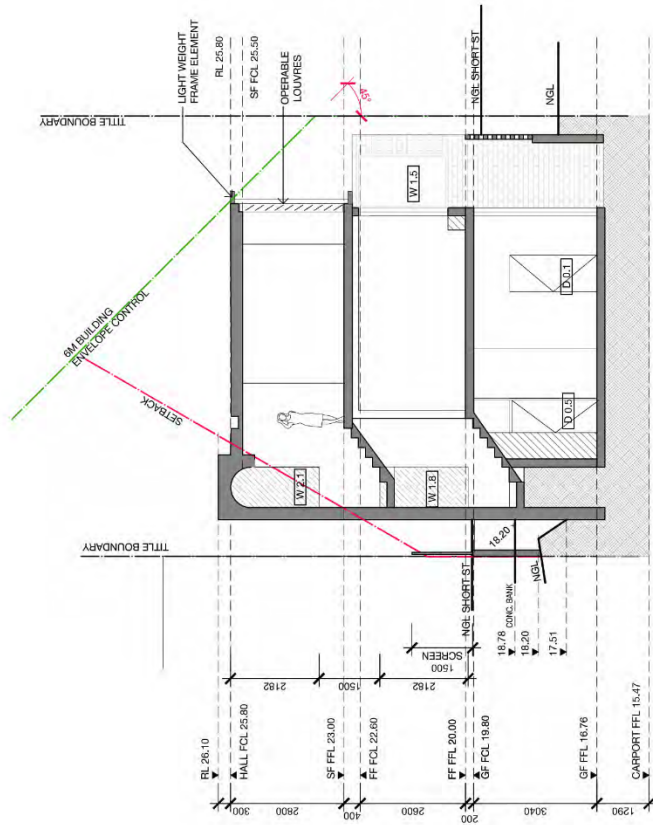
LWSL 1 288A Devonshire Street Sturtville QLD 4057 ASAC STUDIO JOHNSTON PTY LTD 07 3882 3559 contact@studiojohnston.com.au		NOV - DESIGN/CONCEPT DEC - DEVELOPMENT AND PERMITS JAN - CONSTRUCTION FEB - CONSTRUCTION MAR - CONSTRUCTION		DRAWN BY: [blank] CHECKED BY: [blank] DATE: [blank]		ALL PLOTS TO BE TAKEN FROM THE LOCAL PLAN IF THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH THE LOCAL PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN THE NECESSARY PERMITS FROM THE LOCAL GOVERNMENT THE LOCAL GOVERNMENT SHALL BE RESPONSIBLE TO OBTAIN THE NECESSARY PERMITS FROM THE LOCAL GOVERNMENT		Project: 115 Short St, Birchgrove Title: PROPOSED SOUTH ELEVATION - BAY Drawing No.: A 203 Date: 2024 Scale: 1:1000 Author: [blank]		Rev: 3 Description: [blank]
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 Version: 1, Version Date: 08/04/2024



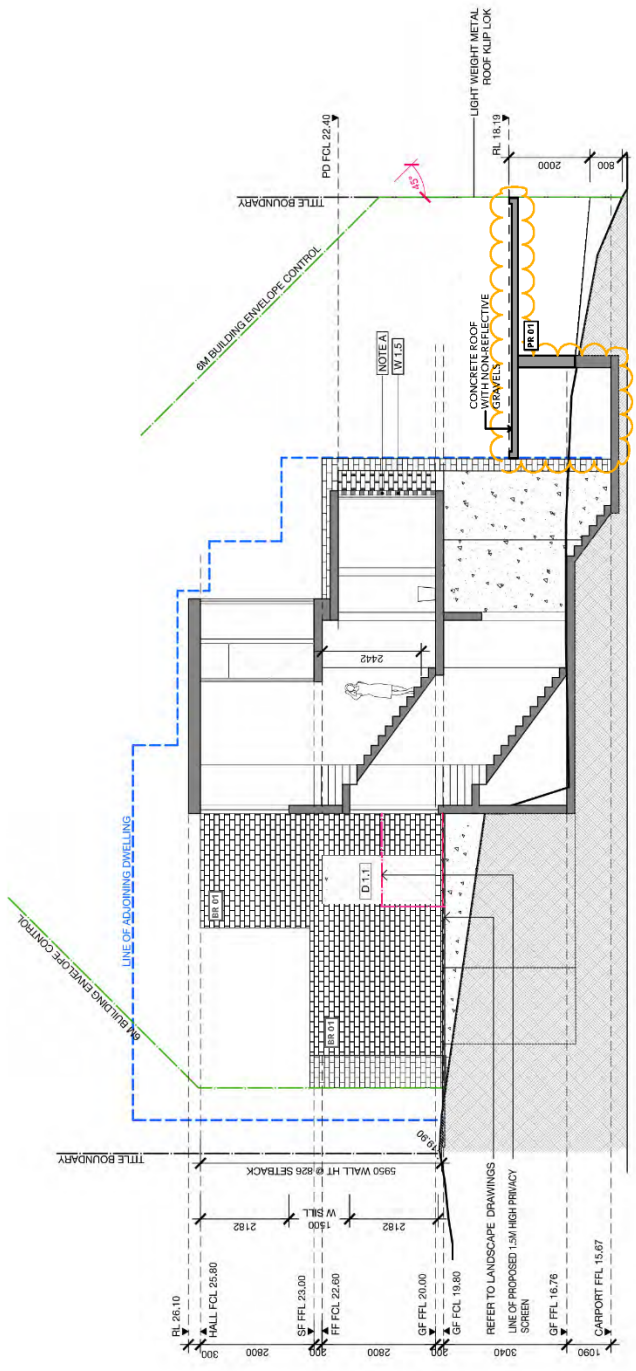
Project 115 Short St, Birchgrove		Date 2024	Rev 3
Title PRELIMINARY SECTION A		Scale 1:1000	Date 20/04/2024
ALL RIGHTS RESERVED AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF STUDIO JOHNSTON.			
NO. 1 DATE 20/04/2024	NO. 2 DATE 20/04/2024	NO. 3 DATE 20/04/2024	NO. 4 DATE 20/04/2024
Level 1: 286A Devonshire Street Sydney NSW 2010 Australia +61 2 9511 2700 +61 2 9511 2786 A/N: (0) 911 528 555 contact@studiojohnston.com.au			

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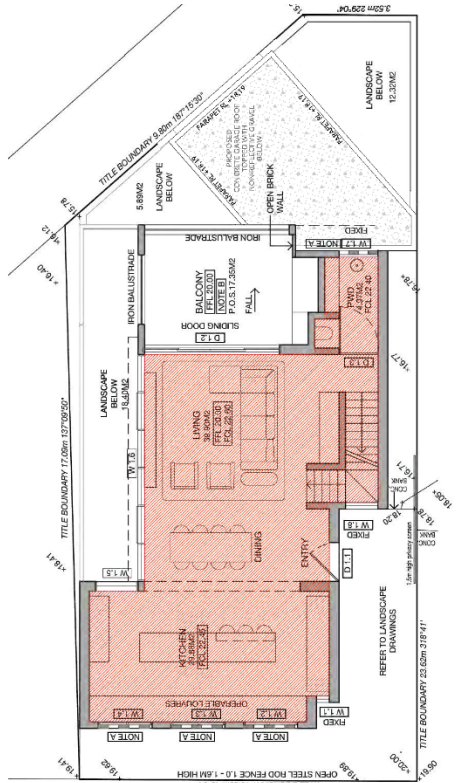
Project 115 Short St, Birchgrove		Date 2024	Page No. A 301	Rev 3
Title PRELIMINARY SECTION B		Author JMK	Checker JMK	Date 20/04/2024
ALL PLOTS TO BE TAKEN UNDER THE LOCAL L.P.P. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND THE NSW GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND THE NSW GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND THE NSW GOVERNMENT.				
PREPARED BY: STUDIO JOHNSTON				
DRAWN BY: STUDIO JOHNSTON				
CHECKED BY: STUDIO JOHNSTON				
APPROVED BY: STUDIO JOHNSTON				
Level 1: 288A Devonshire Street Sydney NSW 2010 NSW 2010 AUSTRALIA Phone: (61) 2 9311 2786 Fax: (61) 2 9311 2785 Email: info@studiojohnston.com.au				

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 Version: 1, Version Date: 08/04/2024



Project 115 Short St, Birchgrove		Date/No. A 302		Rev 3	
Title PRELIMINARY SECTION C		Date 2024		Drawn T	
Description ALL PLOTS TO BE PLANNED UNDER THE LAM. IF THE CONTRACT IS REFERRED TO COMMERCIAL PURPOSES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE LOCAL GOVERNMENT AND THE STATE GOVERNMENT IN ACCORDANCE WITH THE RELEVANT LEGISLATION AND REGULATIONS. ALL WORKS SHOWN ON THIS DRAWING ARE THE PROPERTY OF STUDIO JOHNSTON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STUDIO JOHNSTON.		Scale 1:1000		Checked T	
Author T		Date 2024		Approved T	
Designer T		Date 2024		Issued T	
Location Level 1, 286A Devonshire Street Surry Hills NSW 2010 AUSTRALIA Australia + 61 2 9311 2700 + 61 2 9311 2795 A/N: (61) 1324 355 contact@studiojohnston.com.au studiojohnston.com.au		Drawing No. A 302		Revision 3	

Document Set ID: 38842959
 Version: 1, Version Date: 08/04/2024



2 PROPOSED FF - GFA CALCULATIONS
A400/ SCALE 1:125 @ A3

GROSS FLOOR AREA CALCULATION

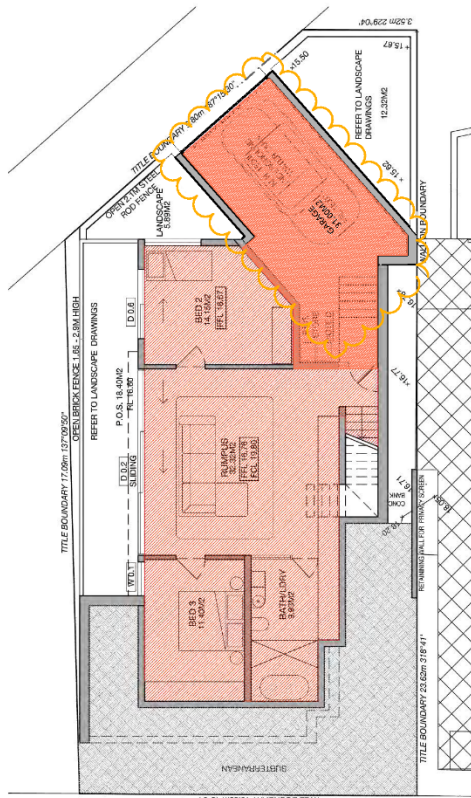
MAXIMUM	EXISTING	PROPOSAL
0.8:1	209.68m ²	255.48m ²
1.03:1	255.48m ²	255.48m ²

EXISTING FLOOR SPACE RATIO 0.82:1
(248.8m²)

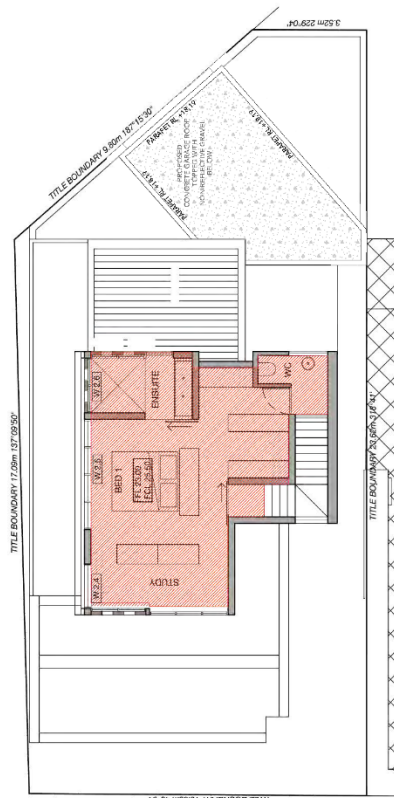
PROPOSED FLOOR SPACE RATIO 1.03:1
(255.48m²)

AREA ANALYSIS

EXISTING	PROPOSAL
EX GROUND FLOOR 14.85m ²	PROPOSED GARAGE 31.00m ²
EX FIRST FLOOR 106.29m ²	PROPOSED GROUND FLOOR 78.59m ²
EX SECOND FLOOR 86.52m ²	PROPOSED FIRST FLOOR 83.01m ²
PROPOSED GROSS FLOOR AREA 209.66m ²	PROPOSED SECOND FLOOR 75.00m ²
EXISTING BALCONIES 46.67m ²	PROPOSED GROSS FLOOR AREA 235.48m ²
EXISTING CARPORT 29.37m ²	PROPOSED BALCONY 17.50m ²
EXISTING FLOOR SPACE RATIO 0.82:1	PROPOSED VERANDAH 2.64m ²



1 PROPOSED SF - GFA CALCULATIONS
A400/ SCALE 1:125 @ A3



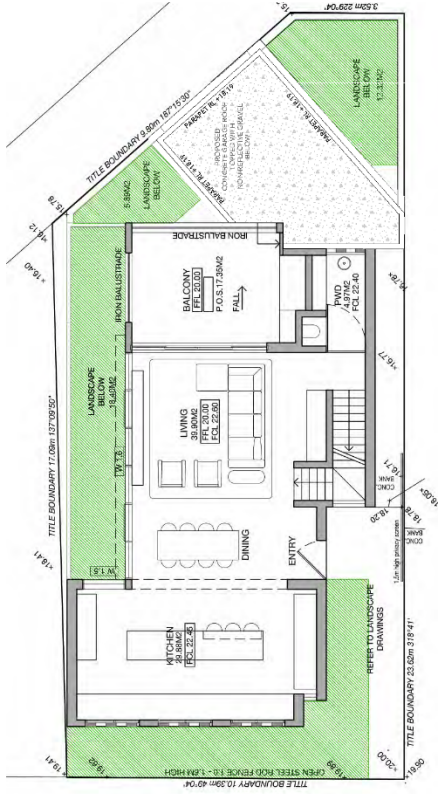
3 PROPOSED SF - GFA CALCULATIONS
A400/ SCALE 1:125 @ A3



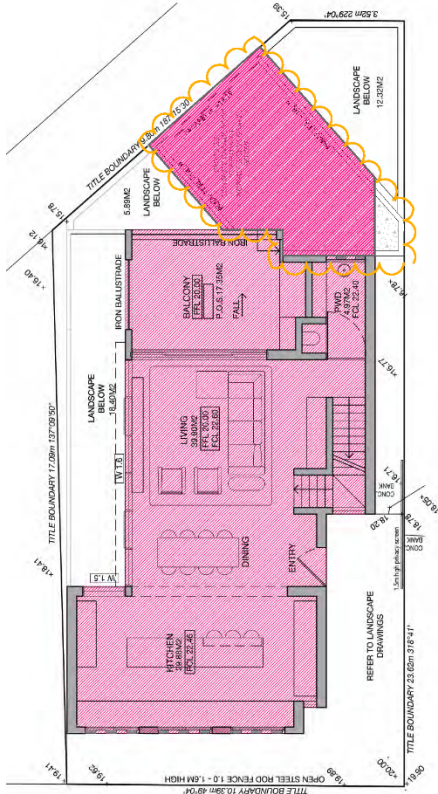
<p>115 Short St, Birchgrove</p> <p>PROPOSED GFA CALCULATIONS</p>		<p>DATE: 2024</p> <p>SCALE: A400</p> <p>REV: 3</p>
<p>NOV - PROPOSAL</p> <p>DEC - REVISIONS</p> <p>JAN - REVISIONS</p> <p>FEB - REVISIONS</p> <p>MAR - REVISIONS</p> <p>APR - REVISIONS</p> <p>MAY - REVISIONS</p> <p>JUN - REVISIONS</p> <p>JUL - REVISIONS</p> <p>AUG - REVISIONS</p> <p>SEP - REVISIONS</p> <p>OCT - REVISIONS</p> <p>NOV - REVISIONS</p> <p>DEC - REVISIONS</p>	<p>NOV - PROPOSAL</p> <p>DEC - REVISIONS</p> <p>JAN - REVISIONS</p> <p>FEB - REVISIONS</p> <p>MAR - REVISIONS</p> <p>APR - REVISIONS</p> <p>MAY - REVISIONS</p> <p>JUN - REVISIONS</p> <p>JUL - REVISIONS</p> <p>AUG - REVISIONS</p> <p>SEP - REVISIONS</p> <p>OCT - REVISIONS</p> <p>NOV - REVISIONS</p> <p>DEC - REVISIONS</p>	<p>NOV - PROPOSAL</p> <p>DEC - REVISIONS</p> <p>JAN - REVISIONS</p> <p>FEB - REVISIONS</p> <p>MAR - REVISIONS</p> <p>APR - REVISIONS</p> <p>MAY - REVISIONS</p> <p>JUN - REVISIONS</p> <p>JUL - REVISIONS</p> <p>AUG - REVISIONS</p> <p>SEP - REVISIONS</p> <p>OCT - REVISIONS</p> <p>NOV - REVISIONS</p> <p>DEC - REVISIONS</p>

STUDIO JOHNSTON
Level 1, 286A Devonshire Street, Surry Hills, NSW 2010 AUSTRALIA
Phone: +61 2 9511 2700, +61 2 9511 2785, +61 2 9511 2786
Fax: +61 2 9511 2785
Email: contact@studiojohnston.com.au, studiojohnston.com.au

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Version: 1, Version Date: 05/04/2024



2 PROPOSED LANDSCAPE CALCULATIONS
A400 SCALE 1:125 @ A3



1 PROPOSED SITE COVERAGE CALCULATIONS
A400 SCALE 1:125 @ A3

LANDSCAPE CALCULATION
TOTAL SITE AREA 228.58m²

	SOM
MINIMUM	34.2m ²
EXISTING	19%
PROPOSAL	24.6%

AREA ANALYSIS

EXISTING	PROPOSED
EXISTING SITE COVERAGE 152.12m ² (67%)	PROPOSED SITE COVERAGE 141.10m ² (61%)
EX-HARD SURFACES 41.06m ²	PROPOSED HARD SURFACES 00.00m ²
EX IMPERVIOUS AREA 194.06m ² (85%)	PROPOSED IMPERVIOUS AREA 157.66m ² (69%)
EXISTING LANDSCAPED AREA 34.50m ² (15%)	TOTAL LANDSCAPED AREA 56.83m ² (24.8%)

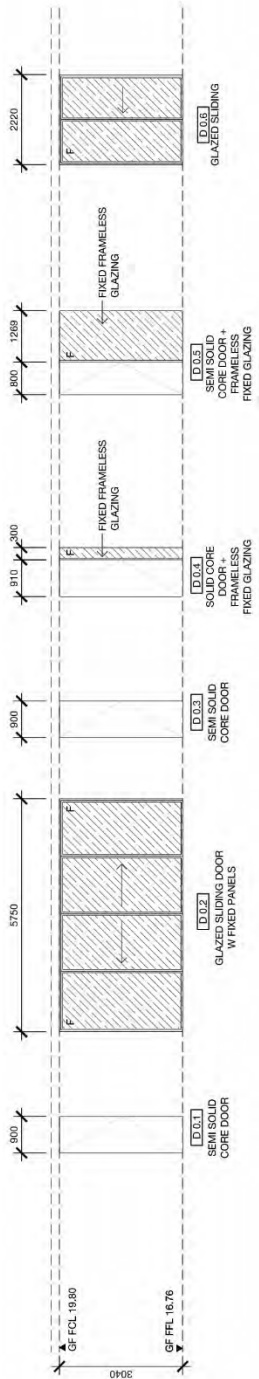
SITE COVERAGE CALCULATION
TOTAL SITE AREA 228.58m²

	SOM
MAXIMUM	137.32m ²
EXISTING	67%
PROPOSAL	61%

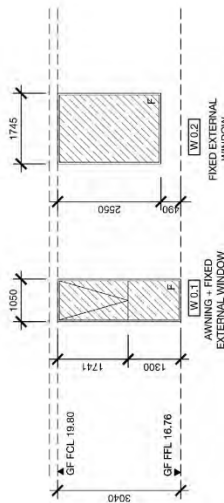


<p>115 Short St, Birchgrove LANDSCAPE & SITE COVERAGE</p>		<p>Doc No A 401</p>	<p>Rev 3</p>
<p>NOV - 2024</p>	<p>DATE</p>	<p>30/11/2024</p>	<p>30/11/2024</p>
<p>NOV - 2024</p>	<p>DATE</p>	<p>30/11/2024</p>	<p>30/11/2024</p>
<p>NOV - 2024</p>	<p>DATE</p>	<p>30/11/2024</p>	<p>30/11/2024</p>
<p>4.1.1. THIS DOCUMENT IS THE PROPERTY OF STUDIO JOHNSTON. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THIS DOCUMENT. IT IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF STUDIO JOHNSTON.</p>			
<p>STUDIO JOHNSTON Level 1, 286A Devonshire Street Surry Hills NSW 2010 AUSTRALIA studio@studiojohnston.com.au</p>			

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1 DOOR SCHEDULE - GROUND FLOOR
SCALE 1:50 @ A3

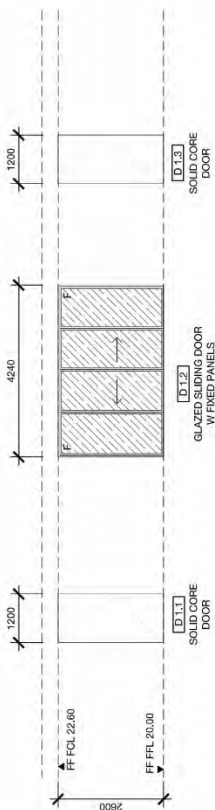


2 WINDOW SCHEDULE - GROUND FLOOR
SCALE 1:50 @ A3

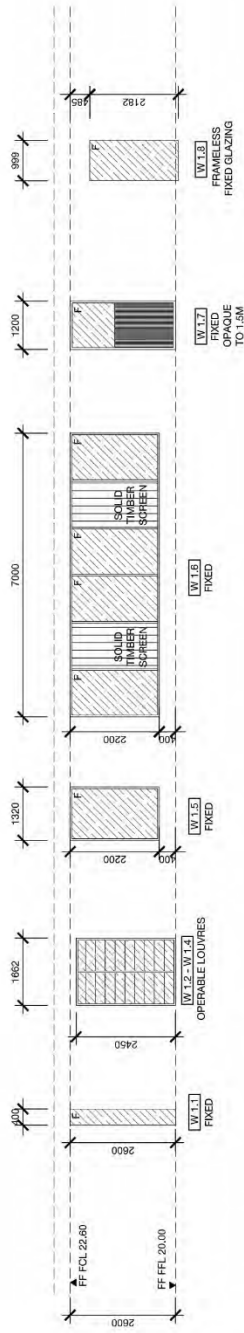


Level 1: 288A Devonshire Street Sturt Park NSW 2010 AUSTRALIA Australia studio@studiojohnston.com.au		Level 1: 288A Devonshire Street Sturt Park NSW 2010 AUSTRALIA Australia studio@studiojohnston.com.au		Level 1: 288A Devonshire Street Sturt Park NSW 2010 AUSTRALIA Australia studio@studiojohnston.com.au		Level 1: 288A Devonshire Street Sturt Park NSW 2010 AUSTRALIA Australia studio@studiojohnston.com.au					
NOV	REVISIONS	NOV	REVISIONS	NOV	REVISIONS	NOV	REVISIONS				
1	ISSUED FOR PERMIT	1	ISSUED FOR PERMIT	1	ISSUED FOR PERMIT	1	ISSUED FOR PERMIT				
2	ISSUED FOR PERMIT	2	ISSUED FOR PERMIT	2	ISSUED FOR PERMIT	2	ISSUED FOR PERMIT				
3	ISSUED FOR PERMIT	3	ISSUED FOR PERMIT	3	ISSUED FOR PERMIT	3	ISSUED FOR PERMIT				
ALL PERITS TO BE OBTAINED FROM LOCAL COUNCIL. IF THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH THE BUILDING REGULATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERITS FROM THE LOCAL COUNCIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERITS FROM THE LOCAL COUNCIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERITS FROM THE LOCAL COUNCIL.				ALL PERITS TO BE OBTAINED FROM LOCAL COUNCIL. IF THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH THE BUILDING REGULATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERITS FROM THE LOCAL COUNCIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERITS FROM THE LOCAL COUNCIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERITS FROM THE LOCAL COUNCIL.				ALL PERITS TO BE OBTAINED FROM LOCAL COUNCIL. IF THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH THE BUILDING REGULATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERITS FROM THE LOCAL COUNCIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERITS FROM THE LOCAL COUNCIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERITS FROM THE LOCAL COUNCIL.			
Project: 115 Short St, Birchgrove Title: DOOR / WINDOW SCHEDULE				Project: 115 Short St, Birchgrove Title: DOOR / WINDOW SCHEDULE				Project: 115 Short St, Birchgrove Title: DOOR / WINDOW SCHEDULE			
DATE: 2024 TIME: 11:00AM DRAWN BY: JRM CHECKED BY: JRM		DATE: 2024 TIME: 11:00AM DRAWN BY: JRM CHECKED BY: JRM		DATE: 2024 TIME: 11:00AM DRAWN BY: JRM CHECKED BY: JRM		DATE: 2024 TIME: 11:00AM DRAWN BY: JRM CHECKED BY: JRM					
Rev: 3 Date: 2024		Rev: 3 Date: 2024		Rev: 3 Date: 2024		Rev: 3 Date: 2024					

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1 DOOR SCHEDULE - FIRST FLOOR
A501 SCALE 1:50 @ A3

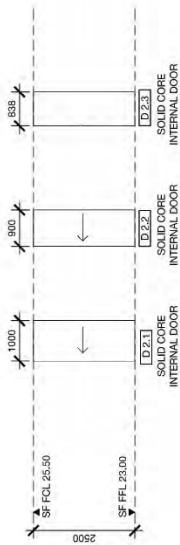


2 WINDOW SCHEDULE - FIRST FLOOR
A501 SCALE 1:50 @ A3

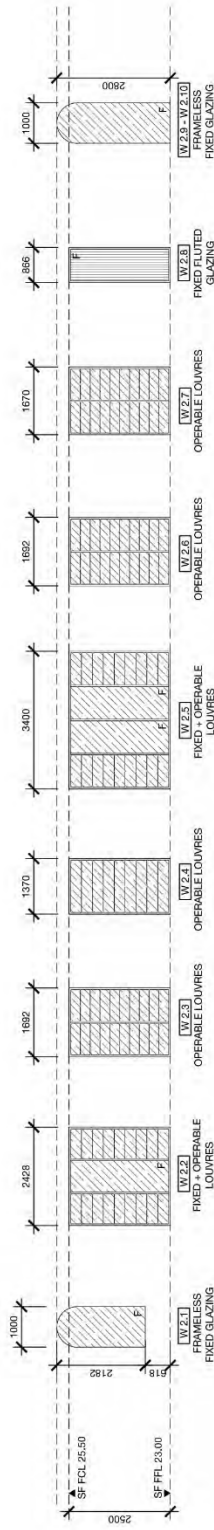


<p>STUDIO JOHNSTON 201 Johnstone Court St. Leonards NSW 1580</p>	<p>Level 1 288A Devonshire Street St Leonards NSW 1580</p> <p>PH: +61 2 9511 2700 FX: +61 2 9511 2786 ABN: (61) 15 843 555 contact@studiojohnston.com.au</p>	<p>NOV 2024</p> <p>REVISIONS:</p> <table border="1"> <tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th></tr> <tr><td>1</td><td>ISSUED FOR PERMIT</td><td>2024</td></tr> <tr><td>2</td><td>REVISED PER PERMIT CONDITIONS</td><td>2024</td></tr> <tr><td>3</td><td>REVISED PER PERMIT CONDITIONS</td><td>2024</td></tr> </table>	NO.	DESCRIPTION	DATE	1	ISSUED FOR PERMIT	2024	2	REVISED PER PERMIT CONDITIONS	2024	3	REVISED PER PERMIT CONDITIONS	2024	<p>ALL PERITS TO BE OBTAINED UNDER THE ACT. IF THE CONTRACT IS REFERABLE BY TO COMMERCE ACT, STUDIO JOHNSTON AND ITS EMPLOYEES SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT AND SHALL BE SOLELY RESPONSIBLE FOR THE PERFORMANCE OF THE PROJECT. STUDIO JOHNSTON SHALL BE SOLELY RESPONSIBLE FOR THE PERFORMANCE OF THE PROJECT.</p>	<p>Project: 115 Short St, Birchgrove</p> <p>Title: DOOR / WINDOW SCHEDULE</p>	<p>DATE: 2024</p> <p>DATE: 11/06/24</p> <p>DATE: 20/06/24</p> <p>DATE: 01/07/24</p>	<p>Doc No: A501</p> <p>Rev: 3</p>
	NO.	DESCRIPTION	DATE															
	1	ISSUED FOR PERMIT	2024															
	2	REVISED PER PERMIT CONDITIONS	2024															
3	REVISED PER PERMIT CONDITIONS	2024																

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1 DOOR SCHEDULE - SECOND FLOOR
A502 SCALE 1:50 @ A3



2 WINDOW SCHEDULE - SECOND FLOOR
A502 SCALE 1:50 @ A3



STUDIO JOHNSTON Level 1, 286A Devonshire Street Surry Hills NSW 2010 AUSTRALIA Sydney Australia +61 2 9211 2700 +61 2 9211 2796 ASX: SJN 6011 528 555 contact@studiojohnston.com.au	ALL RIGHTS RESERVED AND NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM STUDIO JOHNSTON.	Project: 115 Short St, Birchgrove	Date: 2024 Rev: 3
	Title: DOOR / WINDOW SCHEDULE	Scale: 1:50 @ A3	Date: 2024 Rev: 3
	Author: (blank)	Designer: (blank)	Checker: (blank)

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Version: 1, Version Date: 08/04/2024

Attachment C – Conditions of Development Consent – DA/2021/0841

Inner West Council at Ainsworth

LEC No: 2022/83369

Annexure A

DETERMINATION OF DEVELOPMENT APPLICATION BY GRANT OF CONSENT

Development Application No: DA/2021/0841

Development: Demolition of existing dwelling and construction of a new multi level dwelling, carport to rear and associated works, including tree removal

Site: 115 Short Street, Birchgrove (Lot 1 DP 543492)

The above development application has been determined by the granting of consent subject to the conditions specified in this consent.

Date of determination:

Date from which consent takes effect: *[Please elect relevant date - Date the consent is registered on the NSW Planning Portal or Date of determination].*

TERMINOLOGY

In this consent:

- (a) Any reference to a Construction, Compliance, Occupation or Subdivision Certificate is a reference to such a certificate as defined in the *Environmental Planning and Assessment Act 1979*.
- (b) Any reference to the "applicant" means a reference to the applicant for development consent or any person who may be carrying out development from time to time pursuant to this consent.
- (c) Any reference to the "site", means the land known as 115 Short Street, Birchgrove (Lot 1 DP 543492).

The conditions of consent are as follows:

DOCUMENTS RELATED TO THE CONSENT

1. Documents related to the consent

The development must be carried out in accordance with plans and documents listed below:

Inner West Council at Ainsworth

LEC No: 2022/83369

Plans			
Plan, Revision and Issue No.	Plan Name	Date Issued	Prepared by
A001	Existing Site Plan	23/06/2021	Whiting Architects
A002	Existing Floor Plan	23/06/2021	Whiting Architects
A010	Demolition Plan	23/06/2021	Whiting Architects
A100 Rev E	Proposed Site Plan/Site Analysis	28/06/2022	Whiting Architects
A101 Rev E	Proposed Ground Floor Plan	28/06/2022	Whiting Architects
A102 Rev E	Proposed First Floor Plan	28/06/2022	Whiting Architects
A103 Rev E	Proposed Second Floor Plan	28/06/2022	Whiting Architects
A104 Rev E	Proposed Roof Plan	28/06/2022	Whiting Architects
A200 Rev D	Proposed East Elevation - Reserve	24/06/2022	Whiting Architects
A201 Rev E	Proposed West Elevation Adjacent to No 113 Short Street	28/06/2022	Whiting Architects
A202 Rev E	Proposed North Elevation – Short Street	28/06/2022	Whiting Architects
A203 Rev D	Proposed South Elevation – Bay Street	24/06/2021	Whiting Architects
A300 Rev E	Preliminary Section A	24/06/2021	Whiting Architects
A301 Rev E	Preliminary Section B	28/06/2021	Whiting Architects
A302 Rev E	Preliminary Section C	28/06/2021	Whiting Architects
Revision A	Finishes Schedule	18/03/2021	Whiting Architects
19234 C1 Rev B	Civil Plan	13/08/2021	Bradley Moran
1319261S	BASIX Certificated	1/07/2022	LC Consulting Engineers
SK 1	Amended 3 – Landscape Plan – Privacy Screen & Planting	30/06/2022	Phillips Marler
SK 2	East Elevation – Existing Proposed Levels	09/06/2022	Phillips Marler

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SK 3	2 – Section – Planting Bed P1 – New Carport Slab – Planting Bed P2	09/06/2022	Phillips Marler
SK 4	3 – Section – Proposed Deck & Garden Bed P3	24/06/2022	Phillips Marler

As amended by the conditions of consent.

2. Amendments

Prior to the commencement of demolition works or prior to the issue of a Construction Certificate, the proposal is to be amended in the following manner:

- a. The Architectural Plans are to be amended as follows:
 - i. the privacy screen shown in Amended 3 – Landscape Plan – Privacy Screen & Planting Drawing SK1 is to be of solid timber construction.

Plans detailing these amendments are required to be shown on the Construction Certificate.

FEES

3. Security Deposit - Custom

Prior to the commencement of demolition works or prior to the issue of a Construction Certificate, the Certifying Authority must be provided with written evidence that a security deposit and inspection fee has been paid to Council to cover the cost of making good any damage caused to any Council property or the physical environment as a consequence of carrying out the works and as surety for the proper completion of any road, footpath and drainage works required by this consent.

Security Deposit:	\$2254.00
Inspection Fee:	\$241.50

Payment will be accepted in the form of cash, bank cheque, EFTPOS/credit card (to a maximum of \$10,000) or bank guarantee. Bank Guarantees must not have an expiry date.

The inspection fee is required for the Council to determine the condition of the adjacent road reserve and footpath prior to and on completion of the works being carried out.

Should any of Council's property and/or the physical environment sustain damage during the course of the demolition or construction works, or if the works put Council's assets or the environment at risk, or if any road, footpath or drainage works required by this consent are not completed satisfactorily, Council may carry out any works necessary to repair the damage, remove the risk or complete the works. Council may utilise part or all of the security deposit to restore any damages, and Council may recover, in any court of competent jurisdiction, any costs to Council for such restorations.

A request for release of the security may be made to the Council after all construction work has been completed and a final Occupation Certificate issued.

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The amount nominated is only current for the financial year in which the initial consent was issued and is revised each financial year. The amount payable must be consistent with Council's Fees and Charges in force at the date of payment.

4. Section 7.12 (formerly section 94A) Development Contribution Payments

Prior to the issue of a Construction Certificate, written evidence must be provided to the Certifying Authority that a monetary contribution to the Inner West Council has been paid, towards the provision of infrastructure, required to address increased demand for local services generated by additional development within the Local Government Area (LGA). This condition is imposed in accordance with Section 7.12 of the *Environmental Planning and Assessment Act 1979* and in accordance with the *Former Leichhardt Local Government Area Section 7.12 Development Contributions Plan 2020*.

Note:

Copies of these contribution plans can be inspected at any of the Inner West Council Service Centres or viewed online at <https://www.innerwest.nsw.gov.au/develop/planning-controls/section-94-contributions>

Payment amount*:

\$13,000.00

*Indexing of the Section 7.12 contribution payment:

The contribution amount to be paid to the Council is to be adjusted at the time of the actual payment in accordance with the provisions of the relevant contributions plan. In this regard, you are recommended to make contact with Inner West Council *prior to arranging your payment method* to confirm the correct current payment amount (at the expected time of payment).

Payment methods:

The required contribution must be paid either **by BPAY (to a maximum of \$500,000); unendorsed bank cheque (from an Australian Bank only); EFTPOS (Debit only); credit card (Note: A 1% credit card transaction fee applies to all credit card transactions; cash (to a maximum of \$10,000))**. It should be noted that personal cheques or bank guarantees cannot be accepted for the payment of these contributions. **Prior to payment contact Council's Planning Team to review charges to current indexed quarter, please allow a minimum of 2 business days for the invoice to be issued before payment can be accepted.**

5. Long Service Levy

Prior to the issue of a Construction Certificate, written evidence must be provided to the Certifying Authority that the long service levy in accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986* has been paid at the prescribed rate of 0.35% of the total cost of the work to either the Long Service Payments Corporation or Council for any work costing \$25,000 or more.

GENERAL CONDITIONS

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6. Boundary Alignment Levels

Alignment levels for the site at all pedestrian and vehicular access locations must match the existing back of footpath levels at the boundary.

7. Tree Protection

No trees on public property (footpaths, roads, reserves etc.) are to be removed or damaged during works unless specifically approved in this consent or marked on the approved plans for removal.

Prescribed trees protected by Council’s Management Controls on the subject property and/or any vegetation on surrounding properties must not be damaged or removed during works unless specific approval has been provided under this consent.

Any public tree within five (5) metres of the development must be protected in accordance with Council’s *Development Fact Sheet—Trees on Development Sites*.

No activities, storage or disposal of materials taking place beneath the canopy of any tree (including trees on neighbouring sites) protected under Council’s Tree Management Controls at any time.

8. Works to Trees

Approval is given for the following works to be undertaken to trees on the site after the issuing of a Construction Certificate:

Tree/location	Approved works
<i>Cedrus deodara</i> (Deodar Cedar) Front	Remove
<i>Ficus benjamina</i> (Weeping Fig) Rear	Remove

Removal or pruning of any other tree (that would require consent of Council) on the site is not approved and shall be retained and protected in accordance with Council’s *Development Fact Sheet—Trees on Development Sites*.

9. Waste Management Plan

Prior to the commencement of any works (including any demolition works), the Certifying Authority is required to be provided with a Recycling and Waste Management Plan (RWMP) in accordance with the relevant Development Control Plan.

10. Erosion and Sediment Control

Prior to the issue of a commencement of any works (including any demolition works), the Certifying Authority must be provided with an erosion and sediment control plan and specification. Sediment control devices must be installed and maintained in proper working order to prevent sediment discharge from the construction site.

11. Standard Street Tree Protection

Prior to the commencement of any work, the Certifying Authority must be provided with details of the methods of protection of all street trees adjacent to the site during demolition and construction.

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12. Works Outside the Property Boundary

This development consent does not authorise works outside the property boundaries on adjoining lands.

PRIOR TO ANY DEMOLITION

13. Hoardings

The person acting on this consent must ensure the site is secured with temporary fencing prior to any works commencing.

If the work involves the erection or demolition of a building and is likely to cause pedestrian or vehicular traffic on public roads or Council controlled lands to be obstructed or rendered inconvenient, or building involves the enclosure of public property, a hoarding or fence must be erected between the work site and the public property. An awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling onto public property.

Separate approval is required from the Council under the *Roads Act 1993* to erect a hoarding or temporary fence or awning on public property.

14. Dilapidation Report

Prior to any works commencing (including demolition), the Certifying Authority and owners of identified properties, must be provided with a colour copy of a dilapidation report prepared by a suitably qualified person. The report is required to include colour photographs of the adjoining property at No. 113 Short Street to the Certifying Authority's satisfaction. In the event that the consent of the adjoining property owner cannot be obtained to undertake the report, copies of the letter/s that have been sent via registered mail and any responses received must be forwarded to the Certifying Authority before work commences.

15. Advising Neighbours Prior to Excavation

At least 7 days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.

16. Construction Fencing

Prior to the commencement of any works (including demolition), the site must be enclosed with suitable fencing to prohibit unauthorised access. The fencing must be erected as a barrier between the public place and any neighbouring property.

PRIOR TO CONSTRUCTION CERTIFICATE

17. Dilapidation Report – Pre-Development – Minor

Prior to the issue of a Construction Certificate or any demolition, the Certifying Authority must be provided with a dilapidation report including colour photos showing the existing condition of the footpath and roadway adjacent to the site.

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18. Stormwater Drainage System – Minor Developments (OSD is required)

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with stormwater drainage design plans incorporating on site stormwater detention and/or on site retention/ re-use facilities (OSR/OSD), certified by a suitably qualified Civil Engineer that the design of the site drainage system complies with the following specific requirements:

- a. The stormwater drainage concept plan on Drawing No. C1 revision (A) prepared by BRADLEY MORAN Consulting Engineers and dated 13 August 2021, must be amended to comply with Drawings A101 Rev.E and A 102 Rev.E prepared by Whiting Architects and the following requirements;
- b. Stormwater runoff from all roof areas within the property being collected in a system of gutters, pits and pipeline and be discharged, together with overflow pipelines from any rainwater tank(s), by gravity to the kerb and gutter of a public road/directly to Council's piped drainage system via the OSD/OSR tanks as necessary;
- c. Comply with Council's Stormwater Drainage Code, Australian Rainfall and Runoff (A.R.R.), Australian Standard AS3500.3-2018 'Stormwater Drainage' and Council's DCP;
- d. Charged or pump-out stormwater drainage systems are not permitted including for roof drainage;
- e. The design plans must detail the existing and proposed site drainage layout, size, class and grade of pipelines, pit types, roof gutter and downpipe sizes;
- f. The plans, including supporting calculations, must demonstrate that the post development flows for the 100 year ARI storm are restricted to the pre development flows for the 5 year ARI storm event in accordance with Section E1.2.3 (C2 and C3) of Council's DCP2013 and the maximum allowable discharge to Council's street gutter limited to 15 litres/second (100year ARI);
- g. OSD may be reduced or replaced by on site retention (OSR) for rainwater reuse in accordance with the relevant DCP that applies to the land. Where this is pursued, the proposed on-site retention (OSR) tanks must be connected to a pump system for internal reuse for laundry purposes, the flushing of all toilets and for outdoor usage such as irrigation. Surface water must not be drained to rainwater tanks where the collected water is to be used to supply water inside the dwelling, such as for toilet flushing or laundry use;
- h. Pipe and channel drainage systems including gutters must be designed to convey the one hundred (100) year Average Recurrence Interval (ARI) flows from the contributing catchment to the OSD/OSR tanks;
- i. Where a combined OSD/OSR is proposed, only the roof water is permitted to be connected to the storage tank. The overflow from the rainwater tank can be connected under gravity to the kerb and gutter of a public road. A discharge control device will not be required;
- j. Details of the 100-year ARI overflow route in case of failure/blockage of the drainage system must be provided;
- k. An overland flow path must be provided within the setback to the western side boundary between the front of the dwelling and the Bay Street frontage. The front courtyard must be graded so that bypass flows from the site drainage system are directed to the overland flow path. All retained areas must ensure that water is not able to enter the neighbouring property and that water flows through the site are not impeded. In this regard, the wall shown between the south-western corner of the building and the wall on the western boundary is to be no higher than existing ground level at the top of the wall.
- l. As there is no overland flow/flood path available from the central courtyards to the Bay Street frontage, the design of the sag pit and piped drainage system is to meet the following criteria:

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- a. Capture and convey the 100 year Average Recurrence Interval flow from the contributing catchment assuming 80% blockage of the inlet and 50% blockage of the pipe;
- b. The maximum water level over the sag pit shall not be less than 150 mm below the floor level or damp course of the building; and
- c. The design shall make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands.
- m. A minimum 150mm step up shall be provided between all external finished surfaces and adjacent internal floor areas;
- n. The design must make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands;
- o. Details of external catchments currently draining to the site must be included on the plans. Existing natural overland flows from external catchments may not be blocked or diverted, but must be captured and catered for within the proposed site drainage system. Where necessary an inter-allotment drainage system must be incorporated into the design;
- p. No nuisance or concentration of flows to other properties;
- q. The stormwater system must not be influenced by backwater effects or hydraulically controlled by the receiving system;
- r. Plans must specify that any components of the existing system to be retained must be certified during construction to be in good condition and of adequate capacity to convey the additional runoff generated by the development and be replaced or upgraded if required;
- s. An inspection opening or stormwater pit must be installed inside the property, adjacent to the boundary, for all stormwater outlets;
- t. Only a single point of discharge is permitted to the kerb and gutter, per frontage of the site;
- u. New pipelines within the footpath area that are to discharge to the kerb and gutter must be hot dipped galvanised steel hollow section with a minimum wall thickness of 4.0 mm and a maximum section height and width of 100 mm or sewer grade uPVC pipe with a maximum diameter of 100 mm;
- v. All stormwater outlets through sandstone kerbs must be carefully core drilled in accordance with Council standard drawings;
- w. All redundant pipelines within footpath area must be removed and footpath/kerb reinstated;
- x. Stormwater drainage must be located such that any waters leaving the pool must drain to pervious areas prior to potentially draining to the site stormwater drainage system; and
- y. No impact to street tree(s).

19. Parking Facilities - Domestic

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with plans certified by a suitably qualified Civil Engineer demonstrating that the design of the vehicular access and off-street parking facilities must comply with Australian Standard AS/NZS2890.1-2004 Parking Facilities – Off-Street Car Parking and the following specific requirements:

- a. The garage slab or driveway must rise within the property to be 170mm above the adjacent road gutter level and higher than the street kerb and footpath across the full width of the vehicle crossing. The longitudinal profile across the width of the vehicle crossing must comply with the Ground Clearance requirements of AS/NZS 2890.1-2004;

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- b. A minimum of 2200mm headroom must be provided throughout the access and parking facilities. Note that the headroom must be measured at the lowest projection from the ceiling, such as lighting fixtures, and to open garage doors;
- c. Longitudinal sections along each outer edge of the access and parking facilities, extending to the centreline of the road carriageway must be provided, demonstrating compliance with the above requirements;
- d. The garage/carport/parking space must have minimum clear internal dimensions of 6000 mm x 3000 mm (length x width) and a door opening width of 2800 mm at the street frontage for a single car space and of 6000 mm x 5400 mm (length x width) and a door opening width of 5300 mm at the street frontage for a double car space. The dimensions must be exclusive of obstructions such as walls, doors and columns, except where they do not encroach inside the design envelope specified in Section 5.2 of AS/NZS 2890.1-2004;
- e. A plan of the proposed access and adjacent laneway, drawn at a 1:100 scale, demonstrating that vehicle manoeuvrability for entry and exit to the parking space complies with swept paths from AS/NZS 2890.1:2004. The plan must include any existing on-street parking spaces;
- f. The maximum gradients within the parking module must not exceed 1 in 20 (5%), measured parallel to the angle of parking and 1 in 16 (6.25%), measured in any other direction in accordance with the requirements of Section 2.4.6 of AS/NZS 2890.1-2004; and
- g. The external form and height of the approved structures must not be altered from the approved plans.

20. Structural and Geotechnical Report

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with an integrated structural and geotechnical report and structural plans that address the design of the proposed basement, prepared certified as compliant with the terms of this condition by a qualified practicing Structural and Geotechnical Engineer(s) who holds current Chartered Engineer qualifications with the Institution of Engineers Australia (CPEng) or current Registered Professional Engineer qualifications with Professionals Australia (RPEng). The report and plans must be prepared/ amended to make provision for the following:

- a. The basement must be fully tanked to prevent the ingress of subsurface flows;
- b. Retaining walls must be entirely self-supporting in the event that excavation is undertaken within the road reserve adjacent to the property boundary to the depth of the proposed structure;
- c. Any existing or proposed retaining walls that provide support to the road reserve must be adequate to withstand the loadings that could be reasonably expected from within the constructed road and footpath area, including normal traffic and heavy construction and earth moving equipment, based on a design life of not less than 50 years;
- d. All components of the basement, including footings, must be located entirely within the property boundary;
- e. No adverse impact on surrounding properties including Council's footpath and road;
- f. The existing subsurface flow regime in the vicinity of the development must not be significantly altered as a result of the development;
- g. Recommendations regarding the method of excavation and construction, vibration emissions and identifying risks to existing structures or those on adjoining or nearby property; and
- h. Provide relevant geotechnical/ subsurface conditions of the site, as determined by a full geotechnical investigation.

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21. Changes to Levels

Prior to the issue of a Construction Certificate, the Certifying Authority must be provided with amended plans incorporating the following amendments:

- a. A 150 mm step up must be provided between the finished surface level of the external area and the finished floor level of the internal rooms.

22. Tree Planting Plan 106

A detailed tree planting plan and landscape plan prepared by a Landscape Architect must be submitted to and approved by Council. The plan must include:

- a. Location of proposed structures on the site including, but not limited to existing and proposed trees, paved areas and planted areas;
- b. Details of the entrance walkway/deck on the Short Street frontage. The decking must be designed/constructed to allow moisture penetration to the ground below and maximise unobstructed soil volume. The size of the decking boards, spacing between them, pier dimensions and locations must be specified.
- c. Location, numbers, type and container size of trees, with reference to AS2303:2018—*Tree stock for landscape use*;
- d. Three (3) x 100 litre (minimum container size at planting) trees must be included in the design;
- e. It must be demonstrated that there is sufficient soil volume to allow maturity to be achieved (refer to Council's *Development Fact Sheet—Trees on Development Sites* for further information).
- f. New trees must be appropriately located away from existing buildings and structures to allow maturity to be achieved without restriction.
- g. Details of planting specification and maintenance programme.

23. Structural Certificate for retained elements of the building

Prior to the issue of a Construction Certificate, the Certifying Authority is required to be provided with a Structural Certificate prepared by a practising structural engineer, certifying the structural adequacy of the property and its ability to withstand the proposed additional, or altered structural loads during all stages of construction. The certificate must also include all details of the methodology to be employed in construction phases to achieve the above requirements without result in demolition of elements marked on the approved plans for retention.

24. Sydney Water – Tap In

Prior to the issue of a Construction Certificate, the Certifying Authority is required to ensure approval has been granted through Sydney Water's online 'Tap In' program to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met.

Note: Please refer to the web site <http://www.sydneywater.com.au/tapin/index.htm> for details on the process or telephone 13 20 92

DURING DEMOLITION AND CONSTRUCTION

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25. Construction Hours – Class 1 and 10

Unless otherwise approved by Council, excavation, demolition, construction or subdivision work are only permitted between the hours of 7:00am to 5:00pm, Mondays to Saturdays (inclusive) with no works permitted on, Sundays or Public Holidays.

26. Survey Prior to Footings

Upon excavation of the footings and before the pouring of the concrete, the Certifying Authority must be provided with a certificate of survey from a registered land surveyor to verify that the structure will not encroach over the allotment boundaries.

PRIOR TO OCCUPATION CERTIFICATE

27. Public Domain Works

Prior to the issue of an Occupation Certificate, the Principal Certifier must be provided with written evidence from Council that the following works on the Road Reserve have been completed in accordance with the requirements of the approval under Section 138 of the *Roads Act 1993* including:

- a. Light duty concrete vehicle crossing(s) at the vehicular access location(s);
- b. The redundant vehicular crossing to the site must be removed and replaced by kerb and gutter and footpath. Where the kerb in the vicinity of the redundant crossing is predominately stone (as determined by Council's Engineer) the replacement kerb must also be in stone; and
- c. Other works subject to the *Roads Act 1993* approval.

All works must be constructed in accordance with Council's standards and specifications and AUS-SPEC#2-“Roadworks Specifications”.

28. No Encroachments

Prior to the issue of an Occupation Certificate, the Principal Certifier must ensure that any encroachments on to Council road or footpath resulting from the building works have been removed, including opening doors, gates and garage doors with the exception of any awnings or balconies approved by Council.

29. Protect Sandstone Kerb

Prior to the issue of an Occupation Certificate, the Principal Certifier must ensure that any stone kerb, damaged as a consequence of the work that is the subject of this development consent, has been replaced.

30. Works as Executed – Site Stormwater Drainage System

Prior to the issue of an Occupation Certificate, the Principal Certifier must be provided with Certification by a suitably qualified Civil Engineer who holds current Chartered Engineer qualifications with the Institution of Engineers Australia (CPEng) or current Registered Professional Engineer qualifications with Professionals Australia (RPEng) that:

- a. The stormwater drainage system has been constructed in accordance with the approved design and relevant Australian Standards; and
- b. Works-as-executed plans of the stormwater drainage system certified by a Registered Surveyor, to verify that the drainage system has been constructed, OSD/OSR system

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commissioned and stormwater quality improvement device(s) and any pump(s) installed in accordance with the approved design and relevant Australian Standards have been submitted to Council. The works-as-executed plan(s) must show the as built details in comparison to those shown on the drainage plans approved with the Construction Certificate. All relevant levels and details indicated must be marked in red on a copy of the Principal Certifier stamped Construction Certificate plans.

31. Operation and Management Plan

Prior to the issue of an Occupation Certificate, the Principal Certifier must be provided with an Operation and Management Plan has been prepared and implemented for the on-site detention and/or on-site retention/re-use facilities and stormwater quality improvement device(s) and pump(s). The Plan must set out the following at a minimum:

- a. The proposed maintenance regime, specifying that the system is to be regularly inspected and checked by qualified practitioners; and
- b. The proposed method of management of the facility, including procedures, safety protection systems, emergency response plan in the event of mechanical failure, etc.

32. Redundant Vehicle Crossing

Prior to the issue of an Occupation Certificate, the Principal Certifier must ensure that all redundant vehicular crossings to the site have been removed and replaced by kerb and gutter and footpath paving in accordance with Council's Standard crossing and footpath specifications and AUS-SPEC#2-"Roadworks Specifications". Where the kerb in the vicinity of the redundant crossing is predominantly stone the replacement kerb must also be in stone.

33. Parking Signoff – Minor Developments

Prior to the issue of an Occupation Certificate, the Principal Certifier must be provided with certification from a qualified practising Civil Engineer that the vehicle access and off street parking facilities have been constructed in accordance with the approved design and relevant Australian Standards.

34. Certification of Tree Planting

Prior to the issue of any Occupation Certificate, the Principal Certifier is to be provided with evidence certified by a person holding a minimum qualification of AQF3 Certificate of Horticulture or Arboriculture that:

Three (3) x 100 litre (minimum container size) trees have been planted in accordance with the approved Landscape Plans prepared by Phillips Marler and dated 24/06/2022 and 09/06/2022 (sections SK3 and SK4). The trees must conform to AS2303—*Tree stock for landscape use*. The species to be planted are 1 x *Lagerstroemia indica* 'Natchez' on the Short Street frontage and 1 x *Eucalyptus haemastoma* and 1 x *Banksia integrifolia* on the Bay Street frontage.

Five (5) x *Gardenia augusta* 'Florida' have been planted in accordance with Amended 3 – Landscape Plan – Privacy Screen & Planting Drawing SK1.

If the trees are found dying or dead before they reach dimensions whereby they are protected by Council's Tree Management Controls they must be replaced in accordance with this condition.

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ON-GOING

35. Operation and Management Plan

The Operation and Management Plan for the on-site detention and/or on-site retention/re-use, approved with the Occupation Certificate, must be implemented and kept in a suitable location on site at all times.

36. Tree Establishment

The trees planted as part of this consent are to be maintained in a healthy and vigorous condition until they attain dimensions whereby they are subject to Council's Tree Management Controls (Tree Management DCP). If the trees are found dead, dying, faulty or damaged prior to being subject to the controls, they must be replaced in accordance with the approved Landscape Plans.

ADVISORY NOTES

Permits

Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent must obtain all applicable Permits from Council in accordance with Section 68 (Approvals) of the *Local Government Act 1993* and/or Section 138 of the *Roads Act 1993*. Permits are required for the following activities:

- a. Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application;
- b. A concrete pump across the roadway/footpath;
- c. Mobile crane or any standing plant;
- d. Skip Bins;
- e. Scaffolding/Hoardings (fencing on public land);
- f. Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.;
- g. Awning or street veranda over the footpath;
- h. Partial or full road closure; and
- i. Installation or replacement of private stormwater drain, utility service or water supply.

If required contact Council's Road Access team to ensure the correct Permit applications are made for the various activities. Applications for such Permits must be submitted and approved by Council prior to the commencement of the works associated with such activity.

Insurances

Any person acting on this consent or any contractors carrying out works on public roads or Council controlled lands is required to take out Public Liability Insurance with a minimum cover of twenty (20) million dollars in relation to the occupation of, and approved works within those lands. The Policy is to note, and provide protection for Inner West Council, as an interested party and a copy of the Policy must be submitted to Council prior to commencement of the works. The Policy must be valid for the entire period that the works are being undertaken on public property.

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Public Domain and Vehicular Crossings

The vehicular crossing and/or footpath works are required to be constructed by your contractor. You or your contractor must complete an application for *Design of Vehicle Crossing and Public Domain Works – Step 1* form and *Construction of Vehicle Crossing and Public Domain Works – Step 2* form, lodge a bond for the works, pay the appropriate fees and provide evidence of adequate public liability insurance, before commencement of works.

You are advised that Council has not undertaken a search of existing or proposed utility services adjacent to the site in determining this application. Any adjustment or augmentation of any public utility services including Gas, Water, Sewer, Electricity, Street lighting and Telecommunications required as a result of the development must be at no cost to Council

Any damage caused during construction to Council assets on the road reserve or on Council or Crown land must be repaired at no cost to Council.

Any driveway crossovers or other works within the road reserve must be provided at no cost to Council.

No consent is given or implied for any Encroachments onto Council's road or footpath of any service pipes, sewer vents, boundary traps, downpipes, gutters, eaves, awnings, stairs, doors, gates, garage tilt up panel doors or any structure whatsoever, including when open.

Consent of Adjoining property owners

This consent does not authorise the applicant, or the contractor engaged to do the tree works to enter a neighbouring property. Where access to adjacent land is required to carry out approved tree works, Council advises that the owner's consent must be sought. Notification is the responsibility of the person acting on the consent. Should the tree owner/s refuse access to their land, the person acting on the consent must meet the requirements of the *Access To Neighbouring Lands Act 2000* to seek access.

Arborists standards

All tree work must be undertaken by a practicing Arborist. The work must be undertaken in accordance with AS4373—*Pruning of amenity trees* and the Safe Work Australia Code of Practice—*Guide to Managing Risks of Tree Trimming and Removal Work*. Any works in the vicinity of the Low Voltage Overhead Network (including service lines—pole to house connections) must be undertaken by an approved Network Service Provider contractor for the management of vegetation conflicting with such services. Contact the relevant Network Service Provider for further advice in this regard.

Tree Protection Works

All tree protection for the site must be undertaken in accordance with Council's *Development Fact Sheet—Trees on Development Sites* and AS4970—*Protection of trees on development sites*.

Tree Pruning or Removal (including root pruning/mapping)

Removal or pruning of any other tree (that would require consent of Council) on the site is not approved and must be retained and protected in accordance with Council's *Development Fact Sheet—Arborist Reports*.

Inner West Council at Ainsworth

LEC No: 2022/83369

Prescribed Conditions

This consent is subject to the prescribed conditions of consent within clause 98-98E of the *Environmental Planning and Assessment Regulations 2000*.

Notification of commencement of works

At least 7 days before any demolition work commences:

- a. the Council must be notified of the following particulars:
 - i. the name, address, telephone contact details and licence number of the person responsible for carrying out the work; and
 - ii. the date the work is due to commence and the expected completion date; and
- b. a written notice must be placed in the letter box of each directly adjoining property identified advising of the date the work is due to commence.

Storage of Materials on public property

The placing of any materials on Council's footpath or roadway is prohibited, without the prior consent of Council.

Toilet Facilities

The following facilities must be provided on the site:

- a. Toilet facilities in accordance with WorkCover NSW requirements, at a ratio of one toilet per every 20 employees; and
- b. A garbage receptacle for food scraps and papers, with a tight fitting lid.

Facilities must be located so that they will not cause a nuisance.

Infrastructure

The developer must liaise with the Sydney Water Corporation, Ausgrid, AGL and Telstra concerning the provision of water and sewerage, electricity, natural gas and telephones respectively to the property. Any adjustment or augmentation of any public utility services including Gas, Water, Sewer, Electricity, Street lighting and Telecommunications required as a result of the development must be undertaken before occupation of the site.

Other Approvals may be needed

Approvals under other acts and regulations may be required to carry out the development. It is the responsibility of property owners to ensure that they comply with all relevant legislation. Council takes no responsibility for informing applicants of any separate approvals required.

Failure to comply with conditions

Failure to comply with the relevant provisions of *the Environmental Planning and Assessment Act 1979* and/or the conditions of this consent may result in the serving of penalty notices or legal action.

Other works

Works or activities other than those approved by this Development Consent will require the submission of a new Development Application or an application to modify the consent under Section 4.55 of the *Environmental Planning and Assessment Act 1979*.

Inner West Council at Ainsworth

LEC No: 2022/83369

Obtaining Relevant Certification

This development consent does not remove the need to obtain any other statutory consent or approval necessary under any other Act, such as (if necessary):

- a. Application for any activity under that Act, including any erection of a hoarding;
- b. Application for a Construction Certificate under the *Environmental Planning and Assessment Act 1979*;
- c. Application for an Occupation Certificate under the *Environmental Planning and Assessment Act 1979*;
- d. Application for a Subdivision Certificate under the *Environmental Planning and Assessment Act 1979* if land (including stratum) subdivision of the development site is proposed;
- e. Application for Strata Title Subdivision if strata title subdivision of the development is proposed;
- f. Development Application for demolition if demolition is not approved by this consent; or
- g. Development Application for subdivision if consent for subdivision is not granted by this consent.

Disability Discrimination Access to Premises Code

The *Disability Discrimination Act 1992* (Commonwealth) and the *Anti-Discrimination Act 1977* (NSW) impose obligations on persons relating to disability discrimination. Council's determination of the application does not relieve persons who have obligations under those Acts of the necessity to comply with those Acts.

National Construction Code (Building Code of Australia)

A complete assessment of the application under the provisions of the National Construction Code (Building Code of Australia) has not been carried out. All building works approved by this consent must be carried out in accordance with the requirements of the National Construction Code.

Notification of commencement of works

Residential building work within the meaning of the *Home Building Act 1989* must not be carried out unless the PCA (not being the council) has given the Council written notice of the following information:

- a. In the case of work for which a principal contractor is required to be appointed:
 - i. The name and licence number of the principal contractor; and
 - ii. The name of the insurer by which the work is insured under Part 6 of that Act.
- b. In the case of work to be done by an owner-builder:
 - i. The name of the owner-builder; and
 - ii. If the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

Dividing Fences Act

The person acting on this consent must comply with the requirements of the *Dividing Fences Act 1991* in respect to the alterations and additions to the boundary fences.

Inner West Council at Ainsworth

LEC No: 2022/83369

Permits from Council under Other Acts

Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent must obtain all applicable Permits from Council in accordance with Section 68 (Approvals) of the *Local Government Act 1993* and/or Section 138 of the *Roads Act 1993*. Permits are required for the following activities:

- a. Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application;
- b. A concrete pump across the roadway/footpath;
- c. Mobile crane or any standing plant;
- d. Skip bins;
- e. Scaffolding/Hoardings (fencing on public land);
- f. Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.;
- g. Awning or street verandah over footpath;
- h. Partial or full road closure; and
- i. Installation or replacement of private stormwater drain, utility service or water supply.

Contact Council's Road Access team to ensure the correct Permit applications are made for the various activities. A lease fee is payable for all occupations.

Noise

Noise arising from the works must be controlled in accordance with the requirements of the *Protection of the Environment Operations Act 1997* and guidelines contained in the New South Wales Environment Protection Authority Environmental Noise Control Manual.

Amenity Impacts General

The use of the premises must not give rise to an environmental health nuisance to the adjoining or nearby premises and environment. There are to be no emissions or discharges from the premises, which will give rise to a public nuisance or result in an offence under the *Protection of the Environment Operations Act 1997* and Regulations. The use of the premises and the operation of plant and equipment must not give rise to the transmission of a vibration nuisance or damage other premises.

Construction of Vehicular Crossing

The vehicular crossing and/or footpath works are required to be constructed by your own contractor. You or your contractor must complete an application for *Construction of a Vehicular Crossing & Civil Works* form, lodge a bond for the works, pay the appropriate fees and provide evidence of adequate public liability insurance, prior to commencement of works.

Lead-based Paint

Buildings built or painted prior to the 1970's may have surfaces coated with lead-based paints. Recent evidence indicates that lead is harmful to people at levels previously thought safe. Children particularly have been found to be susceptible to lead poisoning and cases of acute child lead poisonings in Sydney have been attributed to home renovation activities involving the removal of lead based paints. Precautions should therefore be taken if painted surfaces are to be removed or sanded as part of the proposed building alterations, particularly where children or pregnant women may be exposed, and work areas should be thoroughly cleaned prior to occupation of the room or building.

Inner West Council at Ainsworth

LEC No: 2022/83369

Dial before you dig

Contact "Dial Prior to You Dig" prior to commencing any building activity on the site.

Useful Contacts

BASIX Information	1300 650 908 weekdays 2:00pm - 5:00pm
	www.basix.nsw.gov.au
Department of Fair Trading	13 32 20
	www.fairtrading.nsw.gov.au
	Enquiries relating to Owner Builder Permits and Home Warranty Insurance.
Dial Prior to You Dig	1100
	www.dialprior toyoudig.com.au
Landcom	9841 8660
	To purchase copies of Volume One of "Soils and Construction"
Long Service Payments Corporation	131441
	www.lspc.nsw.gov.au
NSW Food Authority	1300 552 406
	www.foodnotify.nsw.gov.au
NSW Government	www.nsw.gov.au/fibro
	www.diysafe.nsw.gov.au
	Information on asbestos and safe work practices.
NSW Office of Environment and Heritage	131 555
	www.environment.nsw.gov.au
Sydney Water	13 20 92
	www.sydneywater.com.au
Waste Service - SITA Environmental Solutions	1300 651 116
	www.wasteservice.nsw.gov.au
Water Efficiency Labelling and Standards (WELS)	www.waterrating.gov.au

Inner West Council at Ainsworth

LEC No: 2022/83369

WorkCover Authority of NSW 13 10 50

www.workcover.nsw.gov.au

Enquiries relating to work safety and asbestos removal and disposal.

Street Numbering

If any new street numbers or change to street numbers (this includes unit and shop numbers) are required, a separate application must be lodged with and approved by Council's GIS Team before being displayed.

Overhead Powerlines

Safe work NSW Document – Work Near Overhead Powerlines: Code of Practice, outlines the minimum safety separation requirements between these mains/poles to structures within the development throughout the construction process. It is a statutory requirement that these distances be maintained throughout construction. Special consideration should be given to the positioning and operating of cranes and the location of any scaffolding.

The "as constructed" minimum clearances to the mains should also be considered. These distances are outlined in the Ausgrid Network Standard, NS220 Overhead Design Manual. This document can be sourced from Ausgrid's website, www.ausgrid.com.au. It remains the responsibility of the developer and relevant contractors to verify and maintain these clearances onsite.

"Should the existing overhead mains require relocating due to the minimum safety clearances being compromised in either of the above scenarios, this relocation work is generally at the developers cost.

It is also the responsibility of the developer to ensure that the existing overhead mains have sufficient clearance from all types of vehicles that are expected be entering and leaving the site."

Attachment D – Stamped Approved Plans – DA/2021/0841

115 SHORT STREET
BIRCHGROVE

DRAWING LIST

PAGE NO.	DRAWING TITLE	SCALE	REV.	ISSUE	PAGE NO.	DRAWING TITLE	SCALE	REV.	ISSUE
A001	EXISTING SITE PLAN	1:200	-	DA APPLICATION	A800	SHADOW CALCULATIONS - 21/06 WINTER	NA	A	DA APPLICATION
A002	EXISTING GROUND FLOOR PLAN	1:100	-	DA APPLICATION	A801	EXISTING SHADOW DIAGRAM - 21/06 9AM	1:200	-	DA APPLICATION
A010	GROUND FLOOR DEMOLITION PLAN	1:100	-	DA APPLICATION	A802	EXISTING SHADOW DIAGRAM - 21/06 10AM	1:200	-	DA APPLICATION
A100	PROPOSED SITE PLAN/SITE ANALYSIS	1:200	E	DA APPLICATION	A803	EXISTING SHADOW DIAGRAM - 21/06 11AM	1:200	-	DA APPLICATION
A101	PROPOSED GROUND FLOOR PLAN	1:100	E	DA APPLICATION	A804	EXISTING SHADOW DIAGRAM - 21/06 12M	1:200	-	DA APPLICATION
A102	PROPOSED FIRST FLOOR	1:100	E	DA APPLICATION	A805	EXISTING SHADOW DIAGRAM - 21/06 1PM	1:200	-	DA APPLICATION
A103	PROPOSED SECOND FLOOR	1:100	E	DA APPLICATION	A806	EXISTING SHADOW DIAGRAM - 21/06 2PM	1:200	-	DA APPLICATION
A104	PROPOSED ROOF PLAN	1:100	E	DA APPLICATION	A807	EXISTING SHADOW DIAGRAM - 21/06 3PM	1:200	-	DA APPLICATION
A200	PROPOSED ELEVATIONS - SOUTH	1:100	D	DA APPLICATION	A808	PROPOSED SHADOW DIAGRAM - 21/06 9AM	1:200	C	DA APPLICATION
A201	PROPOSED ELEVATIONS - NORTH	1:100	E	DA APPLICATION	A809	PROPOSED SHADOW DIAGRAM - 21/06 10AM	1:200	C	DA APPLICATION
A202	PROPOSED ELEVATIONS - WEST/STREETSCAPE	1:100	E	DA APPLICATION	A810	PROPOSED SHADOW DIAGRAM - 21/06 11AM	1:200	C	DA APPLICATION
A203	PROPOSED ELEVATIONS - EAST	1:100	D	DA APPLICATION	A811	PROPOSED SHADOW DIAGRAM - 21/06 12M	1:200	C	DA APPLICATION
A300	PROPOSED SECTION A	1:100	E	DA APPLICATION	A812	PROPOSED SHADOW DIAGRAM - 21/06 1PM	1:200	C	DA APPLICATION
A301	PROPOSED SECTION B	1:100	E	DA APPLICATION	A813	PROPOSED SHADOW DIAGRAM - 21/06 2PM	1:200	C	DA APPLICATION
A302	PROPOSED SECTION C	1:100	E	DA APPLICATION	A814	PROPOSED SHADOW DIAGRAM - 21/06 3PM	1:200	C	DA APPLICATION
A400	GFA CALCULATION	1:125	D	DA APPLICATION	A815	PROPOSED SHADOW ELEVATION - 21/06 9AM	1:100	C	DA APPLICATION
A401	SITE COVERAGE AND LANDSCAPE CALCULATION	1:125	D	DA APPLICATION	A816	PROPOSED SHADOW ELEVATION - 21/06 10AM	1:100	C	DA APPLICATION
					A817	PROPOSED SHADOW ELEVATION - 21/06 11AM	1:100	C	DA APPLICATION
					A818	PROPOSED SHADOW ELEVATION - 21/06 12M	1:100	C	DA APPLICATION
					A819	PROPOSED SHADOW ELEVATION - 21/06 1PM	1:100	C	DA APPLICATION

AREA ANALYSIS

TOTAL SITE AREA	298.58m ²
EXISTING	
EX GROUND FLOOR	14.85m ²
EX FIRST FLOOR	108.29m ²
EX SECOND FLOOR	86.59m ²
PROPOSED GROSS FLOOR AREA	209.68m ²
EXISTING BALCONIES	46.67m ²
EXISTING CARPORT	29.37m ²
EXISTING SITE COVERAGE	152.12m ² (67%)
EX HARD SURFACES	41.96m ²
EX IMPERVIOUS AREA	194.08m ² (85%)
EXISTING LANDSCAPED AREA	34.50m ² (15%)
EXISTING FLOOR SPACE RATIO	0.82 : 1 (20.86m ²)
PROPOSED	
PROPOSED GROUND FLOOR	78.58m ²
PROPOSED FIRST FLOOR	89.70m ²
PROPOSED SECOND FLOOR	42.89m ²
PROPOSED GROSS FLOOR AREA	201.48m ²
PROPOSED BALCONY	17.26m ²
PROPOSED VERANDAH	2.84m ²
PROPOSED CARPORT	31.20m ²
PROPOSED SITE COVERAGE	141.10m ² (67%)
PROPOSED HARD SURFACES	00.00m ²
PROPOSED IMPERVIOUS AREA	157.68m ² (89%)
TOTAL LANDSCAPED AREA	56.55m ² (24.85%)
PROPOSED FLOOR SPACE RATIO	0.9 : 1 (94.48m ²)

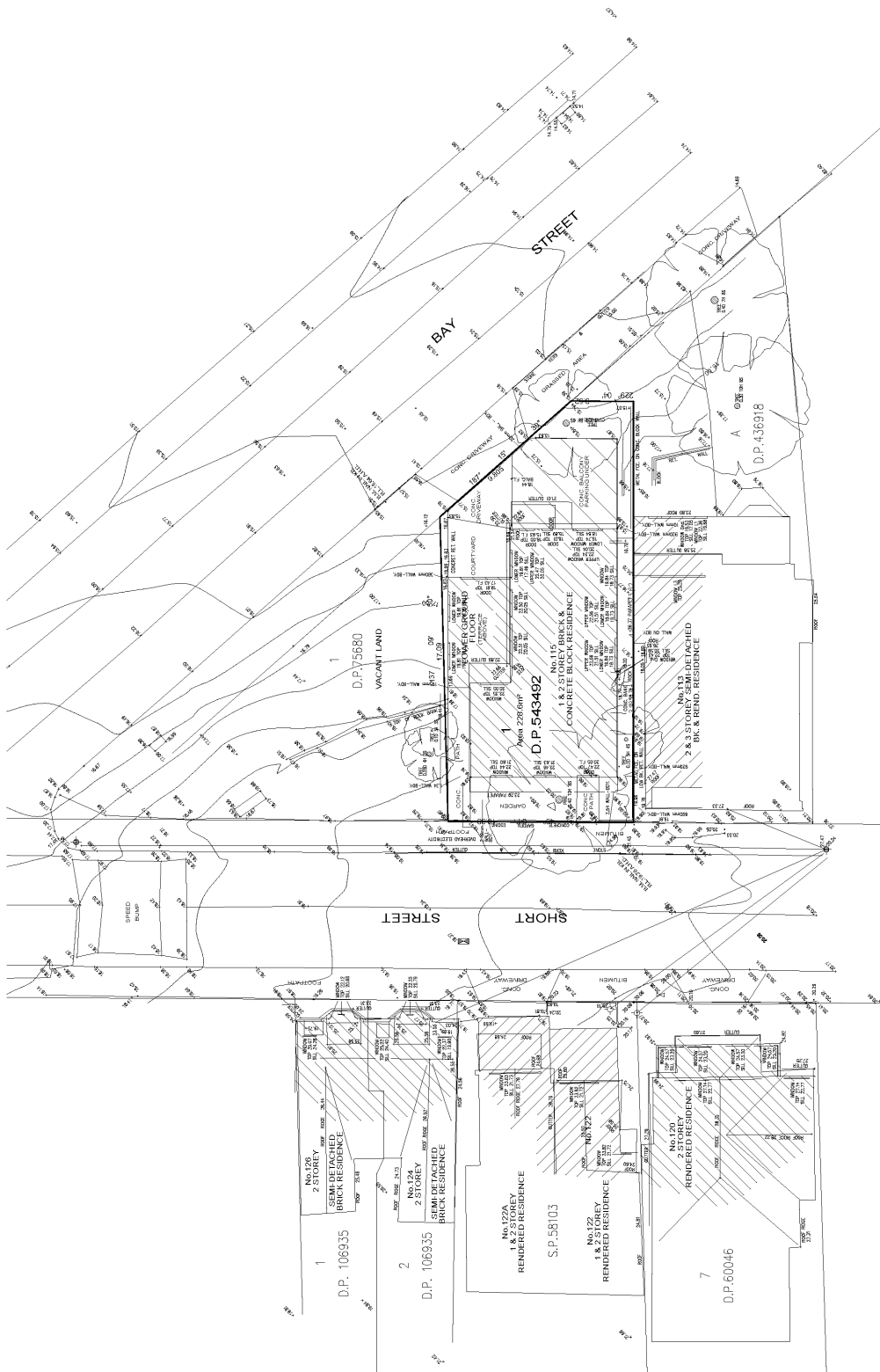
LAND SURVEY

FEATURE SURVEY PREPARED BY RYGGATE & COMPANY PTY. LTD. - LICENCED LAND SURVEYORS.
 LG 88 YORK ST SYDNEY NSW PH: 02 9292 6800.
 PROJECT: 115 SHORT STREET BIRCHGROVE
 DATUM: SURVEY DATE 14/12/2016 REF NO: 77520

All dimensions and areas to be checked on site. Any discrepancies to be notified to the Architect.
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DRAWING	DRAWING TITLE - AREA ANALYSIS	CLIENT	LINDY HANSBORTH
ADDRESS	115 SHORT STREET BIRCHGROVE NSW 2041		
SCALE	NA @ A3		
DRAWN	JS		
CHECKED	SW		
DATE	28.06.2022		
PROJECT	BIRCHGROVE	FACE NO.	A000
REV		REV	E



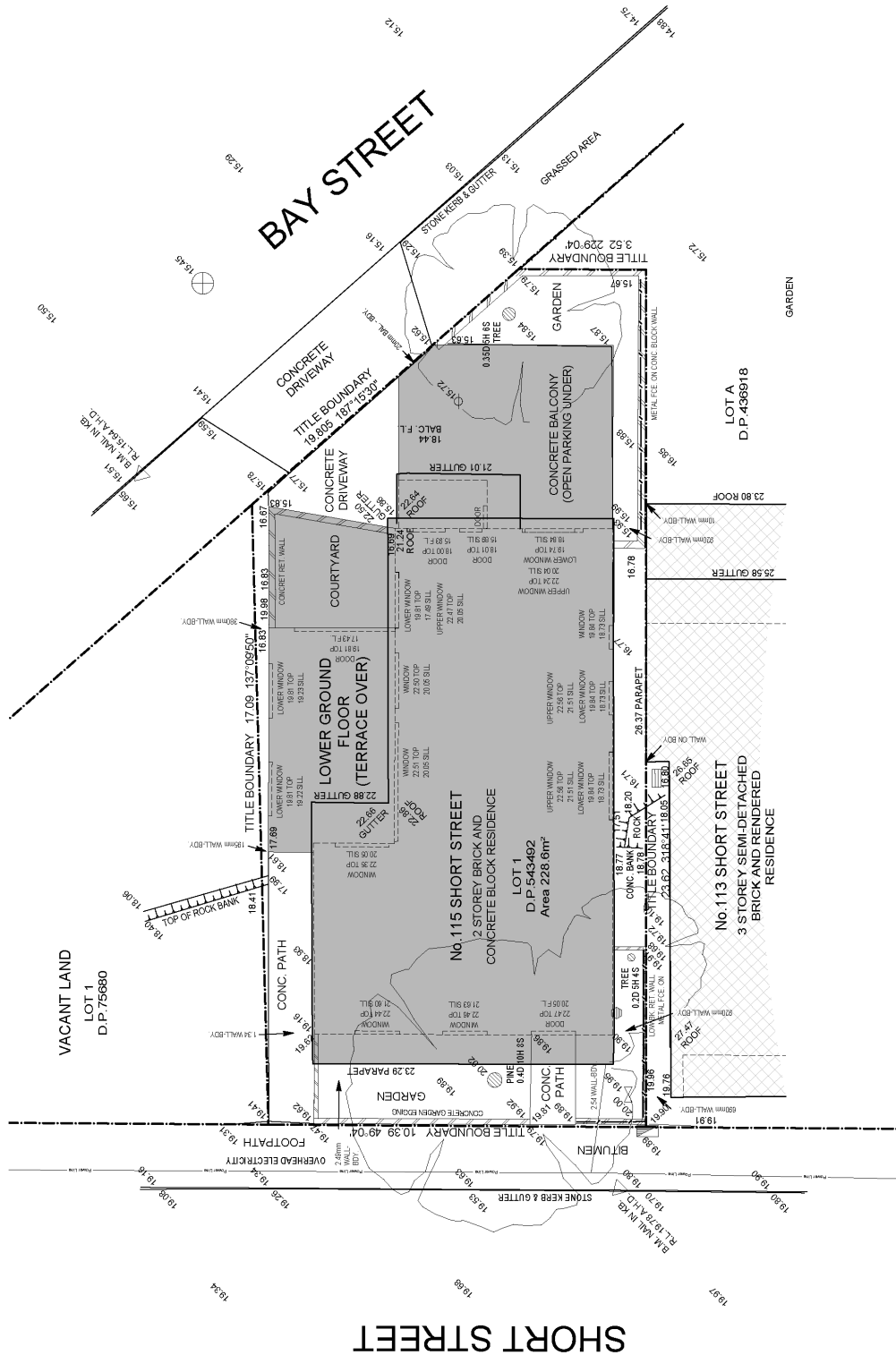
All dimensions and setbacks to be checked on site. Creation or discrepancies to be notified to the Architect.

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DRAWING	EXISTING SITE PLAN	CLIENT	LINDY HANSBORTH
SCALE	1:200 @ A3	ADDRESS	115-117 SHORT STREET BIRCHGROVE NSW 2041
DRAWN	JS	PROJECT	DA APPLICATION
CHECKED	SW	PROJECT	BIRCHGROVE
DATE	20.06.2021	PAGE NO.	A001
		REV	-

1 EXISTING SITE PLAN
A001 SCALE 1:200 @ A3

Document Set ID: 38645762
Version: 1, Version Date: 09/04/2024



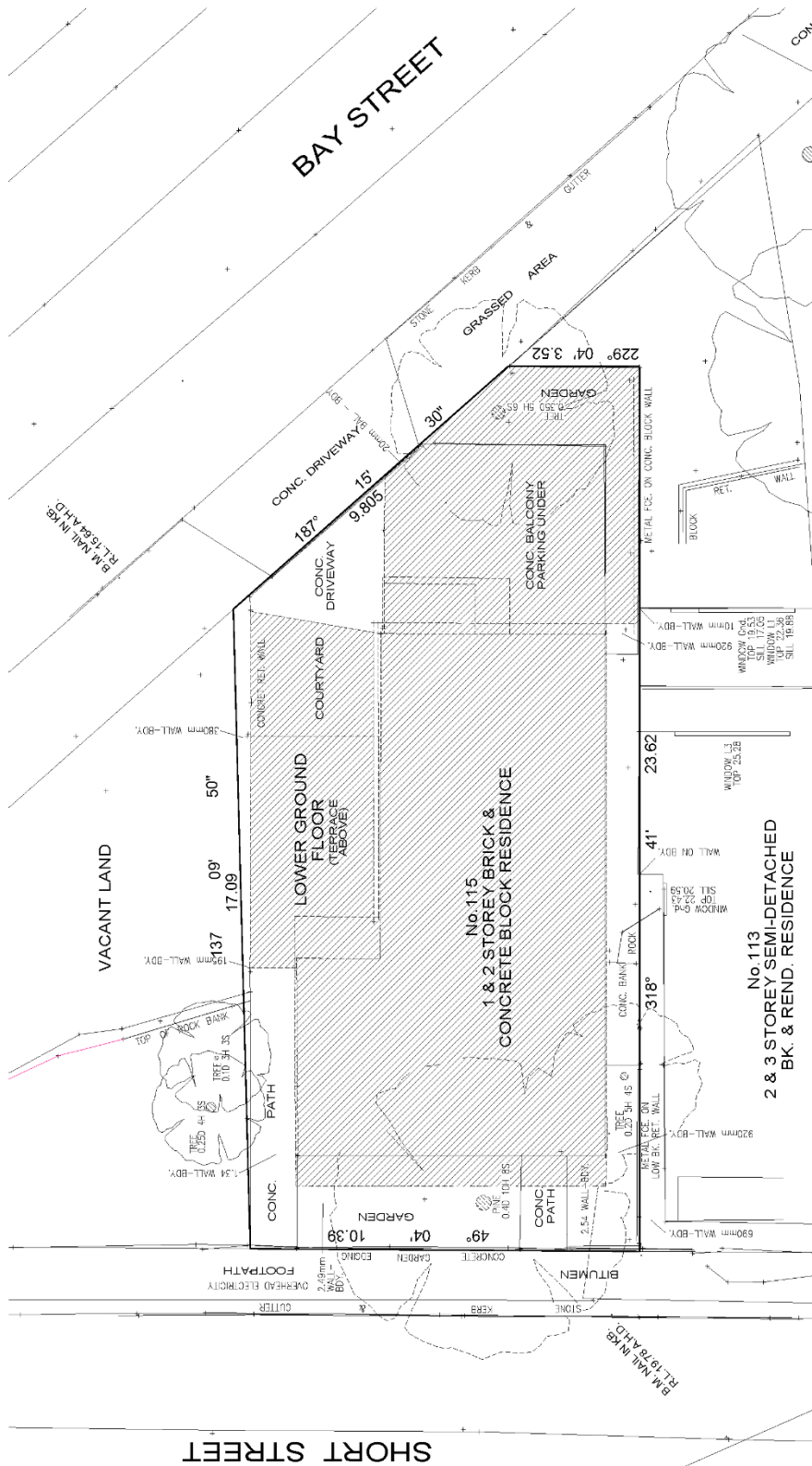
SHORT STREET

All dimensions and notes to be checked and approved by the Architect.
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DRAWING	EXISTING FLOOR PLAN	CLIENT	LINDY HANSBORTH
SCALE	1:100 @ A3	ADDRESS	115 SHORT STREET BIRCHGROVE NSW 2041
DRAWN	JS	PROJECT	DA APPLICATION
CHECKED	SW	PROJECT	BIRCHGROVE
DATE	20.06.2024	PAGE NO.	A002
		REV	-

1 EXISTING FLOOR PLAN
 A002 SCALE 1:100 @ A3

Document Set ID: 38645762
 Version: 1, Version Date: 09/04/2024



All dimensions and details to be checked in the field. The contractor is responsible for the work. Changes or discrepancies to be notified to the Architect.

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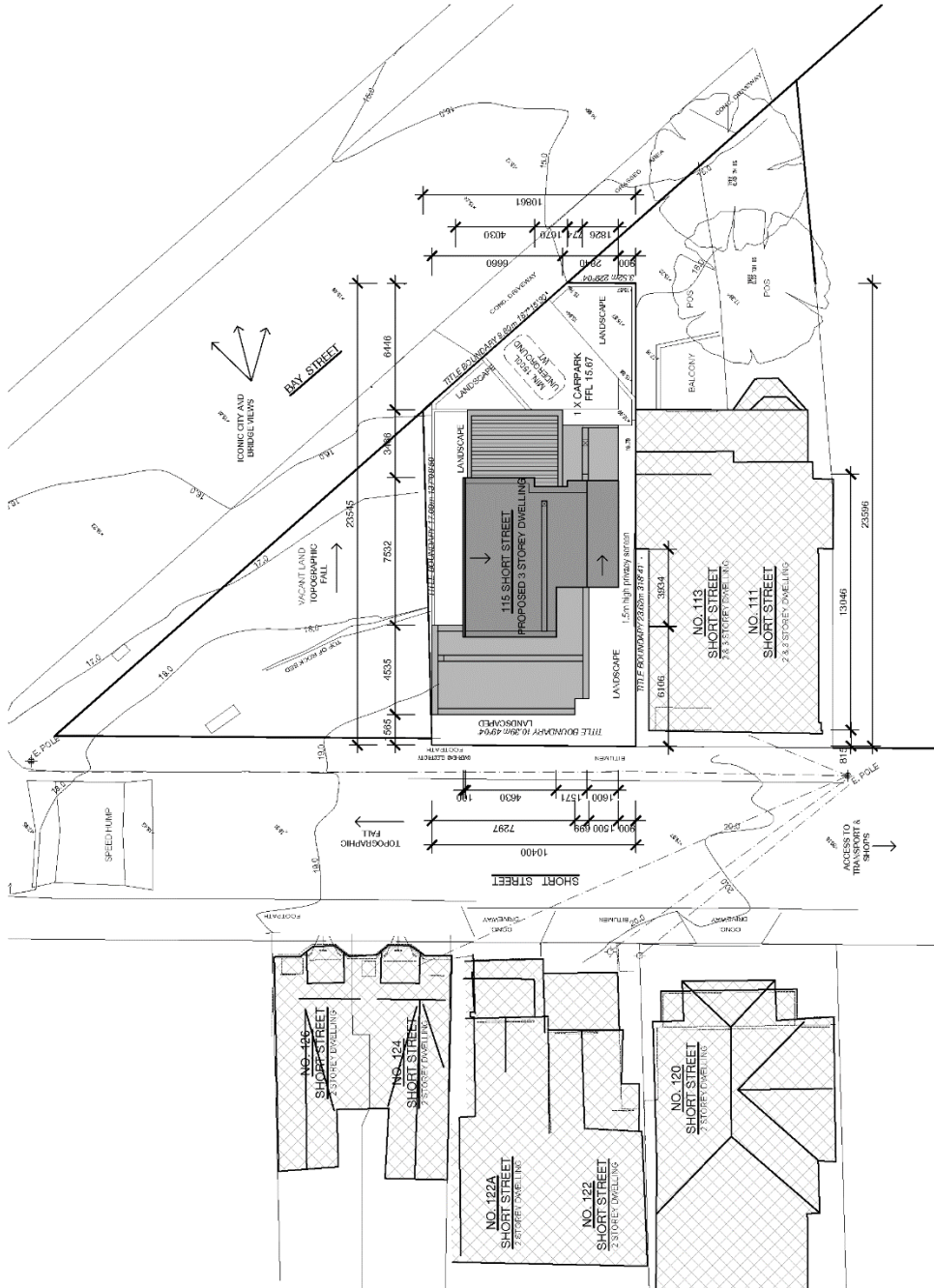
DRAWING	DEMOLITION PLAN	CLIENT	LINDY WANSBORGH
SCALE	1:100 @ A3	ADDRESS	THE SHORT STREET BIRCHGROVE, NSW 2011
DRAWN	JS	PROJECT	DA APPLICATION
CHECKED	SW	PRODUCT	BIRCHGROVE A010
DATE	25.03.2021	PAGE NO.	REV

1 DEMOLITION PLAN
A010 SCALE 1:100 @ A3

Document Set ID: 38645782
Version: 1, Version Date: 09/04/2024

AREA ANALYSIS

TOTAL SITE AREA	298.98m ²
EXISTING	
EX GROUND FLOOR	14.85m ²
EX FIRST FLOOR	108.28m ²
EX SECOND FLOOR	86.52m ²
PROPOSED GROSS FLOOR AREA	209.68m ²
EXISTING BALCONIES	46.67m ²
EXISTING CARPORT	28.37m ²
EXISTING SITE COVERAGE	192.12m ² (67%)
EX HARD SURFACES	41.90m ²
EX IMPERVIOUS AREA	194.08m ² (65%)
EXISTING LANDSCAPED AREA	34.59m ² (12%)
EXISTING FLOOR SPACE RATIO	0.82:1 (209.68m ²)
PROPOSED	
PROPOSED GROUND FLOOR	78.58m ²
PROPOSED FIRST FLOOR	100.00m ²
PROPOSED SECOND FLOOR	42.88m ²
PROPOSED GROSS FLOOR AREA	204.46m ²
PROPOSED BALCONY	17.35m ²
PROPOSED VERANDAH	2.64m ²
PROPOSED CARPORT	31.23m ²
PROPOSED SITE COVERAGE	141.10m ² (81%)
PROPOSED HARD SURFACES	60.00m ²
PROPOSED IMPERVIOUS AREA	157.66m ² (89%)
TOTAL LANDSCAPED AREA	50.83m ² (24.35%)
PROPOSED FLOOR SPACE RATIO	0.9:1 (204.46m ²)



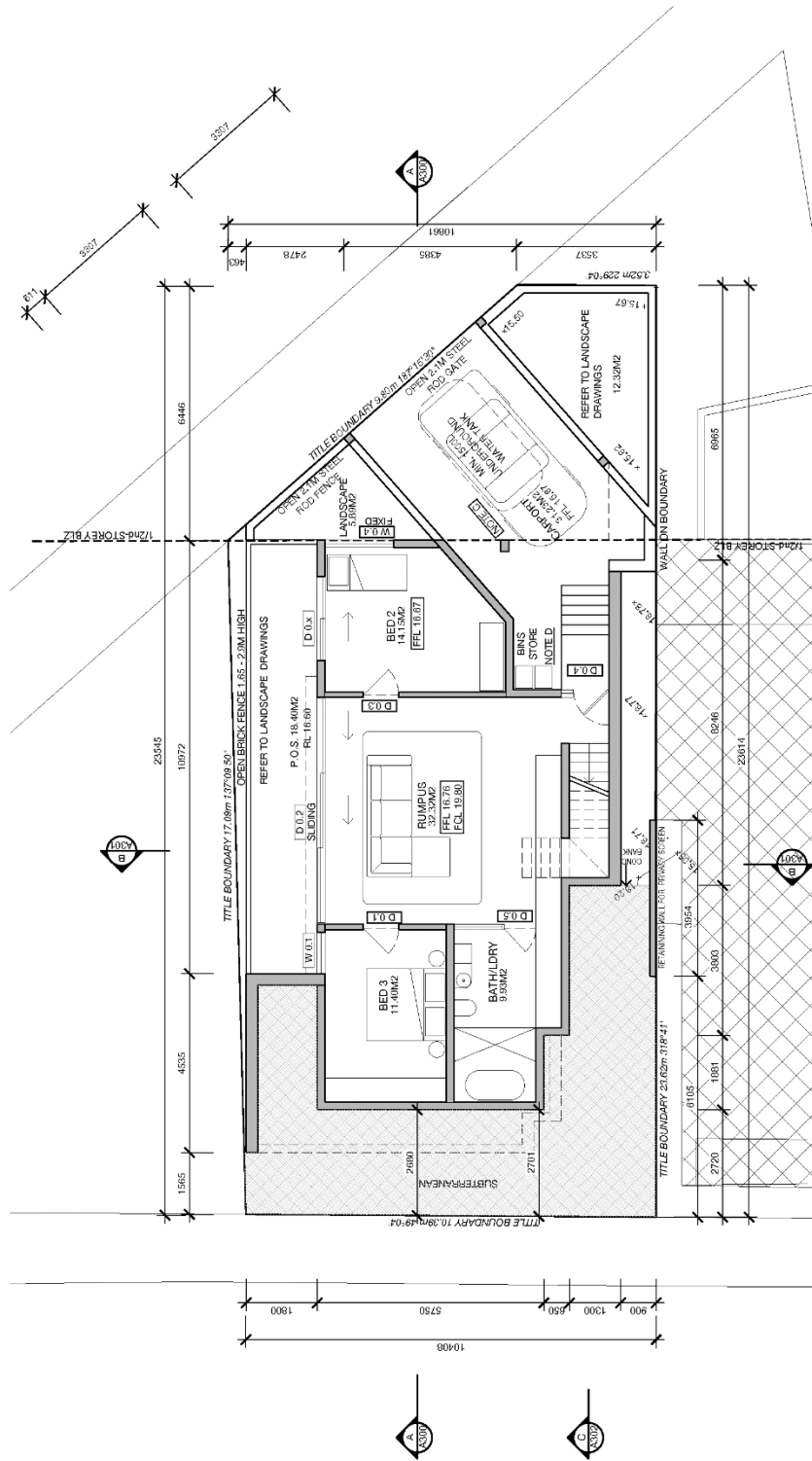
All dimensions and setbacks to the work, Certificate of Discharge to be provided to the Council.

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DRAWING	PROPOSED SITE PLAN/SITE ANALYSIS	CLIENT	LINDY WANSBOROUGH
SCALE	1:200 @ A3	ADDRESS	115-125 SHORT STREET BIRCHGROVE, NSW 2011
DRAWN	MD	PROJECT	DA APPLICATION
CHECKED	SW	PRODUCT	BIRCHGROVE A100
DATE	20.06.2022	PAGE NO.	1/1
		REV	E

1 PROPOSED SITE PLAN/SITE ANALYSIS
A100 SCALE 1:200 @ A3

Document Set ID: 38845782
Version: 1, Version Date: 09/04/2024



All dimensions and setbacks to be worked out in accordance with the work. Check for compliance to be provided in the Annex.

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DRAWING	PROPOSED GROUND FLOOR PLAN	CLIENT	LINDY WANSBORGH
SCALE	1:100 @ A3	ADDRESS	THE SHORT STREET BIRCHGROVE, NSW 2011
DRAWN	MD	PROJECT	DA APPLICATION
CHECKED	SW	PROJECT	BIRCHGROVE A101
DATE	20.06.2022	PAGE NO.	REV
			E

NOTE A:
GLASS BEHIND THE HIT AND MISS
FRAMING

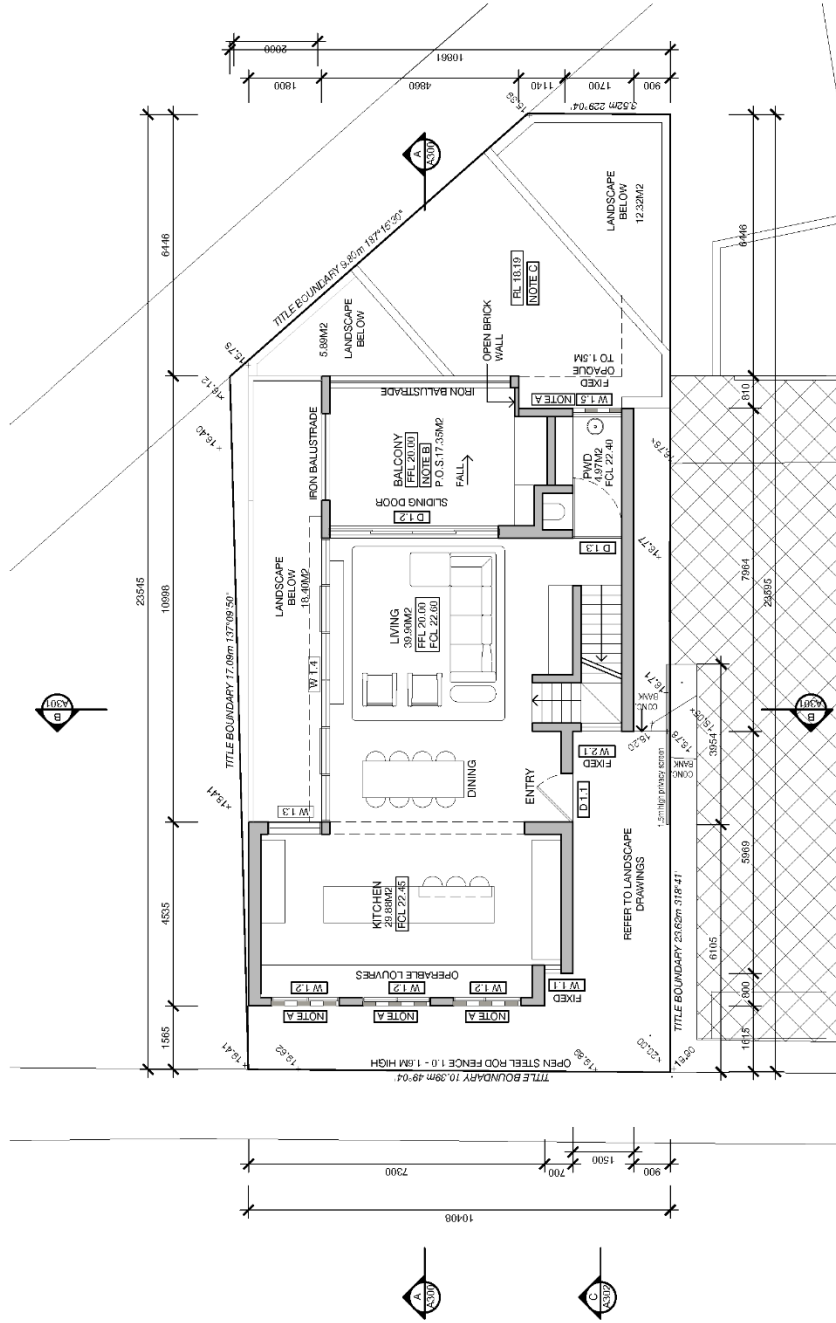
NOTE B:
RETRACTABLE ROOF ABOVE

NOTE C:
LIGHT WEIGHT METAL ROOF KLIP
LUK

NOTED - CRG CHARGING
STATION

1 PROPOSED GROUND FLOOR PLAN
A101 SCALE 1:100 @ A3

Document Set ID: 38845782
Version: 1, Version Date: 09/04/2024



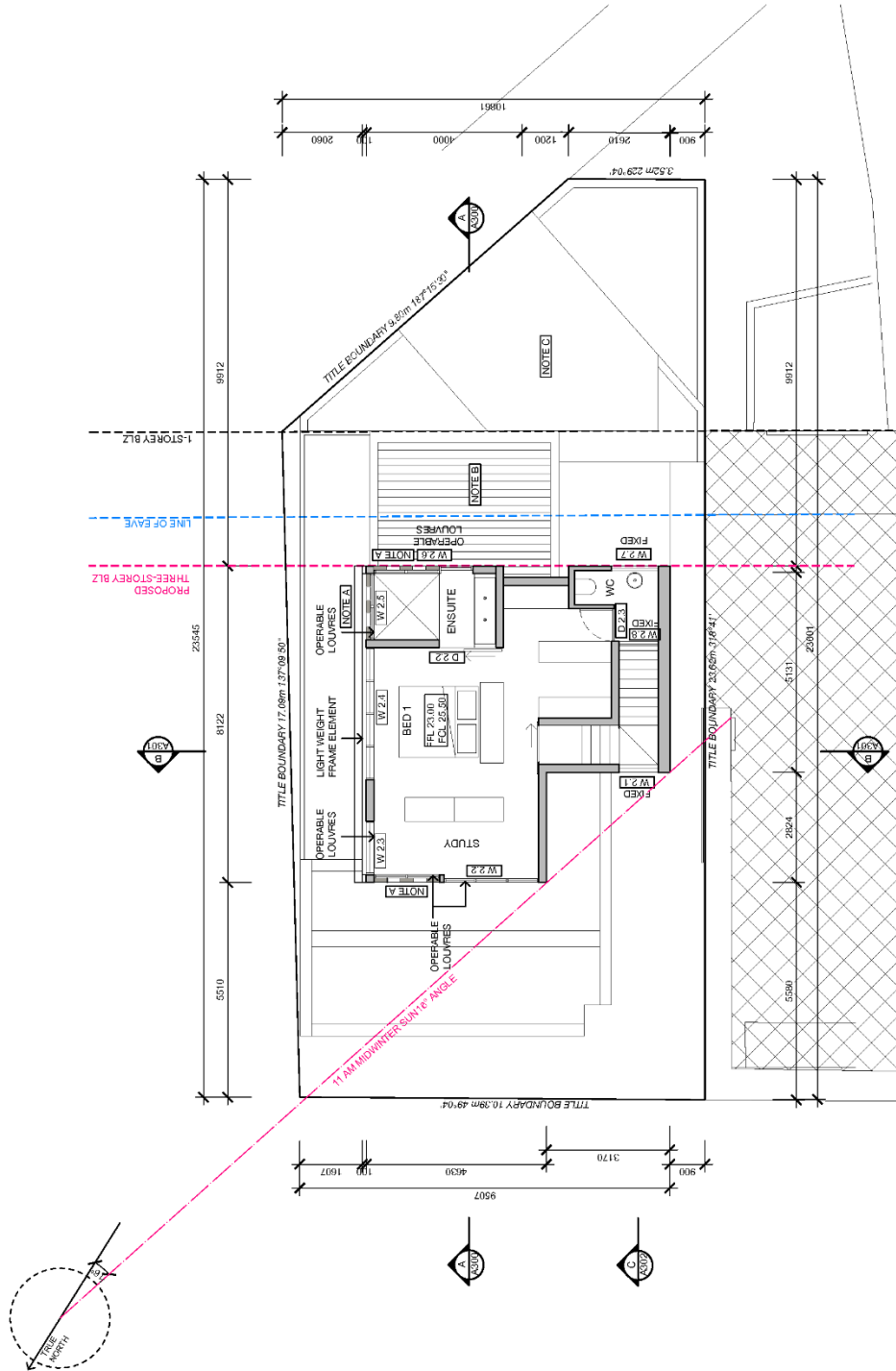
All dimensions and details to be worked in accordance with the relevant standards and specifications to be provided by the client.

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DRAWING	PROPOSED FIRST FLOOR PLAN	CLIENT	LINDY WANSBOROUGH
SCALE	1:100 @ A3	ADDRESS	THE SHORT STREET BIRCHGROVE, NSW 2011
DRAWN	MD	PROJECT	DA APPLICATION
CHECKED	SW	PRODUCT	BIRCHGROVE
DATE	20.06.2022	PAGE NO.	REV
		A102	E

- NOTE A: GLASS PARTITION THE 'HIT AND MISS' BRICKWORK
- NOTE B: RETRACTABLE ROOF ABOVE
- NOTE C: LIGHT WEIGHT METAL ROOF RUF LOK

1 PROPOSED FIRST FLOOR PLAN
A102 SCALE 1:100 @ A3



All dimensions and details to be checked against the relevant work. Changes or discrepancies to be noted in the Architect's office.

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DRAWING	PROPOSED SECOND FLOOR PLAN	CLIENT	LINDY WANSBOROUGH
SCALE	1:100 @ A3	ADDRESS	THE SHORT STREET BIRCHGROVE, NSW 2011
DRAWN	MD	PROJECT	DA APPLICATION
CHECKED	SW	PRODUCT	BIRCHGROVE
DATE	20.06.2022	PAGE NO.	REV
		A103	E

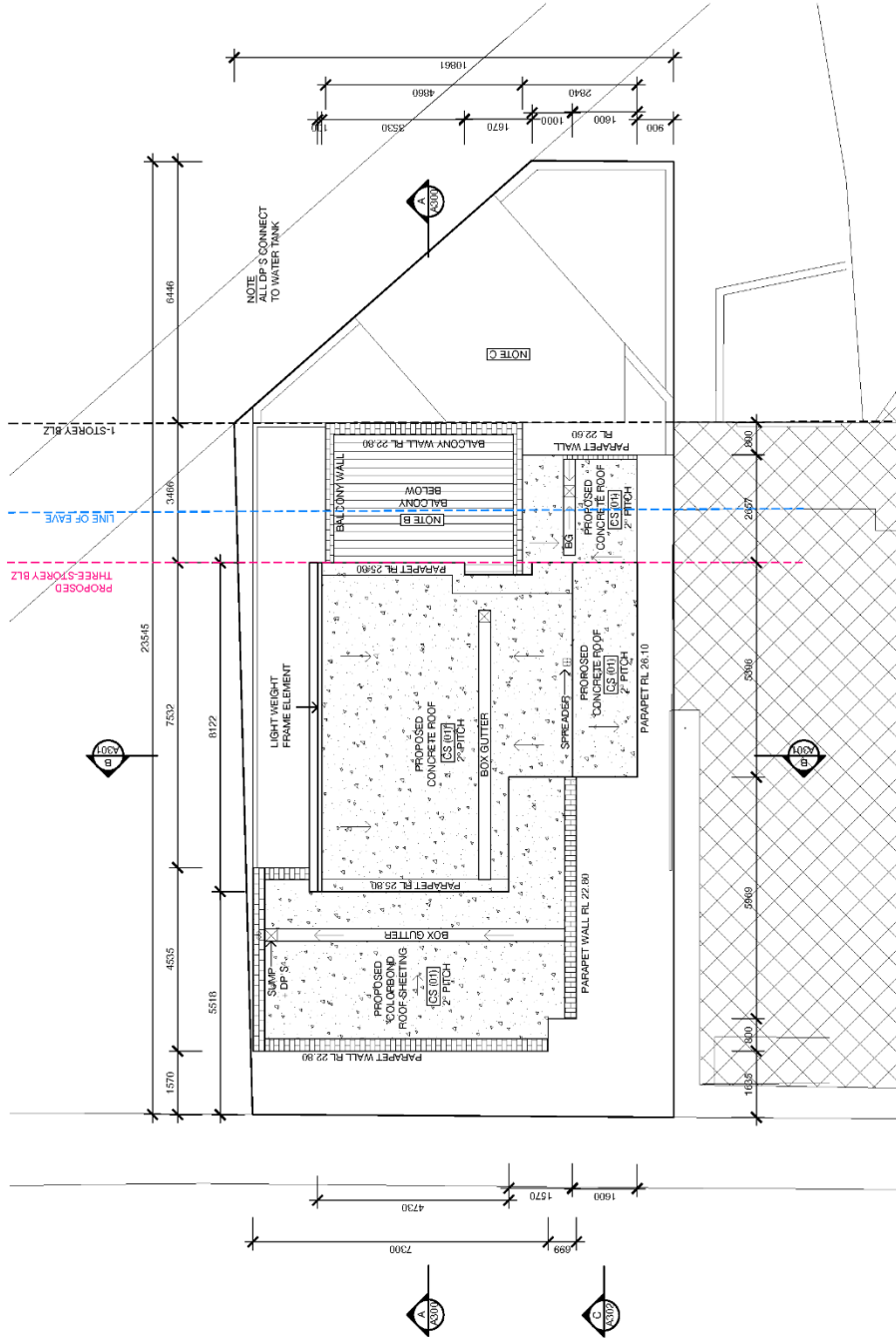
NOTE A:
GLASS PARTITION THE 'HIT AND MISS' BRICKWORK

NOTE B:
RETRACTABLE ROOF ABOVE

NOTE C:
NOLIC LIGHT WEIGHT METAL ROOF RUF LOK

1 PROPOSED SECOND FLOOR PLAN
A103 SCALE 1:100 @ A3

Document Set ID: 38645782
Version: 1, Version Date: 09/04/2024



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DRAWING	PROPOSED ROOF PLAN	CLIENT	LINDY WANSBORGH
SCALE	1:100 @ A3	ADDRESS	115 SHORT STREET BIRCHGROVE, NSW 2011
DRAWN	MD	PROJECT	DA APPLICATION
CHECKED	SW	PRODUCT	BIRCHGROVE
DATE	20.06.2011	PAGE NO.	A104
		REV	E

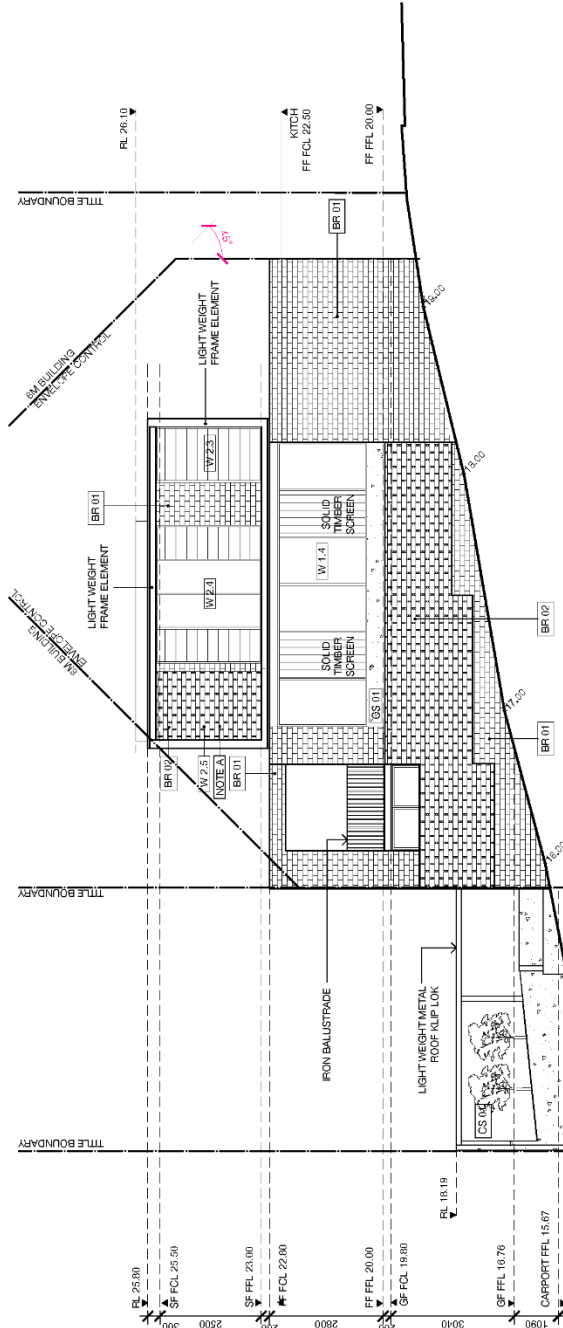
NOTE A: GLASS BEHIND THE 'H' AND 'MS' BRICKWORK

NOTE B: RETRACTABLE ROOF ABOVE

NOTE C: LIGHT WEIGHT METAL ROOF RUF LOK

1 PROPOSED ROOF PLAN
A104 SCALE 1:100 @ A3

Document Set ID: 38645782
Version: 1, Version Date: 09/04/2024

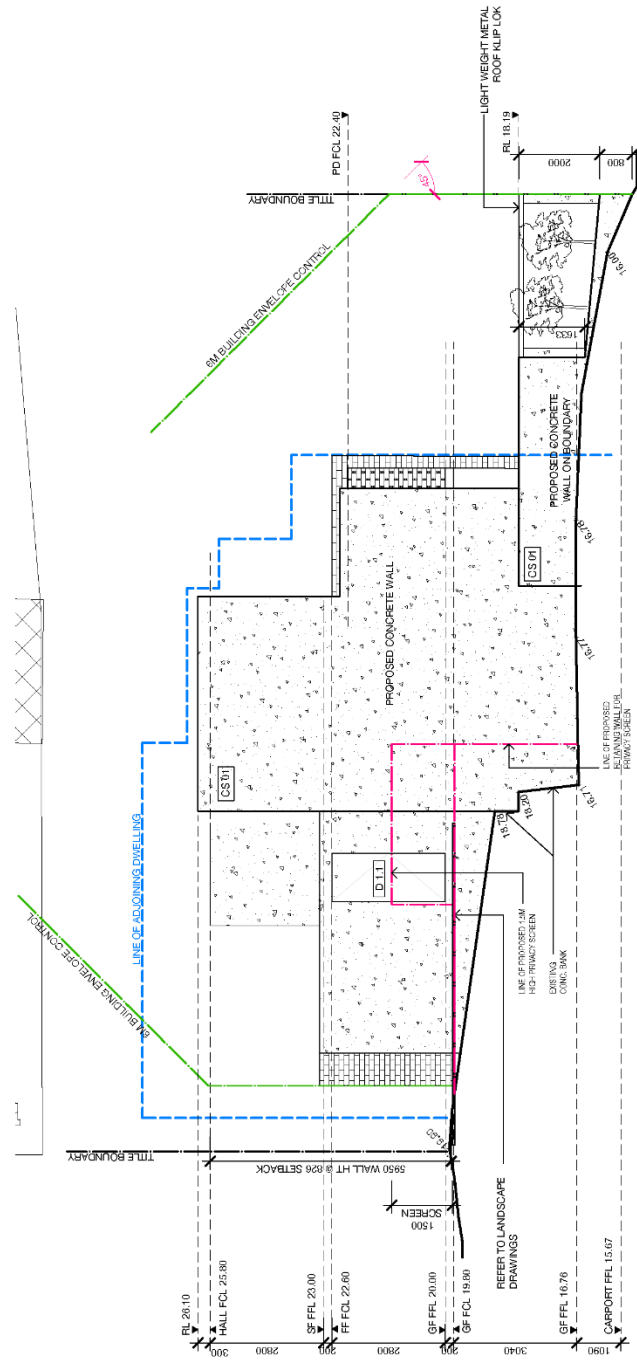


1 PROPOSED EAST ELEVATION - RESERVE
A200 SCALE 1:100 @ A3

NOTE A: CLASS BEHIND THE 'H' AND 'MISS' BRICKWORK

DRAWING	PROPOSED ELEVATION	CLIENT	LINDY WANSBORGH
SCALE	1:100 @ A3	ADDRESS	THE SHORT STREET BIRCHGROVE, NSW 2011
DRAWN	MD	PROJECT	DA APPLICATION
CHECKED	SW	PRODUCT	BIRCHGROVE
DATE	24.06.2022	PAGE NO.	A200
		REV	D

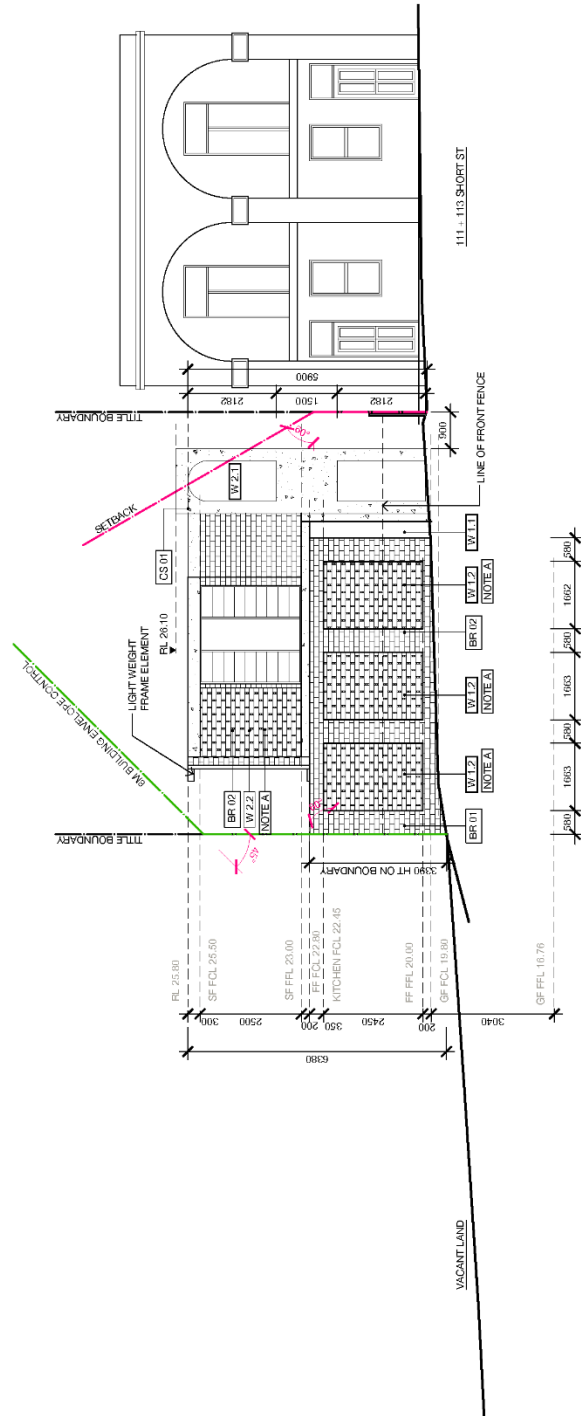
At dimensions and details (D) for work, Contractor is responsible to verify dimensions and details to be provided in the Architect's work. The copyright of this drawing remains the property of the Architect. This drawing is prepared for the purposes of this document for the purposes for not to be used without permission.



PROPOSED WEST ELEVATION
 1 ADJACENT TO No 113 SHORT STREET
 A201 / SCALE 1:100 @ A3

DRAWING	PROPOSED ELEVATION	CLIENT	LINDY WANSBORGH
SCALE	1:100 @ A3	ADDRESS	113 SHORT STREET BIRCHGROVE, NSW 2011
DRAWN	MD	PROJECT	DA APPLICATION
CHECKED	SW	PRODUCT	BIRCHGROVE
DATE	20.06.2022	PAGE NO.	A201
		REV	E

All dimensions and details to be worked in accordance with the Australian Standards unless otherwise indicated in the contract.
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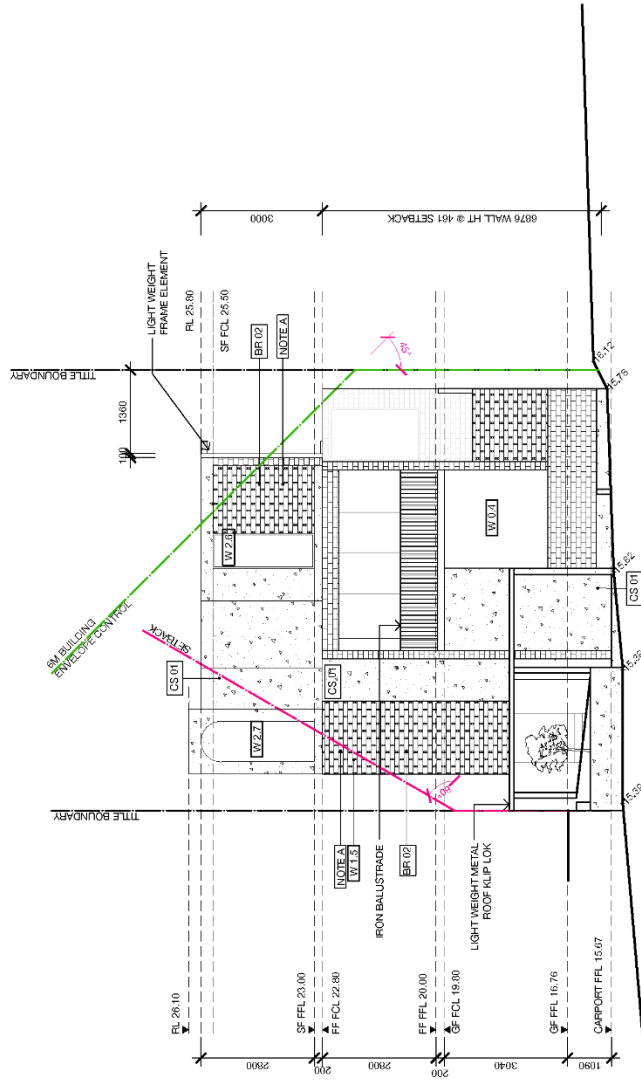
1 PROPOSED NORTH ELEVATION - SHORT STREET
A202 SCALE 1:100 @ A3

All dimensions and details to be worked out by the contractor. The contractor is responsible for any discrepancies between the drawings and the actual work. The contractor is responsible for any discrepancies between the drawings and the actual work.

CLIENT	LINDY WANSBOROUGH
ADDRESS	111-113 SHORT ST BIRCHGROVE, TAS 7011
PROJECT	DA APPLICATION
PAGE NO.	A202
REV	E

SCALE	1:100 @ A3
DRAWN	JS
CHECKED	SW
DATE	20.06.2021

NOTE: CLASS BEHIND THE HT AND MISS BRICKWORK



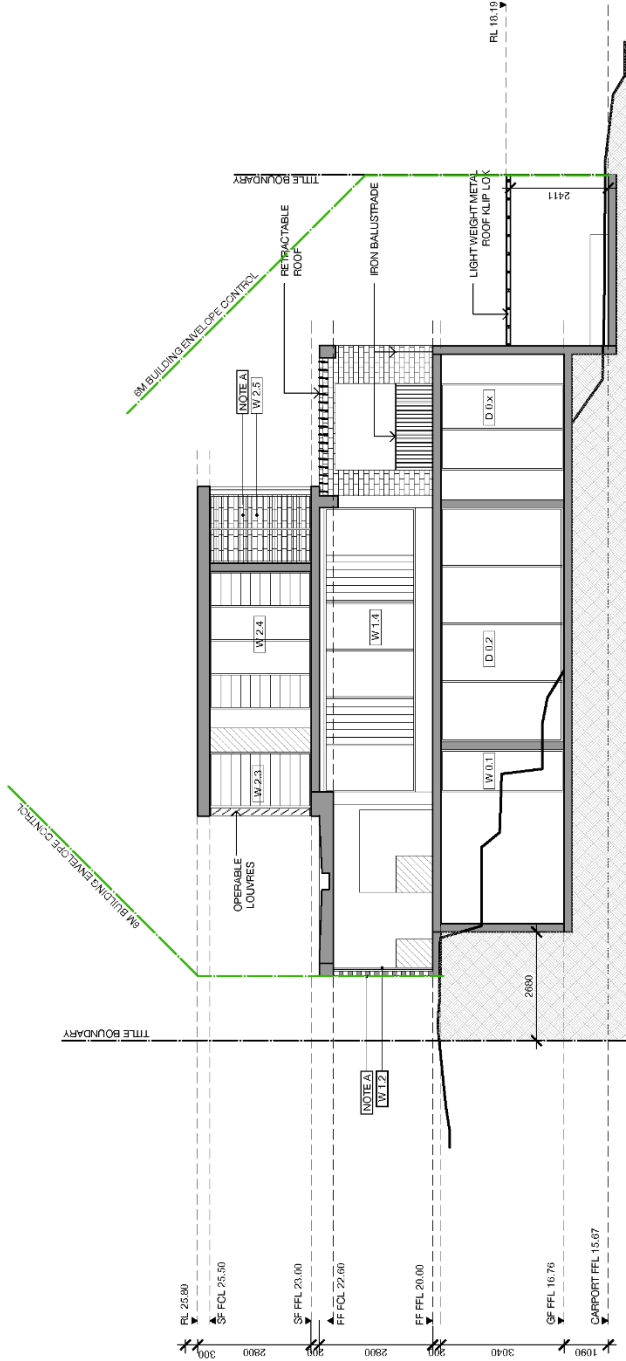
1 PROPOSED SOUTH ELEVATION - BAY STREET
A203 SCALE 1:100 @ A3

All dimensions and details to be checked against the relevant work. Changes or discrepancies to be noted in the Architect's office.

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DRAWING	PROPOSED ELEVATION	CLIENT	LINDY WANSBOROUGH
SCALE	1:100 @ A3	ADDRESS	115 SHORT STREET BIRCHGROVE, NSW 2011
DRAWN	JS	PROJECT	DA APPLICATION
CHECKED	SW	PRODUCT	BIRCHGROVE
DATE	24.06.2021	PAGE NO.	A203
		REV	D

NOTE: A CLASS BEHIND THE 'HT AND MISS' BRICKWORK



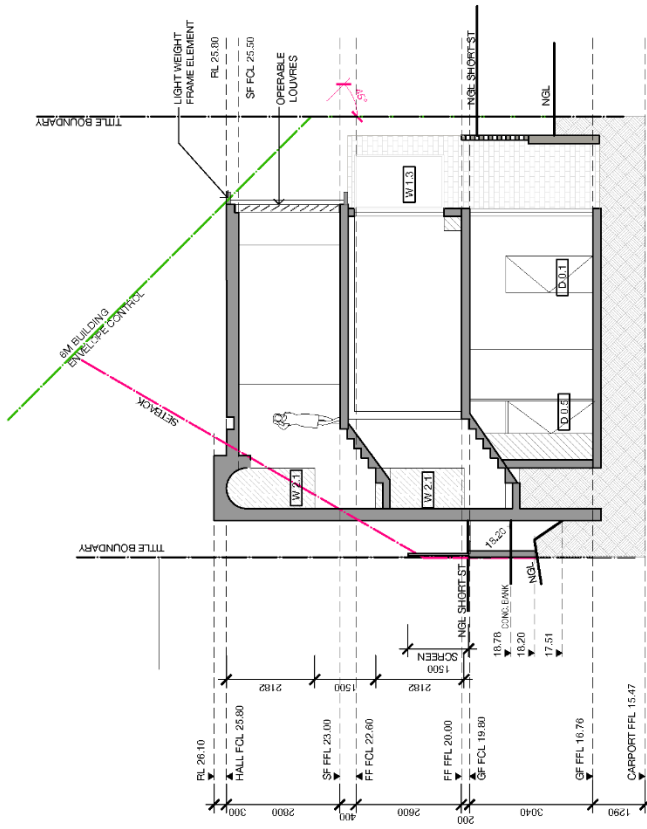
1 PRELIMINARY SECTION A
A3000 / SCALE 1:100 @ A3

NOTE A:
CLASSIFY THE 'H' AND 'MS' BRICKWORK

DRAWING	PRELIMINARY SECTION	CLIENT	LINDY WANSBORGH
SCALE	1:100 @ A3	ADDRESS	THE SHORT STREET BIRCHGROVE, NSW 2011
DRAWN	JS	PROJECT	DA APPLICATION
CHECKED	SW	PRODUCT	BIRCHGROVE
DATE	24.06.2021	PAGE NO.	A300
		REV	E

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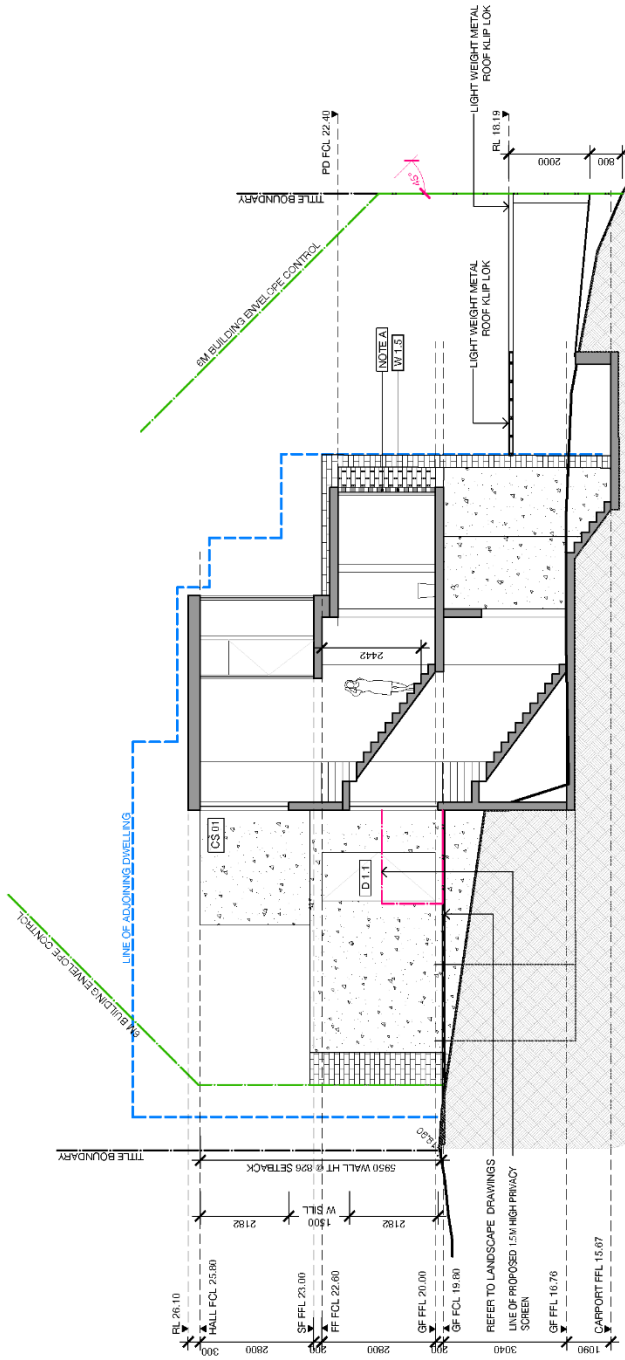
1 PRELIMINARY SECTION B
A301 / SCALE 1:100 @ A3

All dimensions and details to be checked against the relevant building work. Changes or discrepancies to be noted in the Architect's office.

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DRAWING	PRELIMINARY SECTION	CLIENT	LINDY WANSBOROUGH
SCALE	1:100 @ A3	ADDRESS	THE SHORT STREET BIRCHGROVE, NSW 2011
DRAWN	JS	PROJECT	DA APPLICATION
CHECKED	SW	PRODUCT	BIRCHGROVE
DATE	20.06.2021	PAGE NO.	A301
		REV	E

NOTE A:
CLASS BEHIND THE 'HIT AND MISS' BRICKWORK

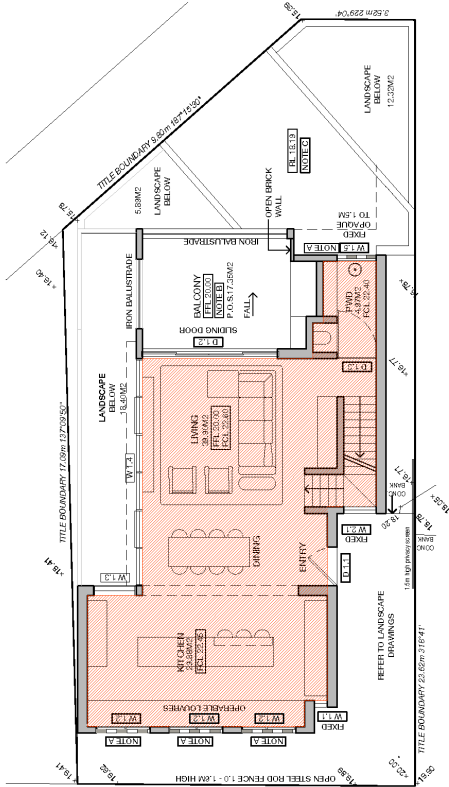


1 PRELIMINARY SECTION C
A302 / SCALE 1:100 @ A3

NOTE A: CLASSIFY THE 'HT AND MISS' BRICKWORK

DRAWING	PRELIMINARY SECTION	CLIENT	LINDY WANSBORGH
SCALE	1:100 @ A3	ADDRESS	THE SHORT STREET BIRCHGROVE, NSW 2011
DRAWN	JS	PROJECT	DA APPLICATION
CHECKED	SW	PRODUCT	BIRCHGROVE
DATE	20.06.2021	PAGE NO.	A302
		REV	E

All dimensions and details to be checked against the relevant work. Changes or discrepancies to be noted in the Architect.
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2 PROPOSED FF - GFA CALCULATIONS
A400 SCALE 1:125 @ A3

GROSS FLOOR AREA CALCULATION

TOTAL SITE AREA 226.56m²

	FSR	SOM
MAXIMUM	0.9:1	205.74m ²
EXISTING	0.92:1	209.08m ²
PROPOSAL	0.9:1	204.46m ²

AREA ANALYSIS

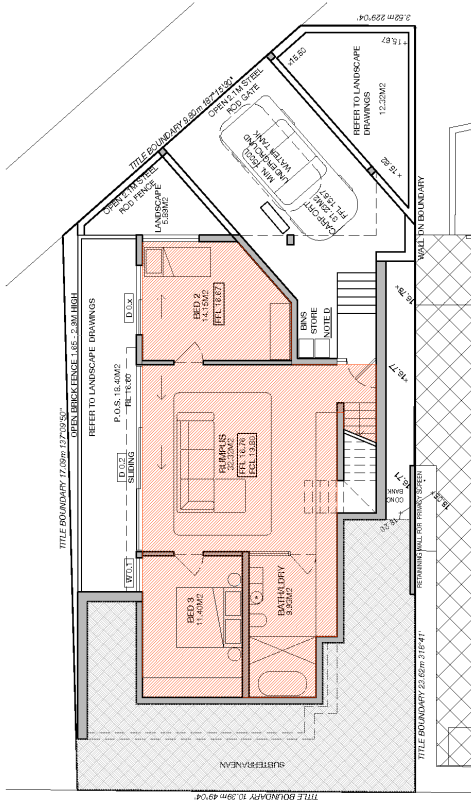
EXISTING	
EX GROUND FLOOR	14.55m ²
EX FIRST FLOOR	106.29m ²
EX SECOND FLOOR	86.52m ²
PROPOSED GROSS FLOOR AREA	209.08m ²
EXISTING BALCONIES	46.67m ²
EXISTING CARPORT	29.37m ²
EXISTING FLOOR SPACE RATIO	0.92 : 1
(209.08m ²)	

PROPOSED	
PROPOSED GROUND FLOOR	78.59m ²
PROPOSED FIRST FLOOR	83.01m ²
PROPOSED SECOND FLOOR	42.88m ²
PROPOSED GROSS FLOOR AREA	204.46m ²
PROPOSED BALCONY	17.35m ²
PROPOSED VERANDAH	2.64m ²
PROPOSED CARPORT	31.23m ²
PROPOSED FLOOR SPACE RATIO	0.9: 1
(204.46m ²)	

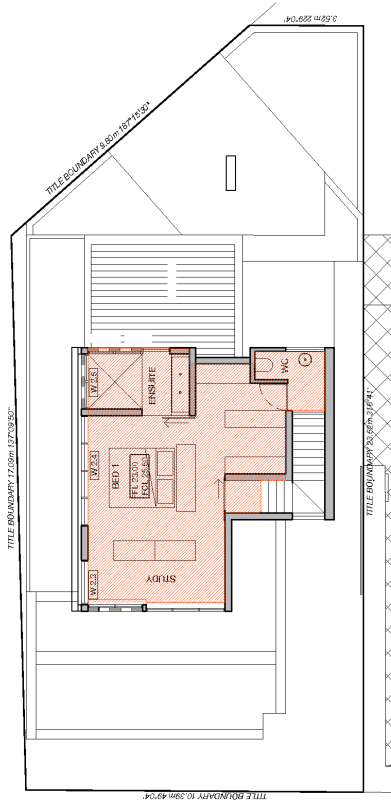
All dimensions and areas to be checked by the Applicant. The Applicant is responsible for any work, creation or discrepancies to be referred to the Architect.

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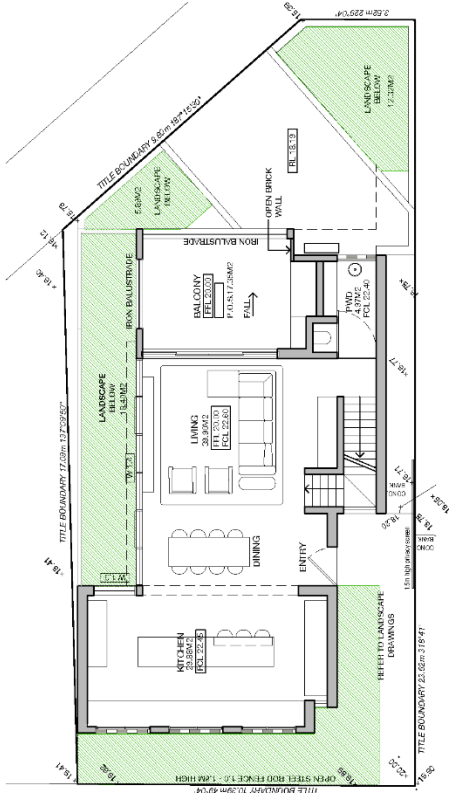
DRAWING	GFA CALCULATION	CLIENT	LINDY HANSBORTH
SCALE	1:125 @ A3	ADDRESS	115 SHORT STREET BIRCHGROVE NSW 2611
DRAWN	MD	DA APPLICATION	
CHECKED	SW	PROJECT	BIRCHGROVE
DATE	24.06.2022	PAGE NO.	A400
		REV	D



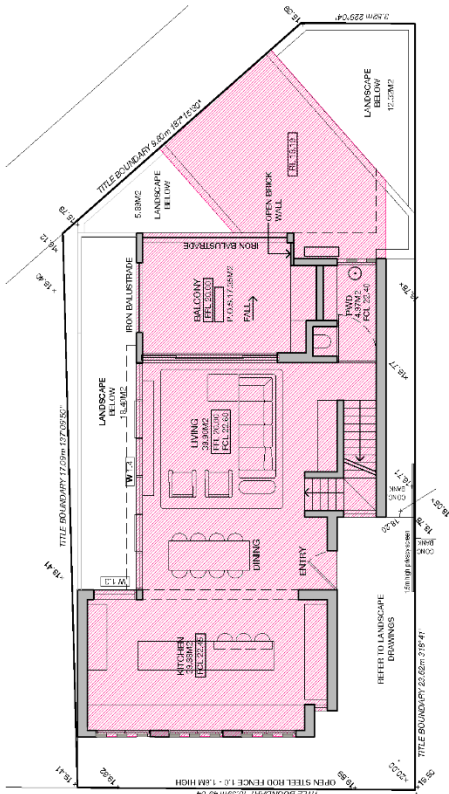
1 PROPOSED GF - GFA CALCULATIONS
A400 SCALE 1:125 @ A3



3 PROPOSED SF - GFA CALCULATIONS
A400 SCALE 1:125 @ A3



2 PROPOSED LANDSCAPE CALCULATIONS
A400 SCALE 1:125 @ A3



1 PROPOSED SITE COVERAGE CALCULATIONS
A400 SCALE 1:125 @ A3

LANDSCAPE CALCULATION		TOTAL SITE AREA	
		228.58m ²	
MINIMUM	15%	SDM	34.2m ²
EXISTING	19%	EXISTING	34.5m ²
PROPOSAL	24.8%	PROPOSAL	56.58m ²

SITE COVERAGE CALCULATION		TOTAL SITE AREA	
		228.58m ²	
MINIMUM	15%	SDM	34.2m ²
EXISTING	19%	EXISTING	34.5m ²
PROPOSAL	24.8%	PROPOSAL	56.58m ²

AREA ANALYSIS	
EXISTING	EXISTING SITE COVERAGE 152.12m ² (67%)
EXISTING	EX-HARD SURFACES 41.86m ²
EXISTING	EX IMPERVIOUS AREA 194.08m ² (85%)
EXISTING	EXISTING LANDSCAPED AREA 34.50m ² (15%)
PROPOSED	PROPOSED SITE COVERAGE 141.10m ² (61%)
PROPOSED	PROPOSED HARD SURFACES (60.00m ²)
PROPOSED	PROPOSED IMPERVIOUS AREA 157.66m ² (69%)
PROPOSED	TOTAL LANDSCAPED AREA 56.85m ² (24.8%)

All dimensions and details to be checked against the relevant work. Changes or discrepancies to be noted in the Architect.

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DRAWING	LANDSCAPE & SITE COVERAGE	CLIENT	UNIV ANSVOORTH
SCALE	1:125 @ A3	ADDRESS	THE SHORT STREET BIRCHGROVE, NSW 2011
DRAWN	MD	PROJECT	DA APPLICATION
CHECKED	SW	PRODUCT	BIRCHGROVE
DATE	24.06.2022	PAGE NO.	A401
		REV	D